CITY OF MARICOPA
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39700 W. Civic Center Plaza
Maricopa, AZ 85138
Ph: 520.568.9098
Fx: 520.568.9120
www.maricopa-az.gov

STAFF REPORT — Case Number: DRP22-01

To:	Planning and Zoning Commission
Through:	Rick Williams, Planning and Zoning Manager
From:	Alexander Bosworth, Assistant Planner
Meeting Date:	June 27, 2022

REQUESTS

Development Review Permit (DRP) 22-01: A request by Stewart + Reindersma Architecture on behalf of Construction Solutions Company, requesting review and approval of Site, Landscape, Photometric and Elevation plans for a proposed 47,200 square-foot flex office shell building. Generally located on the northwest corner of West Edison Road and North Estrella Parkway. **DISCUSSION AND ACTION.**

APPLICANT/PROPERTY OWNER

Applicant:
Stewart + Reindersma Architecture
8145 E. Indian Bend Rd.
Scottsdale, AZ 85250

Owner:
Estrella Gin Business Park LLC
3463 S. Rim Rd.
Gilbert, AZ 85297

COUNCIL PRIORITIES CONSIDERED

- Quality of Life
- Economic Sustainability
- Managing the Future
- Public Safety

PROJECT DATA

Site Gross Acres	4.38 acres
Parcel #	510-17-021B
Site Address	N/A
Existing Site Use	Vacant
Proposed Site Uses	Office
Existing General Plan, Land Use	Employment
Existing Zoning	Light Industrial (LI)
Overlay Zoning	None
Maximum Building Height	38'-6"

SURROUNDING ZONING/LAND USE

Direction	General Plan Land Use	Existing Zoning	Existing Use
North	Employment	Light Industrial (LI)	Vacant
East	Medium Density Residential	Single Family Residential (CR-3)	Acacia Crossings
South	Employment	Light Industrial (LI)	Vacant
West	Employment	Light Industrial (LI)	Vacant

HISTORY SUMMARY

- 1963 – Rezoned to CI-2 Industrial Zoning from General Rural (GR) Zoning, Pinal County Case # PZ-7-63.
- 2017 – Rezoned to CI-1 Light Industrial from Industrial (CI-2), City of Maricopa Case # ZON16-01.

ANALYSIS

The proposed project will be a 1-story, roughly 47,200 square-foot flex office building with a maximum of 19 potential tenants, which will be one of many other developments within the Estrella Gin Business Park. The subject site is approximately 4.38 acres, with three (3) proposed access points on the west side of the site off of the new N. Estrella Parkway which at the time of this writing is nearing completion. This development will include eight (8) full-sized semi-truck loading spaces that are depressed 4' below grade and 11 additional loading bays at grade.

The east side of the site is adjacent to the existing single-family residential development of Acacia Crossings. The east (rear) elevation therefore has been enhanced architecturally, as it will be in the line of sight off of N. Roosevelt Ave. and W. Miraflores St. The required 40-foot landscape buffer is being provided, which includes dense landscaping to reduce visual impact from residents in the existing subdivision. Furthermore, a 40-inch tall trendstone screening wall will run along the east side of the site to provide further screening.

The building has been designed to compliment the area and to also establish it's own unqiue character for the business park. The building facades incorporate vertical and horizontal modulation along with a uniform material palate of trendstone (3 colors), and aluminum panels mimicking corten steel that are used for both awnings/canopies in the front (west) elevation and accents for the façades and rooflines on the elevations most visible to the public (east, west, and south elevations). The building will have roofline movement with varying parapet heights and six (6) protruding corten steel panels. The building will be 37 feet in height to the pop-up parapet, and 38.5 feet in height at its highest point which will be the aluminum metal decorative panels. This building will architecturally compliment the existing and recently-completed Estrella Gin Pad A2 just southwest of the subject site within the Estrella Gin Buisiness Park. Refer to Exhibit E Elevations.

Landscape Plans

- The required 40-foot wide landscape buffer between the rear parking area of the site and the adjacent residential has been provided and deemed adequate by Planning staff.
- The developer provided a landscape plan with this Development Review Permit, but the final plan will be finalized at the time of on-site improvement permit stage of the development process.

Transportation

- This development proposal will fall under the assumptions of the existing Edison Road Office Complex Traffic Impact Analysis (TIA), which was submitted in 2020 and reviewed by the Engineering Division.
- The report determined that the proposed roadway infrastructure for the development is adequate. All signalized intersections are expected to operate at acceptable levels of Service at both AM and PM peak hours. All approaches of signalized intersections and all movements of unsignalized intersection and driveways are expected to operate also at acceptable level of service at both AM and PM peaks hours in for all required traffic scenarios as well.

Grading and Drainage

- A preliminary Grading and Drainage plan was submitted and reviewed by the City's Engineering Division. The Engineering Reviewer determined the plans meet or exceed minimum required drainage standards within the City. The applicant shall submit final Grading and Drainage plans for review and approval by the City Engineering prior to construction.

Illumination

- The applicant has provided conceptual cut sheets of the light fixtures and photo-metric plans to meet standards set forth in the Zoning Code, Chapter 18.95.
- The applicant has stated in writing that the on-site parking lighting pole fixtures will match that of the recently completed Estrella Gin Pad A2. This will be a condition of approval.

Elevations

- Proposed architectural elevations are complimentary and exceed minimum standards set forth within Zoning Code, Sec. 18.155.070 Development Review Permit criteria.
- Additional architectural treatment has been given to the rear elevation on the east side due to the adjacent existing residential land use.

CITIZEN PARTICIPATION:

The Applicant has properly notified the surrounding property owners of the proposed development as required per the City's Zoning Code. The applicant has done so by providing notification letters to all property owners within 600 feet of the subject area and public notice signs within the subject area. A timeline of citizen participation is shown below.

- June 3, 2022 - Notification Letters sent (600-foot radius)
- June 10, 2022 - Notification Sign posted
- June 27, 2022 - Planning & Zoning Commission (Public Hearing)

CRITERIA FOR APPROVAL

In accordance with Zoning Code Sec. 18.155.070 Required Findings, the decision making body shall evaluate the proposed development conform to the policies of the General Plan and any applicable regulations and standards within the Zoning Code, Subdivision Ordinance or any other policies, guidelines adopted or approved by the City Council, including the following criteria:

1. The overall design of the project, including its scale, massing, site plan, exterior design, and landscaping, will enhance the appearance and features of the project site and surrounding natural and built environment.

   Staff Analysis: *The proposal conforms with the intent of the Light Industrial District, providing adequate access throughout the site and complementary design to the near by developments.*

2. The project site plan is appropriate to the function of the project and will provide a suitable environment for occupants, visitors, and the general community.

   Staff Analysis: *The proposal meets the intent of a development designed with adequate shared amenities, circulation, and parking to accommodate residents and guests alike.*

3. Project details, colors, materials, and landscaping, are consistent, fully integrated with one another, and used in a manner that is visually consistent with the proposed architectural design.

   Staff Analysis: *The elevations and color combinations appear well integrated and complementary. This development will architecturally compliment the existing and recently-completed Estrella Gin Pad A2, as well as all future developments that will take place in the Estrella Gin Business Park.*

4. The project contributes to the creation of a visually-interesting built environment that includes a variety of building styles and designs with well-articulated structures that present varied building facades, rooflines, and building heights within a unifying context that promotes increased pedestrian activity and compatibility among neighboring land uses within the same or different Districts.

   Staff Analysis: *The variety of façade materials and colors provide interest on articulated structures. Building heights are very uniform and compatible with the different districts either side of the proposed site. The proposed exterior architectural design is adequately enhanced in order to compliment the existing single-family residential to the east of the site and the future developments in the Estrella Gin Business Park.*

PUBLIC COMMENT:

As of the writing of this report, no additional correspondence has been received by staff.

CONCLUSION:

Staff finds the submittal items of DRP22-01 Estrella Gin Flex Office to be substantially compliant with Zoning Code, Sec. 18.155.070 Required findings.

Staff recommends **Approval of DRP22-01 Estrella Gin Flex Office** subject to the following conditions:

1. Construction of the project shall be in conformance to the exhibits submitted with this Development Review Permit (DRP22-01) application for site plan, elevations, photometric and landscape plans, and as amended by the Planning and Zoning Commission.
2. In accordance to Chapter 18.155 of the City's adopted Zoning Code, the Development Review Permit shall expire if a building permit has not been issued within two years of the date of Planning and Zoning Commission approval. A one-time extension may be approved by the Planning and Zoning Commission, upon recommendation by the Zoning Administrator after a completed application and fee is submitted.
3. Future modifications of the existing plans, if any, shall be subject to set procedures within the City's Zoning Code and other adopted policy documents at the time of the request.
4. All roof mounted mechanical equipment shall be completely screened from public view by the building/roof parapet wall. Any ground mounted equipment or building mechanical features shall be screened from public view and/or painted to match color scheme of the building. Roof access shall be from within the building.
5. Outdoor parking lot lighting/building wall mounted lights shall conform to the City lighting standards. Parking lot and pole-mounted security lighting shall not exceed maximum mounting height of 14 feet within 100 feet of a residential zoning district.
6. On-site parking lighting fixtures shall match those in the approved and completed Estrella Gin Pad A2.

7. The trendstone screening wall on the east side of the site shall extend further south to the garbage enclosure as previously stated by the applicant in writing.
8. Each landscape island shall contain a minimum of one (1) shade tree and three (3) shrubs.
9. All signage shall be approved under a separate permit.
10. Prior to issuance of Certificate of Occupancy, site inspections will be required and approved by relevant City Departments (Fire, Building Safety, Engineering and Planning).
11. As submitted, refuse areas shall be enclosed and shall correspond to the design and color palette of the development. Gates shall not open into vehicular drive aisles. Enclosure gates to be signed and clearly read, "DOOR MUST REMAIN CLOSED AT ALL TIMES."
12. Truck traffic and deliveries, refuse pick-up etc. shall be limited to hours of operation with least impacts to the adjacent residential properties and vehicular circulation of this development.
13. Landscape shrubs within sight visibility triangles shall not exceed a height of 24 inches.
14. Prior to beginning of site construction, or issuance of any building permit, a consent letter from the State Historic Preservation Office (SHPO) is obtained for archaeological and historical preservation information.
15. Human remains and artifacts have been found in the Maricopa area. "Public law 101-601, Native American Graves Protection and Repatriation Act" and "Public law 41-865 disturbing human remains or funerary objects; rules; violation; classification; definitions", A person can be guilty of a class 5 felony if he/she intentionally possess, sells or transfers any human remains or funerary objects that are excavated or removed. In the event that human remains and/or artifacts are discovered during construction, Ak-Chin has requested that the developers stop immediately and contact the Ak-Chin Cultural Resources Office before any further construction continues.
16. All public roadway and infrastructure improvements shall be in accordance with the current City of Maricopa standards and/or subsequent standards that are developed by the City, as approved by the City Engineer and installed by the developer.
17. Civil drawings shall be submitted to the City prior for review and approval prior to onsite and offsite construction.
18. Prior to issuance of the final Certificate of Occupancy, the applicant shall submit and secure all required applications, plans supporting documents submittals, approvals and permits from the applicable federal, state, county and any other agencies as applicable.
19. The development and operation of the proposed Facility shall be in accordance with all applicable Arizona Department of Environmental Quality (ADEQ) requirements, if applicable, and other regulatory agencies rules and regulations.
20. The applicant/property owner shall have met and complied with all applicable fire codes under the IFC 2018, including amendments, as well as related National Fire Protection Agency (NFPA) guidelines, to the satisfaction of the Maricopa Fire Department.
21. The applicant shall submit landscape plans that complies with the City's applicable codes and standards.

ATTACHMENTS:

Exhibit A: Narrative

Exhibit B: Site Location

Exhibit C: Site Plan

Exhibit D: Landscape Plan

Exhibit E: Elevations

-- End of staff report –

Stewart + Reindersma Architecture, PLLC.

January 3, 2022

RE: Project Narrative
Estrella Gin Flex Office Shell
NEC W. Edison Rd and N Estrella Pkwy
Maricopa, AZ 85139

Construction Solutions Company is seeking a Major Development Review permit for a commercial, flex office building in the Estrella Gin Business Park. The site is currently vacant and is abutting the Acacia Crossings Residential development.

The proposed site is located at 51017021B and is approximately 4.38 AC. It is currently zoned Light Industrial (LI) and the current land us is for employment (E).

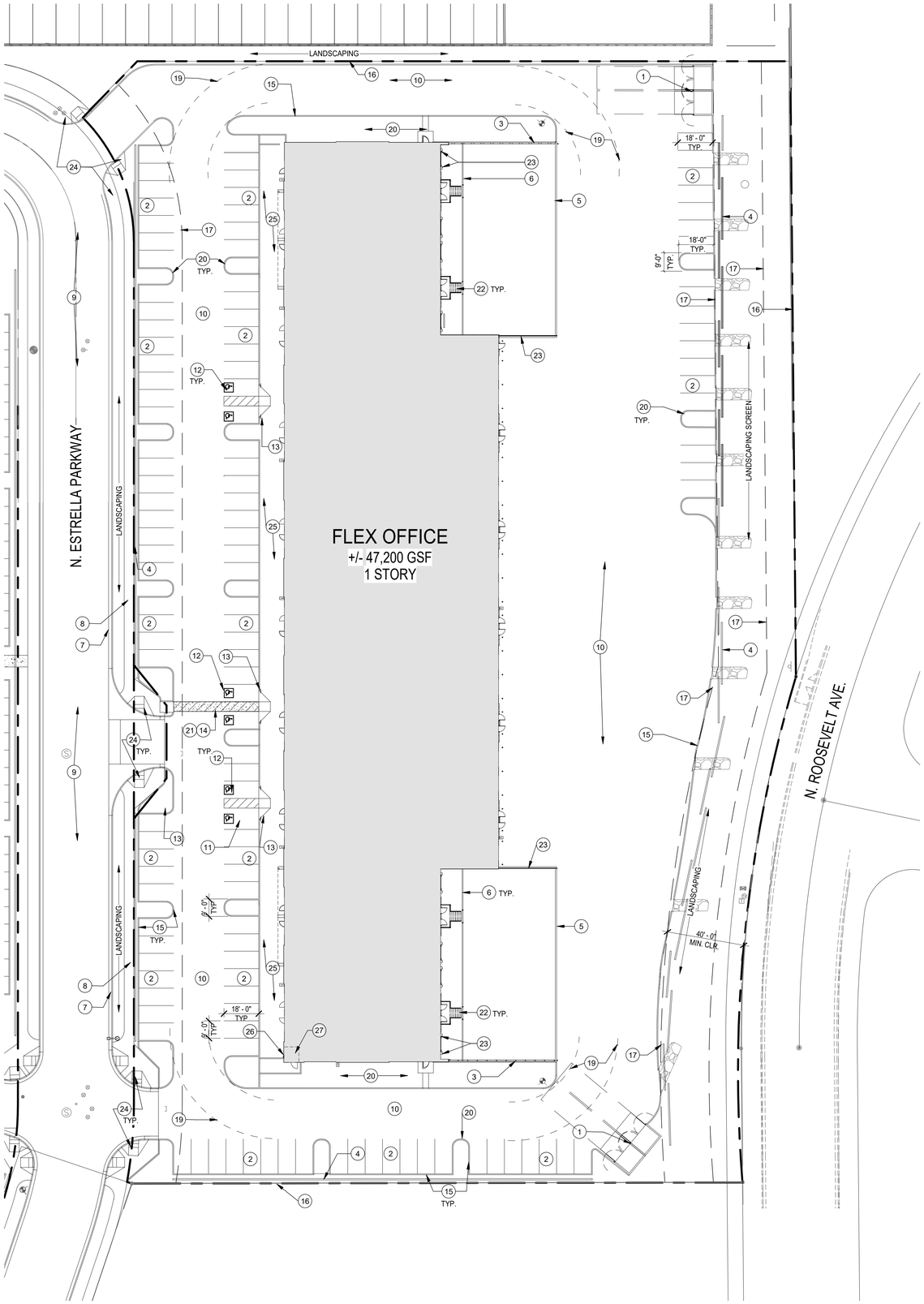
The proposed project will be a roughly 47,200 sf flex office shell. There are a maximum of 19 potential tenants. There are 8 full size semi truck loading spaces that are depressed 4' below grade and 11 additional loading bays at grade.

The project is categorized as an office space and is required to have 1 parking space for every 375 sf. 126 parking spaces would be required by code and 137 spaces have been provided.

We look forward to working with the City of Maricopa to complete this addition to the Estrella Gin Business Park.

Sincerely,
Joshua Lopeman, AIA

Site
N LOMA RD
N ROOSEVELT AVE
N CARMEN AVE
W GAVILAN DR
W GAVILAN DR
W GAVILAN DR
W PATTILLA LN
W PATTILLA LN
W BALBOA DR
W BALBOA DR
N RIO DR
W MIRAFLORES ST
W MIRAFLORES ST
W MIRAMAR RD
W EDISON RD
W EDISON RD
W ESTRELLA PKWY
N WILSON AVE
N WILSON AVE
W LEXINGTON AVE
W LEXINGTON AVE



1 SITE PLAN
1" = 30'-0"

PROJECT ADDRESS:	20655 N ESTRELLA PKWY MARICOPA, AZ 85139
APN:	510-170-21B
ZONING:	LI - LIGHT INDUSTRIAL
SITE AREA:	191,107 SF (4.38AC)
SETBACKS:	
FRONT	25'
SIDE	0'
REAR	40' LANDSCAPE BUFFER AT RESIDENTIAL AREA
TRUCK DOCK	40'
BUILDING AREA:	47,200 GSF
MAX BUILDING HEIGHT:	75'
PROPOSED HEIGHT:	38'-5"
BUILDING USE:	F1 AND B OCCUPANCIES (FUTURE)
PARKING CALCULATIONS:	1 SPACE / 375 SF = 47,200 SF / 375 = 126
PARKING REQ'D:	126 SPACES - 5 HC SPACES
PARKING PROVIDED:	127 SPACES (INCLUDING 5 HC + 1 VAN ACCESS)

?

KEYED NOTES:

1. TRASH ENCLOSURE PER CITY STANDARDS - TO MATCH REVISED COLOR SCHEME AND DESIGN OF THE BUILDING - WHICH COMPLIMENTS THE DESIGN AND COLOR OF THE PAD A MAIN BUILDING, SEE DETAILS 3, 6, 7, 10, 11, 17, 18, 19, 20/AS.3.
2. 9' X 18' STRIPED PARKING SPACE, TYP.
3. 8' MASONRY SCREEN WALL. REFER TO FINISH SCHEDULE ON SHEET A3.0 EXTERIOR ELEVATIONS AND DETAIL 1/AS.3
4. 40" TALL TRENDSTONE SCREEN WALL, REF. TO STRUCTURAL DETAIL ON SHEET S042 . PROVIDE THRU-WALL DRAINAGE AT RIP-RAP OUTFALLS AS NECESSARY.
5. 4'-0" DEPRESSED DOCK. SEE DETAILS 1 & 2/AS.5.
6. LINEAR DOCK TRENCH DRAIN - SEE DETAIL 3/AS.5.
7. EXISTING CURB & GUTTER.
8. EXISTING SIDEWALK.
9. EXISTING ROADWAY.
10. CONCRETE PAVING - FOR SLOPES, REFER TO CIVIL DRAWINGS.
11. VAN ACCESSIBLE PARKING SPACE AND SIGNAGE - SEE DETAIL X/AS.4.
12. ACCESSIBLE PARKING SPACE AND SIGNAGE - SEE DETAILS 5/AS.4.
13. ACCESSIBLE RAMP WITH DETECTABLE WARNNG - SEE DETAIL 1/AS.4.
14. DECORATIVE CONCRETE WALKWAY.
15. NEW 6" CONCRETE CURB., TYPICAL - REFERENCE CIVIL DRAWINGS.
16. PROPERTY LINE
17. BUILDING SETBACK LINE
18. TRUCK DOCK SETBACK
19. FIRE TRUCK TURING RADIUS 55' OUTSIDE RADIUS
20. LANDCAPE ISLAND - REFERENCE CIVIL AND LANDSCAPE DRAWINGS.
21. ACCESSIBLE AISLE - SEE DETAIL 5/AS.4.
22. ALUMINUM AND STAINLESS STEEL DOCK STAIR WITH GUARDRAIL AND RAILING - PRE-FABRICATED - INSTALL PER MFG'S INSTRUCTIONS.
23. DOCK SEAL, LEVELERS AND BUMPERS - SEE DETAILS 3 & 4/AS.5
24. EXISTING ACCESSIBLE RAMP - SIM. TO DETAIL 1/AS.4
25. NEW SIDEWALK - REFERENCE CIVIL DRAWINGS.
26. FIRE DEPARTMENT CONNECTION
27. FIRE RISER ROOM
28. RIP-RAP OUTFALL - REFERENCE CIVIL DRAWINGS.
29. DRY WELL - REFERENCE CIVIL DRAWINGS.
30. FIRE HYDRANT - REFERENCE CIVIL DRAWINGS

NOTE:

*PARKING LOT LIGHT POLES SHALL MATCH THE EXISTING APPROVED LIGHT FIXTURES ON EXTRELLA GIN PAD A.

*ALL ON-SITE OUTDOOR FIXTURES, OTHER THAN BOLLARD LIGHTING OR GARAGE COACH LIGHTS, SHALL BE SET BACK FROM ALL LOT LINES A MINIMUM OF 10 FEET OR A DISTANCE EQUAL TO THE HEIGHT OF THE FIXTURE, WHICHEVER IS GREATER.

*PARKING LOT AND POLE-MOUNTED SECURITY LIGHTING SHALL NOT EXCEED MAXIMUM MOUNTING HEIGHT OF 14 FEET WITHIN 100 FEET OF A RESIDENTIAL ZONING DISTRICT, OR FROM LAND DESIGNATED FOR RESIDENTIAL USES IN THE GENERAL PLAN.

*A FIRE FLOW TEST SHALL BE PROVIDED WITH A MINIMUM OF 1500 GPM SHALL BE PROVIDED TO THE CITY OF MARICOPA FOR REVIEW AND APPROVAL. THE PROJECT SHALL COMPLY WITH THE 2018 IFC APPENDIX B AND C.

*TRASH ENCLOSURES SHALL HAVE A SIGN STATING "KEEP CLOSED WHEN NOT IN USE" OR EQUIPVALENT AND SHALL MATCH THE REVISED DESIGN AND COLOR PALLET OUR BUILDING WHICH COMPLIMENTS THE DESIGN AND COLOR OF THE MAIN BUILDING STRUCTURE PAD A.

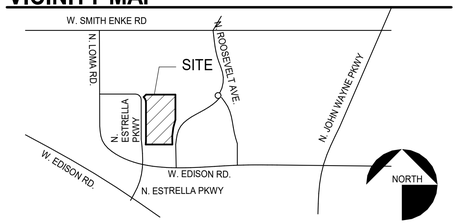
*LANSSCAPING SHALL BE PROVIDED OUTSIDE THE SCREEN WALL FOR ADDITIONAL SCREENING FROM THE RESIDENTIAL SUBDIVISION.

*NO MESQUITE OR PALO VERDE TREES ALLOWED ON OR NEAR THE RIGHT-OF-WAY OR ANY OTHER DRIVING AREAS INCLUDING LANDSCAPE ISLANDS.

**FIRE ALARM AND FIRE SPRINKLER SYSTEM UNDER SEPARATE SUBMITTAL.

** UNDERGROUND REQUIRED FIRE LINES SHALL BE UNDER A SEPARATE PERMITTAL.

VICINITY MAP



STEWART + REINDERSMA ARCHITECTURE, PLLC

8145 E. Indian Bend
Scottsdale, AZ 85250
P: 480.515.5123
www.sra360.com

REGISTERED ARCHITECT
CERTIFICATE NO.
42451
SAKE H. REINDERSMA
05.10.2022
Date Signed
ARIZONA U.S.A.
EXP. 3/31/2023

contact:
CSC
2880 E. 14TH N.
AMMON, ID 83401
CONTACT: ERIC WALL
PH: 208.371.4525
EMAIL: ERIC@CSCID.COM

PROJECT:
ESTRELLA GIN FLEX OFFICE - SHELL
20655 N. ESTRELLA PKWY
MARICOPA, AZ 85139

This drawing is an instrument of service and the property of Stewart + Reindersma Architecture, pllc, and shall remain their property. The use of this drawing shall be restricted to the original site for which it is prepared and publication thereof is expressly limited to such use.

date: 05.10.2022
issued for: DESIGN REVIEW
job no.: 21-131
sheet title: SITE PLAN

Sheet No.:
DR1.0

PLANT SCHEDULE: (FOR THIS SHEET ONLY)

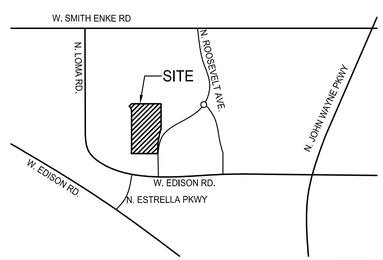
PISTACHIA CHINENSIS 'RED PUSH' RED PUSH PISTACHIA TREE	24" BOX MIN. 8' HT., 4.5' SP., 1 1/4" CAL.	13 TOTAL
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX MIN. 9' HT., 4.5' SP., 1 1/2" CAL.	14 TOTAL
QUERCUS VIRGINIANA SOUTHERN LIVE OAK	24" BOX MIN. 8' HT., 4.5' SP., 1 1/4" CAL.	22 TOTAL
ACACIA SALICINA WILLOW ACACIA	15 GALLON MIN. 6' HT., 2.5' SP., 3/4" CAL.	24 TOTAL
CAESALPINIA MEXICANA EVERGREEN YELLOW BIRD OF PARADISE	15 GALLON MIN. TREE FORM	14 TOTAL
CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GALLON FULL, PAST CAN	24 TOTAL
CALLISTEMON VIMINALIS 'LITTLE JOHN' LITTLE JOHN BOTTLE BRUSH	5 GALLON FULL, PAST CAN	40 TOTAL
RUELLIA BRITTONIANA RUELLIA	5 GALLON FULL, PAST CAN	43 TOTAL
LEUCOPHYLLUM LANGMANIAE 'R.B.' RIO BRAVO SAGE	5 GALLON FULL, PAST CAN	61 TOTAL
NERIUM OLEANDER 'D.P.' DWARF PINK OLEANDER	5 GALLON FULL, PAST CAN	84 TOTAL
TECOMA STANS V. SUNDANCE SUNDANCE TECOMA	5 GALLON FULL, PAST CAN	13 TOTAL
CASSIA STURTII DESERT CASSIA	5 GALLON FULL, PAST CAN	38 TOTAL
EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SURPRISE EMU	5 GALLON FULL, PAST CAN	42 TOTAL
LANTANA MONTEVIDENSIS TRAILING PURPLE LANTANA	1 GALLON FULL, PAST CAN	47 TOTAL
DECOMPOSED GRANITE 2" DEPTH	3/4" SIZE MOUNTAIN BROWN VISTA	34590 S.F.

LANDSCAPE NOTES:

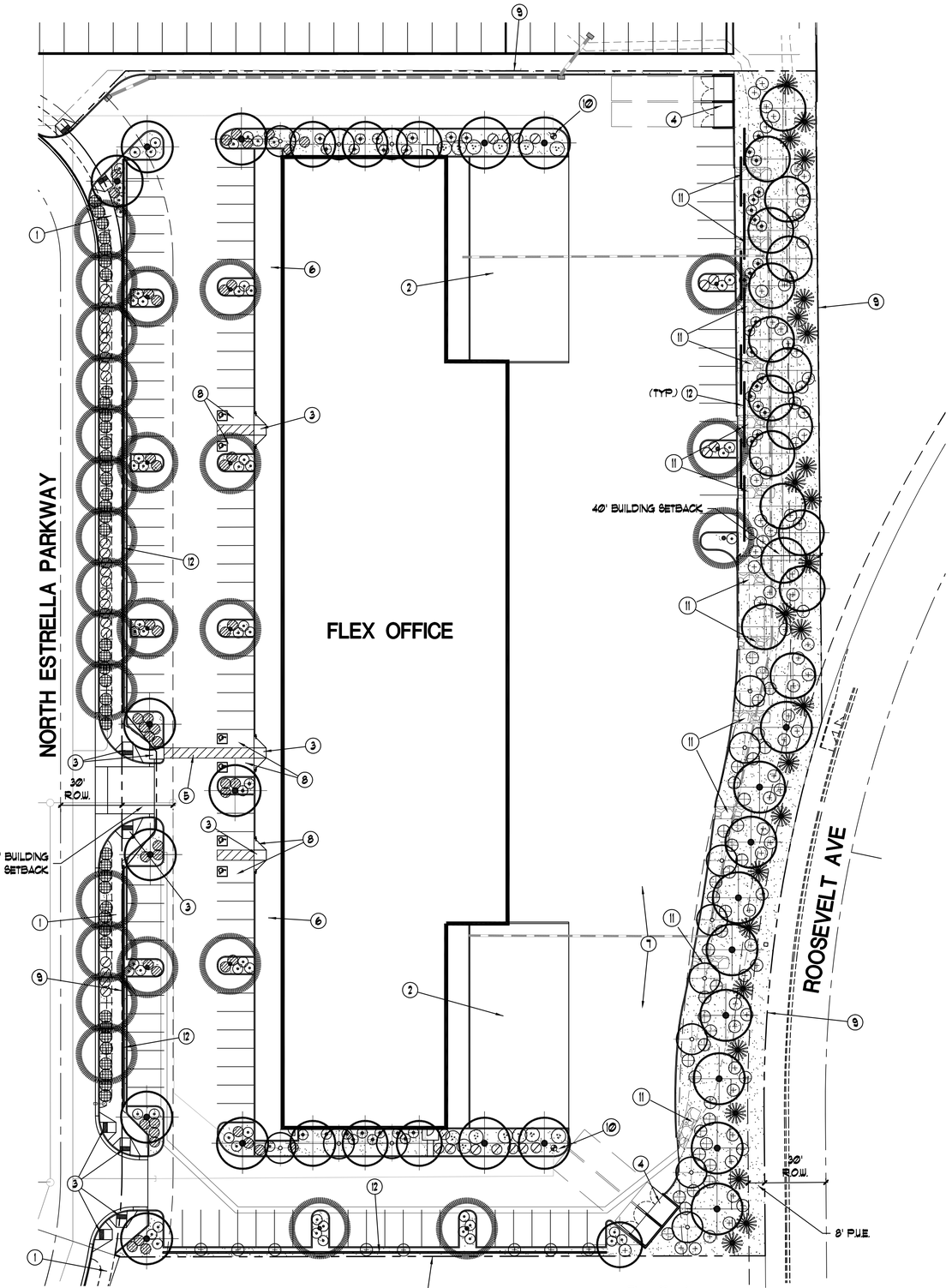
1. PROVIDE PLANT MATERIALS THAT ARE SOUND, HEALTHY, VIGOROUS AND FREE OF INFESTATION. HANDLE PLANTS TO PROTECT ROOTS AT ALL TIMES FROM DRYING AND OTHER DAMAGE. APPLY WATER IN SUFFICIENT QUANTITIES DURING PLANTING TO SUSTAIN AND PROMOTE PLANT GROWTH. GUARANTEE ALL PLANT MATERIAL TO BE IN GOOD HEALTH AND CONDITION UPON PLANTING. REPLACE ALL PLANT MATERIALS THAT ARE NOT ALIVE AND VIGOROUS AT THE END OF A 90 DAY PERIOD.
2. CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK. REVIEW MATERIALS, NECESSARY UTILITIES, CONNECTIONS AND PAY ALL PERMITS FOR WORK.
3. ALL LANDSCAPED AREAS SHALL RECEIVE 2" MIN. DEPTH OF DECOMPOSED GRANITE.
4. ALL R.O.W. PLANT MATERIALS TO BE IN COMPLIANCE WITH THE DETARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.
5. EXISTING TREES & SHRUBS IN R.O.W. TO REMAIN OR BE RELOCATED BY CONTRACTOR. ANY PLANT MATERIAL DAMAGED OR DESTROYED WILL BE REPLACED IN KIND BY THE CONTRACTOR.
6. PROVIDE A COMPLETE, AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM FOR ALL PLANTING AREAS. SYSTEM TO SUPPLY ADEQUATE AMOUNTS FOR VIGOROUS GROWTH AND HEALTH PLANT LIFE. SPRAY HEADS, EMITTERS, VACUUM BREAKERS, CONTROLLER AND PIPING OF SIZE, MANUFACTURER, QUALITY AND SPACING AS NECESSARY FOR ADEQUATE UNIFORM OVERLAPPING COVERAGE FOR ALL LANDSCAPED AREAS.
7. INSTALLATION TO TAKE IN TO CONSIDERATION WIND, CONTOURS, OPERATING PRESSURES AND OBSTRUCTIONS TO AVOID BLANK AND DRY SPOTS. UPON COMPLETION OF THE WORK, DEMONSTRATE THAT THE SYSTEM PROVIDES EVEN WATER COVERAGE TO ALL LANDSCAPED AREAS.
8. ALL TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE "STANDARD TREE PLANTING DETAIL". (SEE DETAIL) PLANT SIZE TO BE IN ACCORDANCE WITH THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
9. ALL SIGNS REQUIRE A SEPERATE PERMIT & APPROVALS.
10. PROPERTY OWNER SHALL BE RESPONSIBLE FOR, AND MAINTAIN ALL LANDSCAPE MATERIALS AND LANDSCAPE AREAS, INCLUDING THAT WITHIN THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE DEVELOPMENT, IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
11. REPLACEMENT OF DEAD TREES WITHIN THE SITE SHALL BE BY THE INDIVIDUAL PROPERTY OWNER AND SHALL BE COMPLETED WITHIN THREE (3) MONTHS FROM THE DATE THAT THE PROPERTY OWNER IS NOTIFIED BY THE CITY.

PLAN KEY NOTES:

1. EXISTING DETACHED SIDEWALK
2. TRUCK DOCK
3. SIDEWALK RAMPS
4. REFUSE ENCLOSURE
5. PAINTED CROSSWALK
6. NEW CONC. SIDEWALK
7. NEW ASPHALT PAVING
8. ACCESSIBLE PARKING W/ SIGNAGE & CURB RAMP PER A.D.A. REQUIREMENTS
9. PROPERTY LINE
10. FIRE HYDRANT
11. RIP RAP PER CIVIL DRAWING
12. 40" HIGH PARKING SCREEN WALL



Vicinity Map



Preliminary Landscape Plan
Scale 1:30
30 15 0 30
GRAPHIC SCALE
NORTH

SRA 360
STEWART + REINDERSMA ARCHITECTURE, PLLC
8145 E. Indian Bend Rd.
Scottsdale, Arizona 85250
P: 480.515.5123
www.sra360.com

phillip r. ryan
landscape architect p.c.
landscape architecture & planning
4916 s. quiet way
gilbert, arizona 85298
(480) 246-9681
mail@ryanassociatesonline.net

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO. 14691
PHILLIP R. RYAN
4/4/22
Date Signed
ARIZONA, U.S.A.
Expires 03/31/23

contact:
CSC
2880 E. 14TH N.
AMMON, ID 83401
CONTACT: ERIC WALL
PH: 208.371.4525
EMAIL: ERIC@CSCID.COM

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PROJECT:
ESTRELLA GIN FLEX OFFICE - SHELL
20655 N. ESTRELLA PARKWAY
MARICOPA, ARIZONA 85139

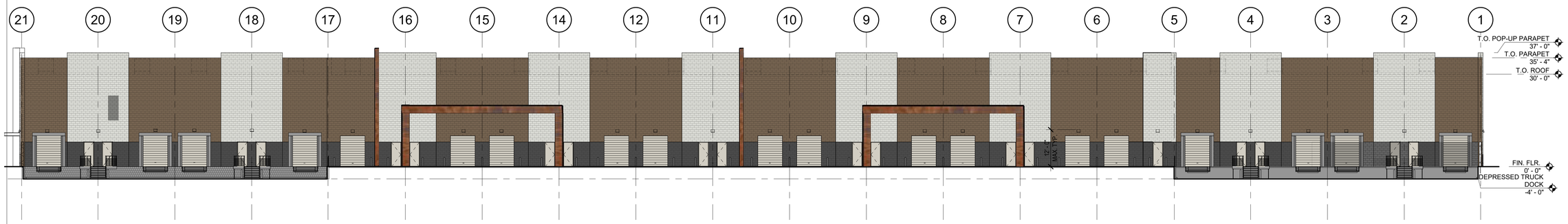
date: 3/25/22
Issued for:
PERMIT SUBMITTAL
rev # △

Rev	Description:	Date:

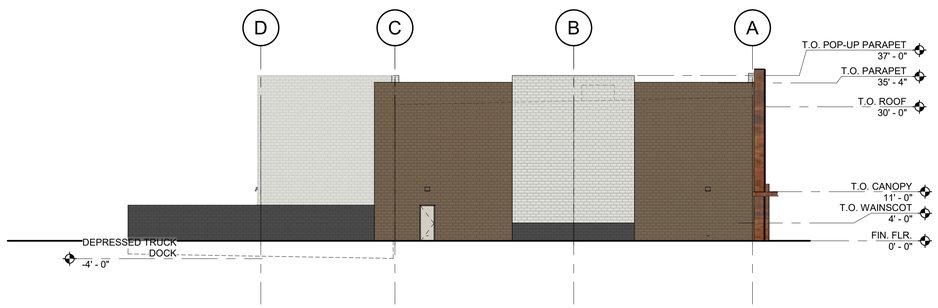
Job No.: 21-131

Sheet Title:
LANDSCAPE PLAN

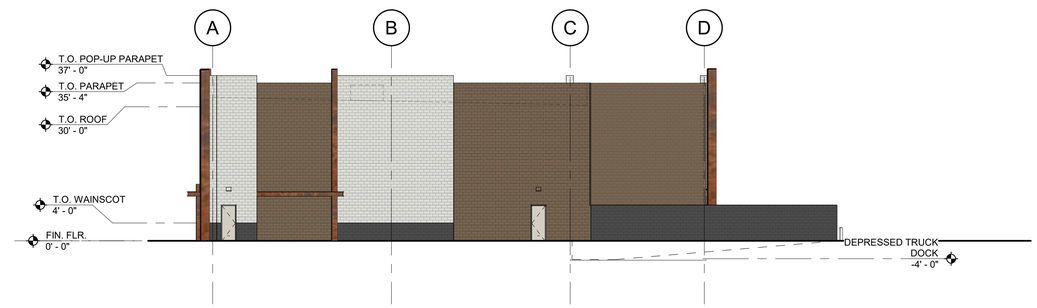
Sheet No.:
L-1



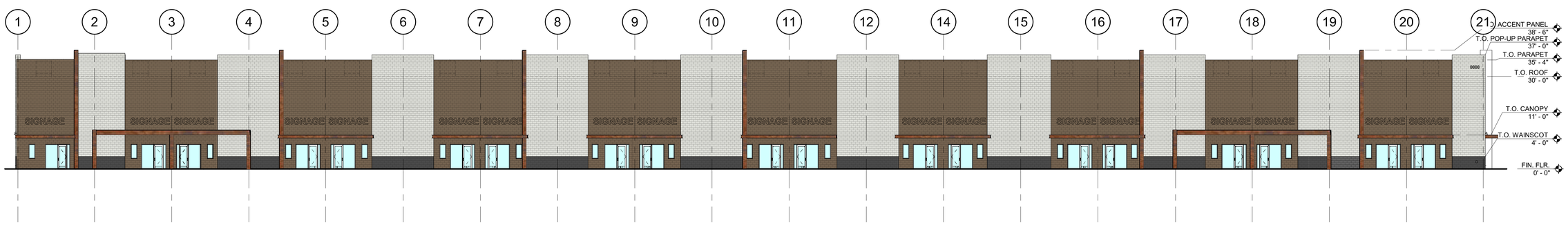
4 EXTERIOR ELEVATION - EAST
1/16" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/16" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
1/16" = 1'-0"



5 EXTERIOR ELEVATION - WEST
1/16" = 1'-0"

FINISH SCHEDULE

M-01	RUNNING BOND MASONRY	OLDCASTLE	TRENDSTONE - MISSION WHITE
M-02	RUNNING BOND MASONRY WAINSCOT	OLDCASTLE	TRENDSTONE - BLACK CANYON
M-03	RUNNING BOND AND SCORED MASONRY	OLDCASTLE	TRENDSTONE - ANTHEM RED
M-04	METAL PANEL	MOZ	ALUM. - PATINA 122 - FLAT
P-01	ROLL-UP & MAN DOOR PAINT	SHERWIN WILLIAMS	SW 6071 POPULAR GRAY
MT-01	ALUMINUM CANOPY	MAPES	TO MATCH MOZ ALUM. - PATINA 122 - FLAT
GL-01	ALUMINUM STOREFRONT	VITRO	OPTIGRAY + SOLARBAN 70 CLEAR & BLACK FINISH

KEYED NOTES:

1. OLDCASTLE INSULTECH MASONRY SYSTEM WITH TRENDSTONE VENEER - REFER TO EXTERIOR FINISH SCHEDULE THIS SHEET FOR FINISHES
2. ALUMINUM STOREFRONT SYSTEM - BLACK FINISH - SEE DETAIL 12/A7.1
3. 12" ADDRESS LETTERING IN CONTRASTING COLOR
4. PRE-FABRICATED METAL CANOPY - SEE DETAIL 5/A6.2
5. SIGNAGE - SHOWN FOR ILLUSTRATIVE PURPOSES ONLY - SIGNAGE WILL BE DESIGNED AND SUBMITTED UNDER SEPARATE PERMIT AT TIME OF TENANT IMPROVEMENTS
6. HOLLOW METAL ACCESS DOORS - SEE DETAIL 5/A7/1
7. ROOFTOP UNIT BEYOND ON CURB - SEE DETAIL 11/A6.2
8. LINE OF ROOF BEYOND
9. 4' DEPRESSED LOADING DOCK - SEE DETAILS 1, 2, 3, & 4/AS.5
10. 8' X 10' INSULATED EXTERIOR ROLL UP DOOR WITH MANUAL PULL-CHAIN OPERATION - SEE DOOR SCHEDULE ON SHEET A9.1 AND DETAILS 13,14, & 15/A7.1
11. NOT USED
12. 8' H. CMU SCREEN WALL - SEE DETAIL 2/AS.3
13. DOCK LEVELER AND BUMPERS - SEE DETAILS 3 & 4/AS.5
14. EXTERIOR LIGHT FIXTURE - MAX. HEIGHT 12' A.F.F.
15. ALUMINUM LOADING DOCK STAIR WITH GUARDRAIL - PRE MANUFACTURED - SEE STRUCTURAL DRAWINGS FOR ATTACHMENTS
16. MTL GUARDRAIL - MIN. 42" ABOVE FINISHED GRADE
17. METAL PANEL DECORATIVE ACCENT FEATURE ON 6" STUD FRAMING - SEE FINISH SCHEDULE AND DETAILS 2 & 3/A6.1
18. MOZ ALUM. PANEL OVER WOOD STUD FRAMING - SEE DETAIL 2/A6.1

SRA 360

STEWART + REINDERSMA ARCHITECTURE, PLLC

8145 E. Indian Bend
Scottsdale, AZ 85250
P: 480.515.5123
www.sra360.com

REGISTERED ARCHITECT
CERTIFICATE NO.
42451
SAKE H. REINDERSMA
05.10.2022
Date Signed
ARIZONA U.S.A.
EXP. 3/31/2023

contact:
CSC
2880 E. 14TH N.
AMMON, ID 83401
CONTACT: ERIC WALL
PH: 208.371.4525
EMAIL: ERIC@CSCID.COM

PROJECT:
ESTRELLA GIN FLEX OFFICE - SHELL
20655 N. ESTRELLA PKWY
MARICOPA, AZ 85139

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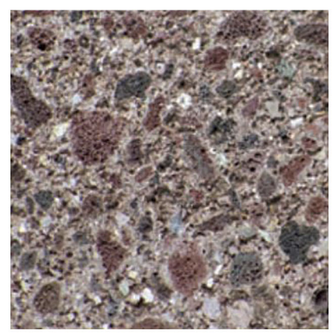
date: 05.10.2022
issued for: DESIGN REVIEW
job no.: 21-131
sheet title: EXTERIOR ELEVATIONS
Sheet No.: DR2.1

PERSPECTIVE 1

COLOR / MATERIAL PALETTE

M-01
TRENDSTONE
'MISSION WHITE'
RUNNING BOND MASONRY

M-02
TRENDSTONE
'BLACK CANYON'
RUNNING BOND MASONRY



M-03
TRENDSTONE
'ANTHEM RED'
8"X8" RUNNING BOND
MASONRY

M-04
MOZ ALUMINUM
METAL PANEL
'PATINA 122 FLAT'

P-01
SHERWIN WILLIAMS
SW 6071 POPULAR GRAY

CONSTRUCTION SOLUTIONS COMPANY

ESTRELLA GIN FLEX OFFICE

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MARICOPA, AZ 85139

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SCOTTSDALE, AZ 85250
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PERSPECTIVE 2

COLOR / MATERIAL PALETTE

M-01
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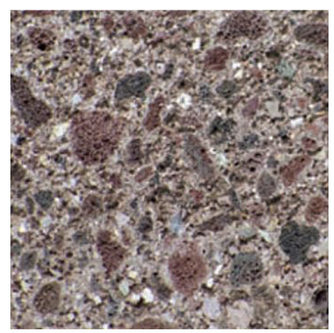
RUNNING BOND MASONRY

M-02
TRENDSTONE
'BLACK CANYON'
RUNNING BOND MASONRY



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MASONRY

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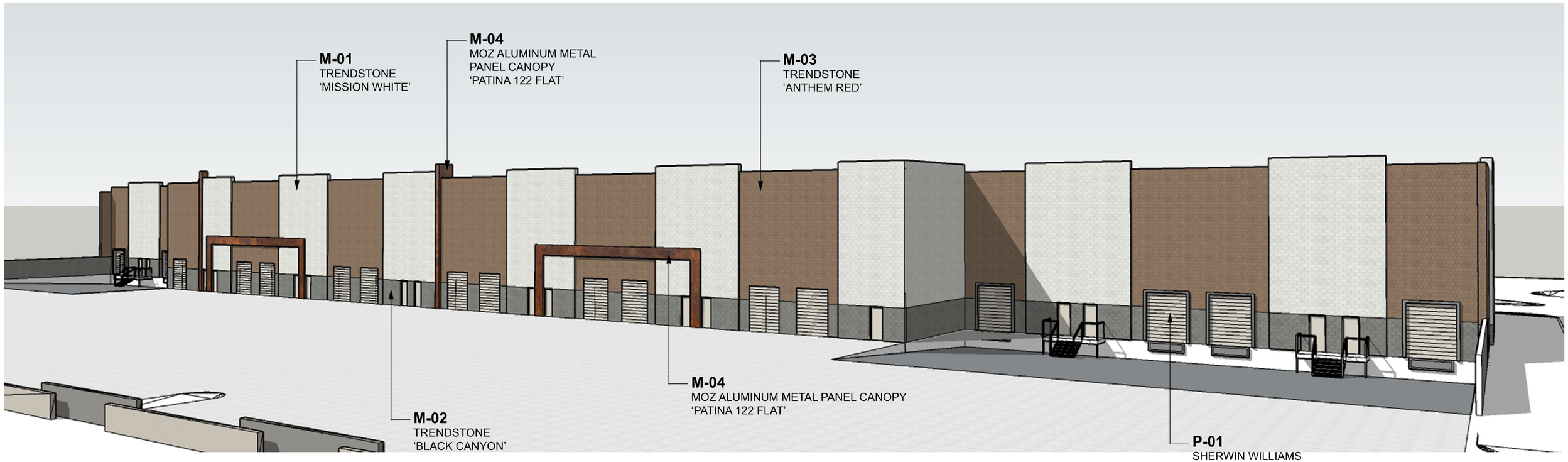

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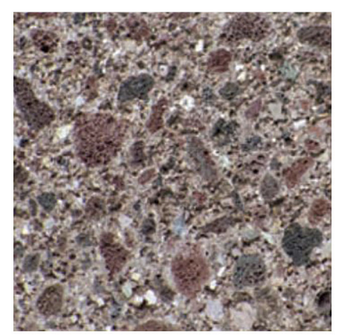

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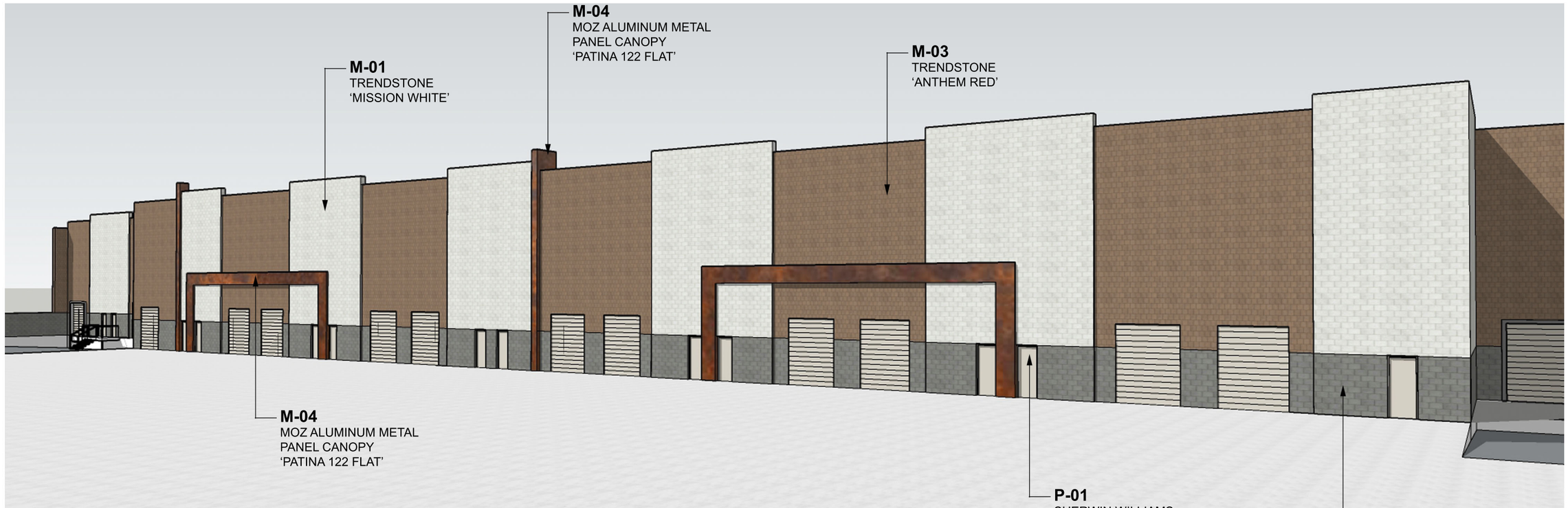
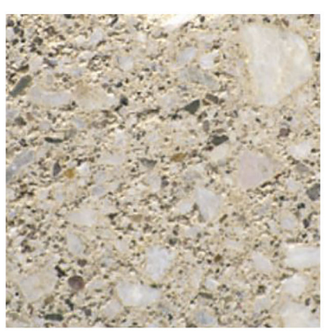


PERSPECTIVE 2

COLOR / MATERIAL PALETTE



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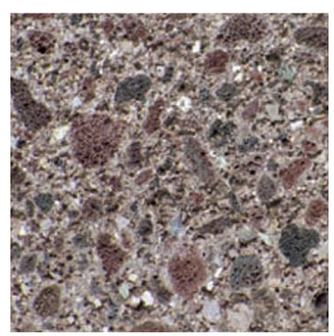

M-03
TRENDSTONE
'ANTHEM RED'
8"X8" RUNNING BOND
MASONRY

M-04
MOZ ALUMINUM
METAL PANEL
'PATINA 122 FLAT'

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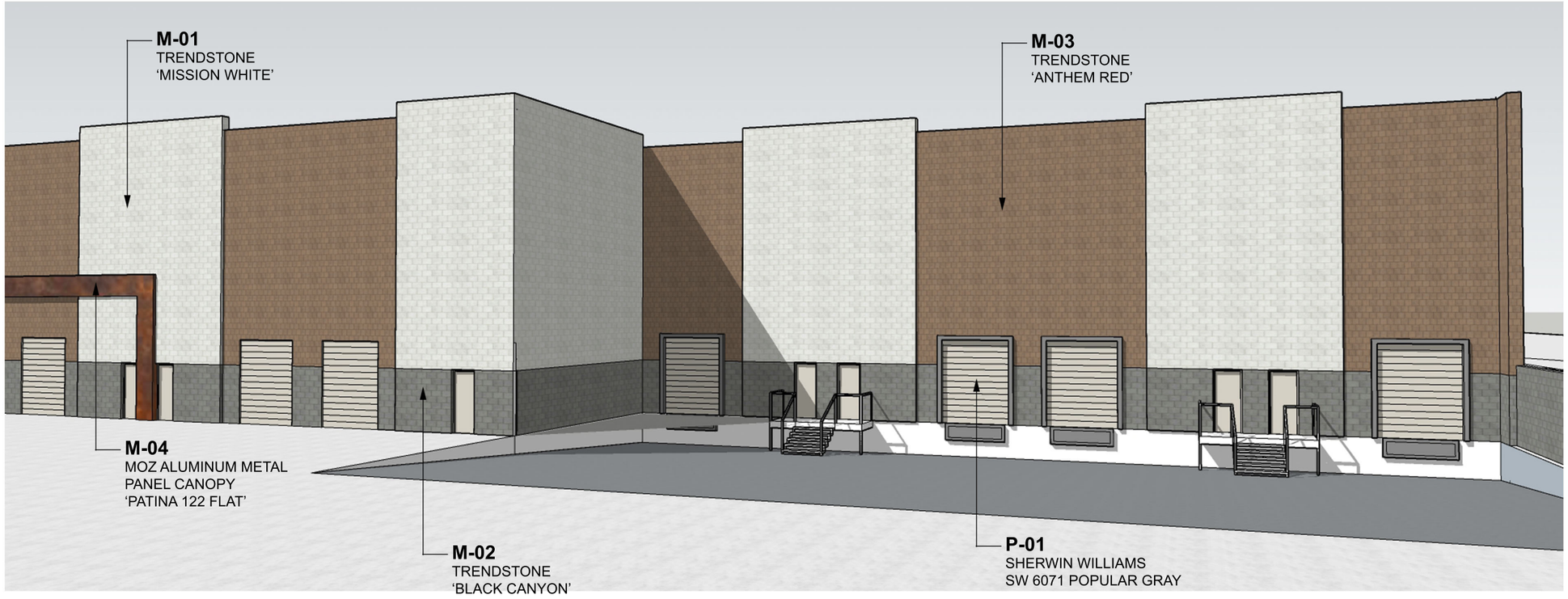

PERSPECTIVE 3

COLOR / MATERIAL PALETTE

M-01
TRENDSTONE
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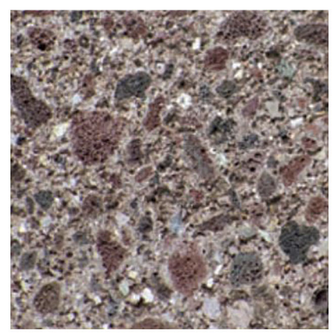
RUNNING BOND MASONRY

M-02
TRENDSTONE
'BLACK CANYON'
RUNNING BOND MASONRY



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TRENDSTONE
'ANTHEM RED'
8"X8" RUNNING BOND
MASONRY

M-04
MOZ ALUMINUM
METAL PANEL
'PATINA 122 FLAT'

P-01
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PERSPECTIVE 4

COLOR / MATERIAL PALETTE

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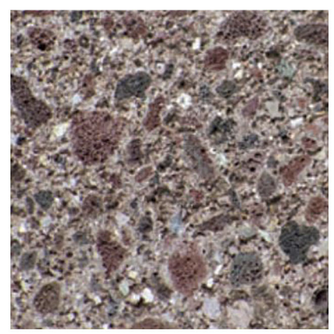
RUNNING BOND MASONRY

M-02
TRENDSTONE
'BLACK CANYON'
RUNNING BOND MASONRY



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