

## WEST MARICOPA VILLAGE SEC SMITH ENKE ROAD & WEST VILLAGE PARKWAY

MARICOPA, ARIZONA

### SITE PLAN YIELD

GROSS AREA ±772,426 SF / ±17.732 AC  
NET AREA ±712,435 SF / ±16.355 AC  
DENSITY PROVIDED 10.27  
DENSITY ALLOWED

### PROJECT DESCRIPTION

CASITA 2-BEDROOM AND DUPLEX 1-BEDROOM SINGLE STORY RENTAL PROPERTY

### PROJECT DATA

#### YIELD DATA

UNIT TYPE	YIELD	# BEDS	TOTAL SQUARE FEET	UNIT SQUARE FEET	TOTAL SQUARE FEET	MIX %
1 BEDROOM	57	57	640.84	36,528	31	
2 BEDROOM	125	250	997.37	249,343	69	
UNITS PROVIDED	182	307		285,870	100	
PARKING CANOPIES				32,736		
GARAGES				8,100		
ENTRY PORTICO				—		
TOTAL LOT COVERAGE				—		

LOT COVERAGE INCLUDING ALL STRUCTURES AND BUILDINGS  
161,895 SQ FT/712,435 SQ FT =

23%  
38%

LOT COVERAGE ALLOWED

510-17-003E  
510-170-210

ALLOWED HEIGHT  
PROPOSED HEIGHT

2 STORY/30'  
1 STORY/17"

CURRENT ZONING

02RL  
02RI  
VACANT LAND  
MULTI-FAMILY

PARKING SPACES REQUIRED

SPACES/UNIT-57x1.5  
SPACES/UNIT-125x2.0  
UNRESERVED (0.2/UNIT - AS PART OF TOTAL REQ)

TOTAL SPACES REQUIRED

= 86 SPACES  
= 250 SPACES  
= 36 SPACES  
= 372 SPACES

86 SPACES  
250 SPACES  
36 SPACES  
372 SPACES

TOTAL SPACES PROVIDED

COVERED PARKING PROVIDED  
GARAGE PARKING  
UNCOVERED PARKING

TOTAL SPACES PROVIDED

= 190 SPACES  
= 36 SPACES  
= 149 SPACES  
= 375 SPACES

6 SPACES  
4 SPACES

ACCESSIBLE SPACES REQUIRED (6 COVERED) =

COMMON AREA OPEN SPACE PROVIDED

(271,417 SQ FT/405,124 SQ FT)

COMMON AREA REQUIRED

MINIMUM 5% OF GROSS AREA  
20,256 SQ FT

OPEN RECREATIONAL SPACE SUMMARY:

COMMON OPEN SPACE CALCULATION:

POOL 1,646 SF

AMENITY OPEN SPACE 37,031 SF

AMENITY OPEN SPACE (SUM) 38,677 SF

OPEN SPACE WALKING AREA 232,740 SF

TOTAL PROVIDED COMMON OPEN SPACE (SUM) 271,417 SF

55% OF OPEN SPACE, 1,200 SF/UNIT

PARKING LOT LANDSCAPE PROVIDED

PARKING LOT LANDSCAPE REQUIRED

12%  
MIN 5%

---



PROJECT NUMBER

22868  
22868  
RIGGED PROFESSIONAL ENGINEER  
C/0 MATRIX EQUITIES  
10446 N. 74TH STREET, SUITE 200  
SCOTTSDALE, AZ 85258  
PHONE: (480) 945-9292  
CONTACT: RONALD SMITH, P.E.  
EMAIL: RON@MATRIX-EQUITIES.COM

CIVIL/APPLICANT

BOWMAN CONSULTING GROUP  
CONTACT: JHON GRAY, P.E.  
1295 W WASHINGTON STREET  
SUITE: 108  
TEMPE, AZ 85281  
EMAIL: JGRAY@BOWMANCONSULTING.COM  
PHONE: (480) 559-8351

DATE DESCRIPTION

AJS HY JG  
DESIGN DRAWN CHKD

SCALE H: 1'-0" 80'  
V: NONE

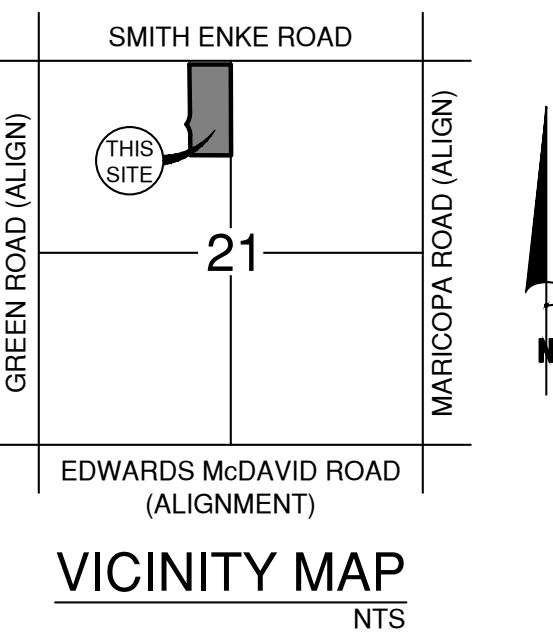
JOB No. 050712-03-001

DATE : 11/09/2020

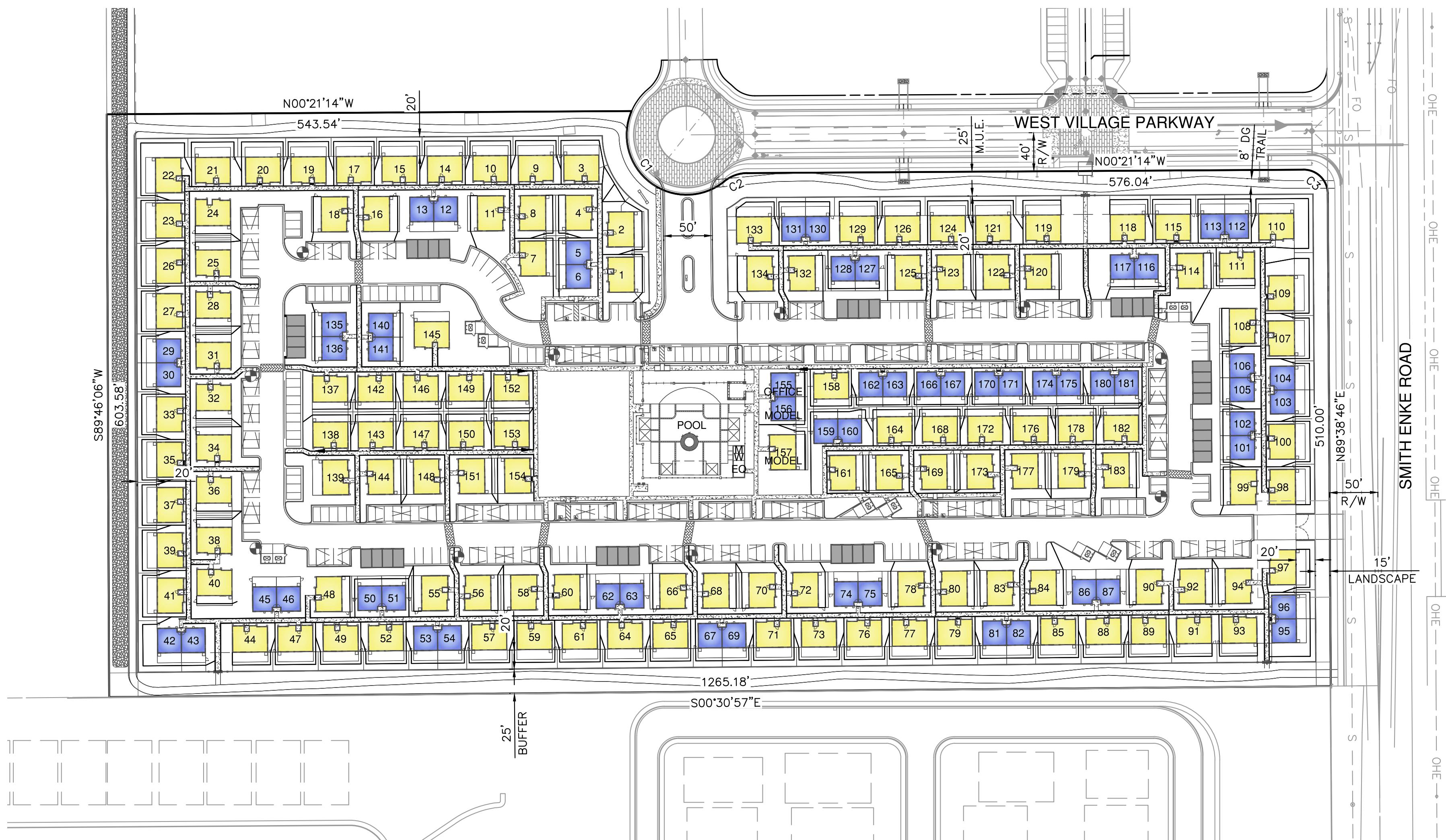
SP01  
01 OF 05

SHEET

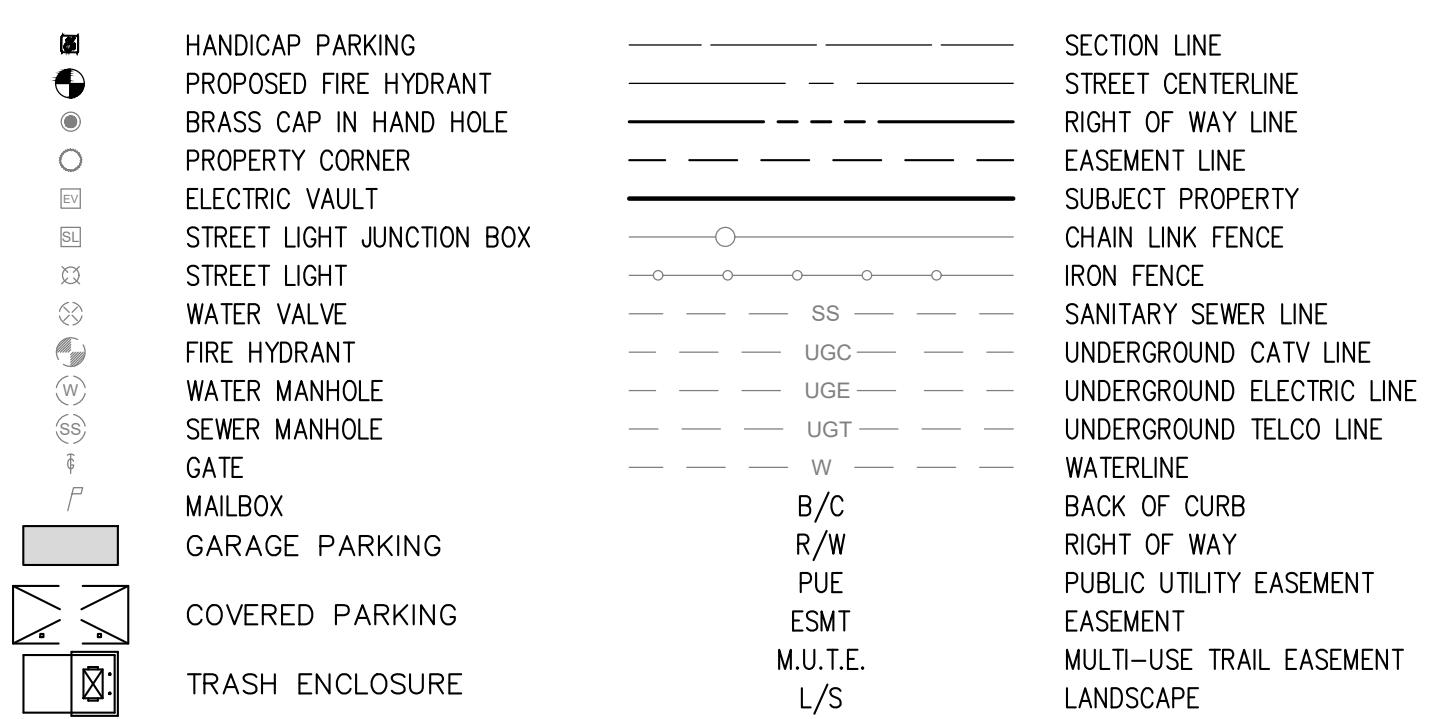
01 OF 05



CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	165.04'	62.00'	152°31'10"
C2	25.69'	38.00'	38°44'22"
C3	39.27'	25.00'	90°00'00"



### LEGEND



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
01	COVER SHEET
02	NOTES SHEET
03	SITE PLAN
04	SITE PLAN
05	DETAILS SHEET

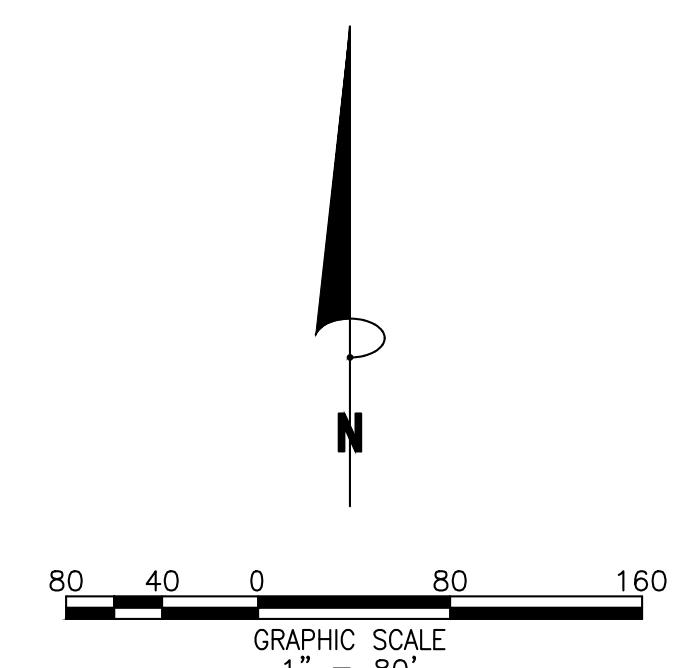
### PROJECT CONSULTANT TEAM

#### OWNER/DEVELOPER

INNOVATION VILLAS AT WEST MARICOPA, LLC  
C/O MATRIX EQUITIES  
10446 N. 74TH STREET, SUITE 200  
SCOTTSDALE, AZ 85258  
PHONE: (480) 945-9292  
CONTACT: RONALD SMITH, P.E.  
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## BOWMAN GENERAL NOTES

- THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON THEMSELVES THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
- THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES, AND SITE VISITATION.
- ALL EARTHWORK CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAILS AND/OR SPECIFICATIONS INCLUDING ANY SUPPLEMENTS THERETO, AND ALL ADDENDA. THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATION OF THE PROJECT SOIL INVESTIGATION REPORT AND LETTER.
- PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY THEMSELVES TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, POWER POLES, ETC.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND SHOULD BE CONSIDERED APPROXIMATE. CALL ARIZONA BLUE STAKE FOR FIELD LOCATION AT 8-1-1 or 1-800-STAKE-IT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE NOT NOTED FOR RELOCATION OR REMOVAL. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE REPLACED IN KIND IF DISTURBED.
- THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
- ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UNDERGROUND FACILITIES FROM DAMAGE DURING CONSTRUCTION. THE DEPTH OF COVER IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE SUCH AS BERMING OVER PIPES, FLAGGING OR SIGNAGE SHOULD BE USED DURING CONSTRUCTION TO MAINTAIN COVER OR PROTECT THE UNDERGROUND FACILITIES.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER. EARTHWORK QUANTITIES SHOWN ARE RAW, AND DO NOT ACCOUNT FOR SOIL SHRINK, SWELL OR GROUND SCARIFICATION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING PIPE AT PROPOSED CONNECTIONS PRIOR TO NEW PIPE INSTALLATION. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR DISCREPANCIES FROM THE PLANS.
- CONTRACTOR TO COMPLY WITH ALL ADA REQUIREMENTS RELATING TO CONSTRUCTION.

## CITY OF MARICOPA GENERAL NOTES

- ALL PUBLIC IMPROVEMENT CONSTRUCTION WITHIN THE PUBLIC ROW AND ONSITE SHALL BE CONDUCTED IN ACCORDANCE WITH, AND CONFORM TO, THE LATEST EDITION OF THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, BOTH AS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG).
- INSPECTION OF WORK PER MAG 105.10: THE ENGINEER SHALL BE PERMITTED TO INSPECT ALL MATERIALS, AND EACH PART OR DETAIL OF THE WORK AT ANY TIME FOR THE PURPOSE OF EXPEDITING AND FACILITATING THE PROGRESS OF WORK. HE SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR, AS IS REQUIRED TO MAKE A COMPLETE AND DETAILED INSPECTION. THE CITY ENGINEER REQUIRES THAT THE ACTUAL TEST RESULT DATA SHEET ACCOMPANY ALL COMPACTION TEST RESULTS SUBMITTED TO THE CITY'S INSPECTOR. PASS/FAIL STATEMENTS ARE NOT ACCEPTABLE WITHOUT THE ATTACHED DATA SHEET. FAILURE TO SUBMIT THE TEST RESULT DATA SHEETS WILL RESULT IN AN INCOMPLETE SUBMITTAL AND THE TEST WILL BE REJECTED.
- IN THE EVENT OF CONFLICT BETWEEN MAG STANDARD SPECIFICATIONS AND DETAILS AND THESE PLANS, THESE PLANS SHALL PREVAIL.
- THE OFFICE OF THE CITY ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN THE CITY OF MARICOPA ROW.
- CONTRACTOR IS TO NOTIFY ALL PUBLIC UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, FOR FIELD LOCATIONS OF THEIR RESPECTIVE FACILITIES, BY CONTACTING THE FOLLOWING BLUE STAKE: 1-800-782-5348.
- CONTRACTOR SHALL COORDINATE AND MAKE ARRANGEMENTS FOR RELOCATION OF ANY UTILITIES CONFLICTING WITH THE PROPOSED CONSTRUCTION OF THESE PLANS, WITH THE APPROPRIATE UTILITY.
- REMOVAL AND REPLACEMENT OF ALL TREES, SHRUBS, VEGETATION, MISCELLANEOUS STRUCTURES, DEBRIS, RUBBLE AND OTHER DELETERIOUS MATERIALS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL CONCRETE SIDEWALKS, APRONS, CROSS-PANS, VALLEY GUTTER, CURBS AND GUTTERS LANDSCAPING AND IRRIGATION THAT MAY BE DAMAGED DURING THE COURSE OF CONSTRUCTIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. SHORING IS TO BE INSTALLED OR A TRENCH BOX IS TO BE USED, IN ALL TRENCHES IN EXCESS OF FIVE ('5') FEET IN DEPTH. A REGISTERED CIVIL ENGINEER OR SOILS ENGINEER SHALL CERTIFY SHORING INSTALLATION PLANS, DETAILS AND SPECIFICATIONS. SHORING MUST CONFORM TO OSHA 29 CFR, PART 1926, AND SUBPART D.
- COMPACTION TESTING IS REQUIRED AND MUST BE PERFORMED IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY ENGINEER.
  - BACKFILL: BACKFILL WITHIN THE PUBLIC UTILITY EASEMENTS AND WITHIN PUBLIC STREET ROW COMPACT TO 95% OF MAXIMUM THEORETICAL DENSITY PER ASTM D698. ALL MATERIALS OUTSIDE THE MOISTURE LIMIT SHALL BE CONSIDERED UNSUITABLE, AND SUBJECT TO REMOVAL. NO HYDRAULIC COMPACTION OR WATER JET COMPACTION WILL BE ALLOWED. ALL COMPACTION MUST BE DONE BY MECHANICAL MEANS. MOISTURE LIMIT SPEC' 2.0 PERCENT BELOW OPTIMUM MOISTURE, MATERIAL SHALL BE UNIFORM.
  - SUB GRADE: SUB-GRADE PREPARATION FOR ALL NEW STREETS AND ROADWAYS SHALL CONSIST OF SCARIFYING AND LOOSENING SUB-GRADE TO A DEPTH OF SIX (6") INCHES. SUB-GRADE SHALL BE CONSTRUCTED TO ACHIEVE UNIFORM MOISTURE CONTENT BY THE ADDITION OF WATER AND COMPACTED TO 95% OF MAXIMUM DENSITY. MOISTURE SHALL BE MAINTAINED BETWEEN OPTIMUM AND 4.0% BELOW OPTIMUM MOISTURE, AND SHALL BE COMPACTED TO 95% ON MAXIMUM THEORETICAL DENSITY, AS DETERMINED BY ASTM D698. ALL MATERIALS OUTSIDE THE MOISTURE LIMIT AT THE TIME OF PLACEMENT AND COMPACTION SHALL BE CONSIDERED UNSUITABLE AND SUBJECT TO REMOVAL. THE FINISHED SURFACE OF THE SUB-GRADE SHALL NOT VARY FROM THE GRADES ESTABLISHED BY THE CITY ENGINEER BY MORE THAN' 0.04 OF A FOOT ABOVE OR BELOW SPECIFIED GRADE.
- GRADING OF AGGREGATE BASES AND AGGREGATE SUB-BASE SHALL BE AS FOLLOWS: AGGREGATE MATERIALS SHALL HAVE WATER ADDED TO THEM AND SHALL BE MIXED AND PROCESSED TO PRODUCE A UNIFORM BLEND OF MATERIAL BEFORE PLACEMENT. AFTER PROCESSING, THE MATERIAL SHALL BE PLACED AND SPREAD ON THE PREPARED SUB-GRADE AND SHALL BE PLACED IN A UNIFORM LAYER OR LAYERS NOT EXCEEDING SIX (6") INCHES IN COMPACTED DEPTH, UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER. EACH LAYER OF AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 100% OF THE MAXIMUM DENSITY. THE FINISHED SURFACE OF THE SUB-GRADE SHALL NOT VARY FROM THE GRADES ESTABLISHED BY THE CITY ENGINEER BY MORE THAN: 0.04 OF A FOOT ABOVE OR BELOW SPECIFIED GRADE.
- COMPACTION TESTING FOR SUB-GRADE WILL BE DONE AFTER THE SUB-GRADE HAS BEEN STRING LINED AND IS WITHIN TOLERANCE AND ACCEPTED BY THE CITY ENGINEER. THE CITY ENGINEER OR HIS REPRESENTATIVE WILL DIRECT THE NUMBER AND LOCATION OF DENSITY TESTS. ALL SUB-GRADES SHALL HAVE A BLUE-TOP ELEVATION SET TO FINISHED GRADE AND LEFT AND RIGHT EDGES OF PAVEMENT, AND CENTERLINE OF ROADWAY.
- ONE (1) SAND CONE TEST SHALL BE REQUIRED FOR EVERY TEN (10) NUCLEAR DENSITY TESTS PERFORMED, OR WHEN REQUESTED BY THE CITY ENGINEER OR HIS REPRESENTATIVE. THE CITY ENGINEER OR ENGINEER'S REPRESENTATIVE SHALL DETERMINE THE LOCATIONS OF THESE SAND CONE TESTS.
- ALL MATERIALS, INCLUDING BUT NOT LIMITED TO AGGREGATE BASE COURSE, BORROW MATERIAL AND NATIVE MATERIAL, WILL BE ACCEPTED IN PLACE ONLY. TESTING REQUIRED FOR ACCEPTANCE WILL INCLUDE A SIEVE ANALYSIS AND PLASTICITY INDEX, (P.I.). DETERMINATION OF MAXIMUM THEORETICAL DENSITY WILL BE IN ACCORDANCE WITH ASTM D698. ONLY A FOUR-POINT PROCTOR TEST WILL BE ACCEPTED.
- THE BASE COURSE SHALL NOT BE PLACED ON SUB-GRADE UNTIL THE CITY ENGINEER HAS ACCEPTED THE SUB-GRADE. ALL MATERIALS WILL BE ACCEPTED IN PLACE ONLY.
- COMPACTON DENSITIES: MAG TYPE I BACKFILL MATERIAL (SECTION 601.4.4) IS MODIFIED TO INCLUDE AREAS UNDER THE PAVEMENT, ROW, AND EASEMENTS FOR ALL TRENCHES INCLUDING SEWER, WATER, ELECTRIC, AND GAS, TELEPHONE, AND STORM DRAINS. MOISTURE SPEC.2.0 PERCENT BELOW OPTIMUM MOISTURE COMPACT TO 95%. OF MAXIMUM THEORETICAL DENSITY. ALL MATERIALS OUTSIDE THE MOISTURE SPEC-LIMIT SHALL BE CONSIDERED UNSUITABLE, SUBJECT TO REMOVAL AND MATERIAL SHALL BE UNIFORM.
- THE LOCATION OF ALL SEWER STUB-OUTS SHALL BE STAMPED ON THE TOP OF VERTICAL CURB, AND FACE OF ROLLED CURBS, WITH A FOUR ( 4") INCH HIGH LETTERS (IE: "S").
- ALL CURB, GUTTER AND SIDEWALK EXPANSION JOINT FILLER WILL BE IF" BITUMINOUS PRE-MOLDED STRIPS. ALL EXPANSION JOINT SPACING SHALL NOT EXCEED A MAXIMUM OF (50') FEET OR AS DIRECTED BY THE CITY ENGINEER. CONCRETE CURING COMPOUND MATERIAL SHALL BE A WHITE PIGMENT MEMBRANE USED ON ALL CONCRETE STRUCTURES INCLUDING CURB & GUTTER, SIDEWALK, HEADWALL, CATCH BASINS AND SIDEWALK RAMPS.
- PAVING WILL NOT COMMENCE UNTIL AGGREGATE BASE COURSE COMPACTION AND GRADATION TESTS ARE COMPLETED AND THE CITY ENGINEER ACCEPTS THE RESULTS.
- USPS CLUSTER MAIL BOX LOCATIONS MUST BE PRE-DETERMINED AND NOTED ON THE CIVIL PLANS FOR GRADING AND PAVING. ADD CLUSTER BOXES TO THE LEGEND AND IN CONSTRUCTION NOTES. CLUSTER BOX LOCATIONS SHOULD BE SHOWN ON THE "OVERALL SEWER/WATER/ HYDRANT/STREETLIGHT PLAN."
- MEDIAN CURB & GUTTER BULL NOSE SHALL BE PAINTED YELLOW, WITH REFLECTIVE GLASS BEADS, PER M.A.G. DTL-223, AND HAVE YELLOW PAVEMENT REFLECTORS INSTALLED AFTER THE PLANTING IS COMPLETE.

**Bowman Consulting**  
CONSULTING

Bowman Consulting Group, Ltd.  
125 West Washington Ste 108  
Tempe, Arizona 85281  
Phone: (480) 628-8830  
www.bowmanconsulting.com  
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NOTES SHEET

WEST MARICOPA VILLAGE  
SEC SMITH ENKE ROAD & WEST VILLAGE PARKWAY  
MARICOPA, ARIZONA



PLAN STATUS

DATE DESCRIPTION  
AJS HY JG  
DESIGN DRAWN CHKD  
SCALE H: NONE  
V: NONE  
JOB No. 050712-03-001  
DATE : 11/09/2020  
SP02  
02 OF 05

# Bowman Consulting

1295 West Washington Ste 108  
Tempe, Arizona 85281  
  
Phone: (480) 629-8830

# WEST MARICOPA VILLAGE

## EC SMITH ENKE ROAD & WEST VILLAGE PARKWA

WEST  
SEC SMITH ENK  
MARICOPA, ARIZONA

PROJECT NUMBER

REGISTERED PROFESSIONAL ENGINEER (CIVIL)

CERTIFICATE NO.

22868

JOHN J.

GRAY

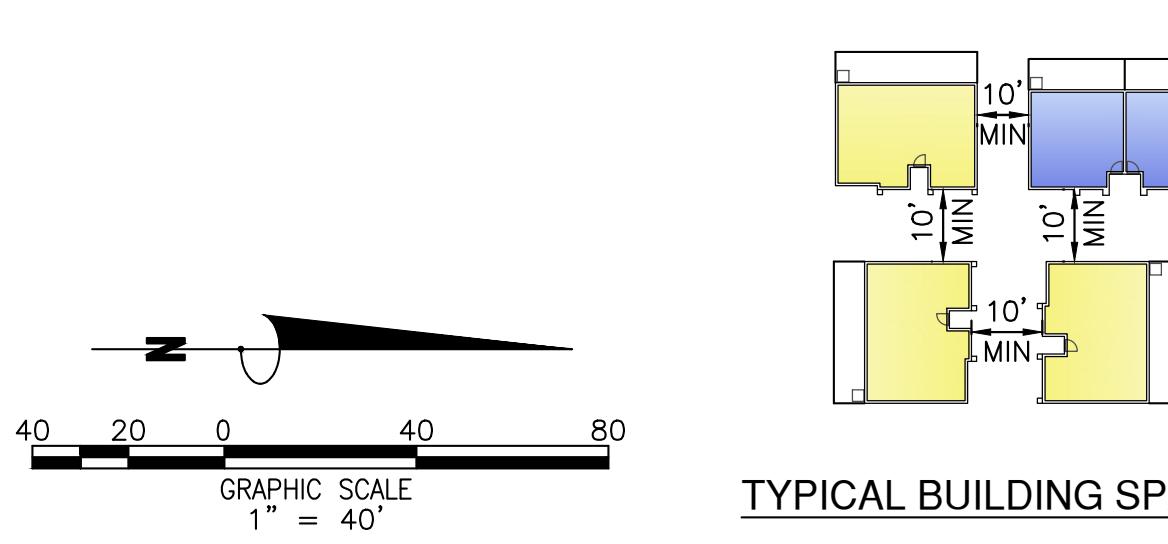
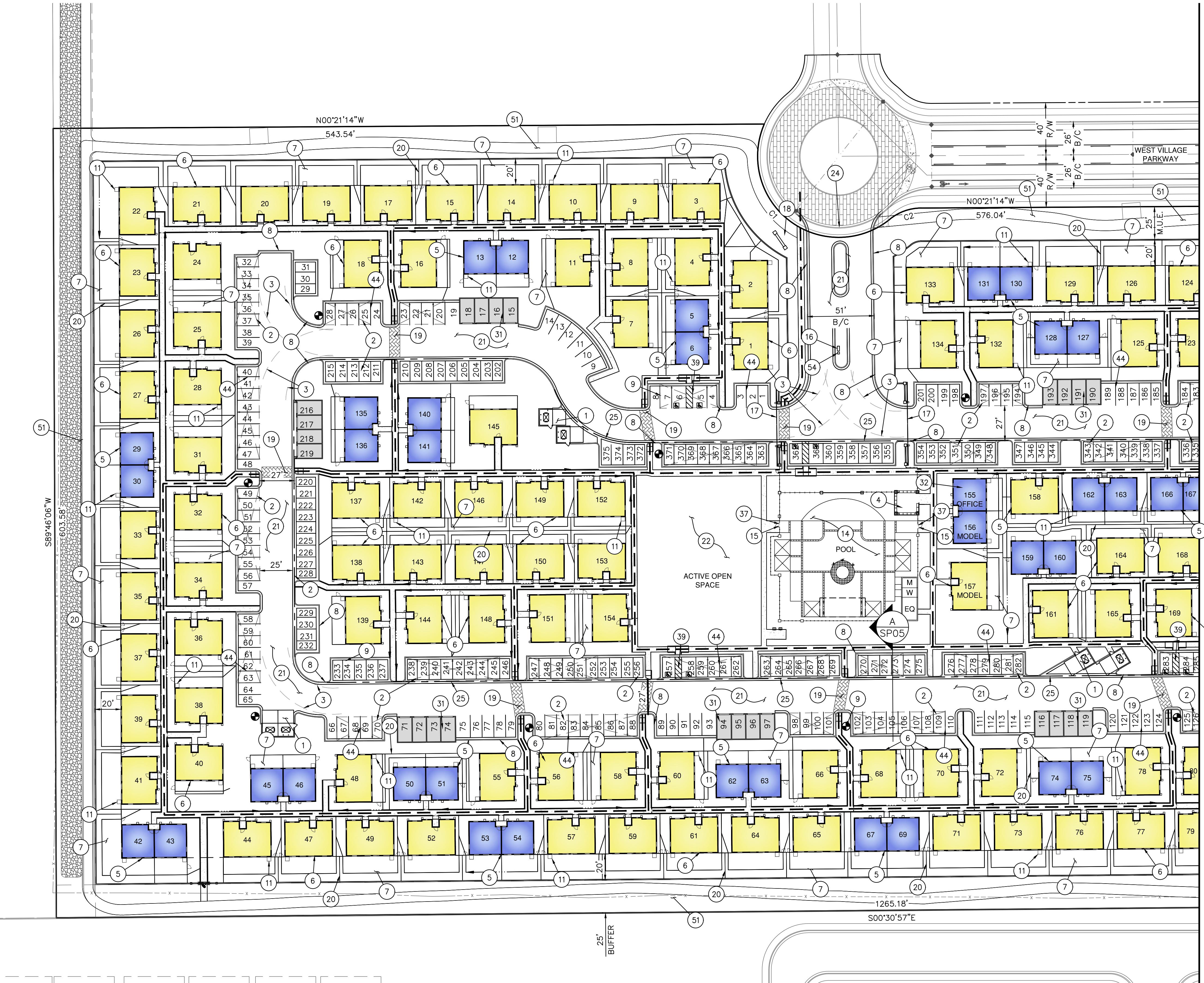
#### PLAN STATUS

TE	DESCRIPTION	
HT	HY	JG
SIGN	DRAWN	CHKD
ALE	H: 1" = 40'	
	V: NONE	
3	No. 050712-03-001	
TE :	11/09/2020	
<b>SP03</b>		
ET	03	OF
		05

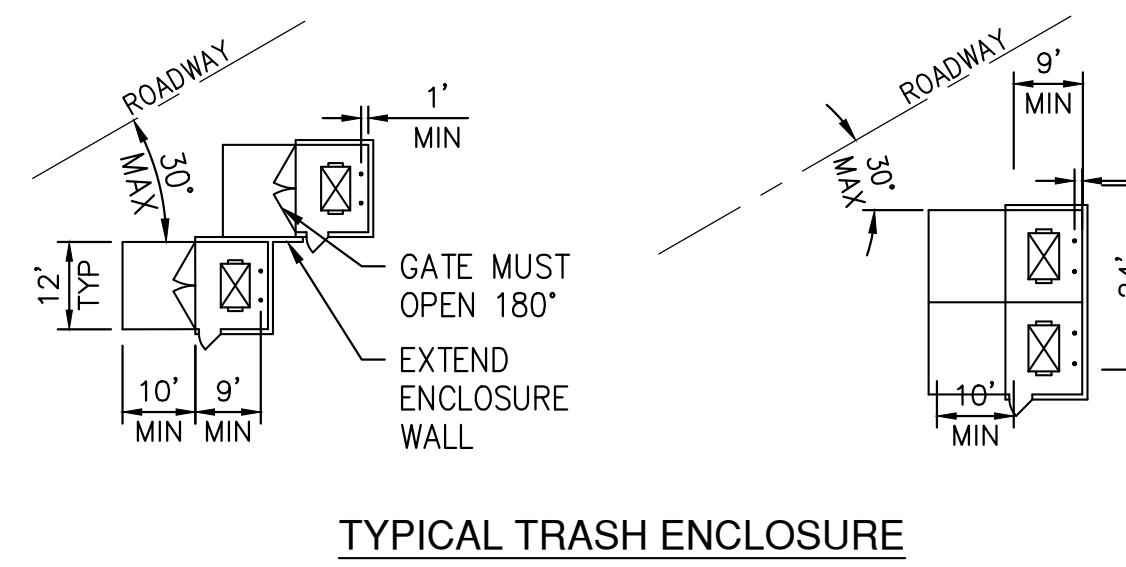
## KEY NOTES

- 1 REFUSE CONTAINER
- 2 PROPOSED COVERED PARKING (TYP)  
(SEE SECTIONS B & C ON SHEET SP05  
FOR DETAIL & ELEVATIONS)
- 3 35' INSIDE RADIUS, 55' OUTSIDE RADIUS (TYP)
- 4 MAIL BOX LOCATION
- 5 (2) ONE BEDROOM UNITS (TYP)
- 6 TWO BEDROOM UNIT (TYP)
- 7 PRIVATE BACKYARDS W/ACCESS THROUGH  
GATES (TYP)
- 8 6" VERTICAL CURB (TYP)
- 9 PROPOSED FIRE HYDRANT
- 11 A/C UNIT IN REAR YARDS (TYP)
- 14 POOL COMPLEX
- 15 KEY SWIPE
- 16 SITE MAP MONUMENT (SEE SHEET 3 FOR DETAILS)
- 17 GATES PER SECTION 511 SEPARATE F157  
GATE PERMIT REQ
- 18 ENTRY MONUMENT
- 19 STAMPED ASPHALT CROSSING
- 20 REAR YARD VINYL FENCE (TYP)
- 21 ASPHALT
- 22 OPEN SPACE GRASS AMENITY AREA
- 24 PRIMARY PROJECT ENTRY (WIDTH 50')
- 25 3' CONCRETE VALLEY GUTTER (TYP)
- 31 GARAGE
- 32 LEASING OFFICE
- 37 PEDESTRIAN GATE
- 39 ACCESSIBLE (ADA) PARKING STRIPING AND SIGNAGE  
SP05
- 44 STANDARD PARKING DETAILS SEE SHEET SP05
- 51 8' (MIN) MULTI-USE TRAIL
- 54 GATED ENTRANCE'S KEYPAD ACCESS CONTROL

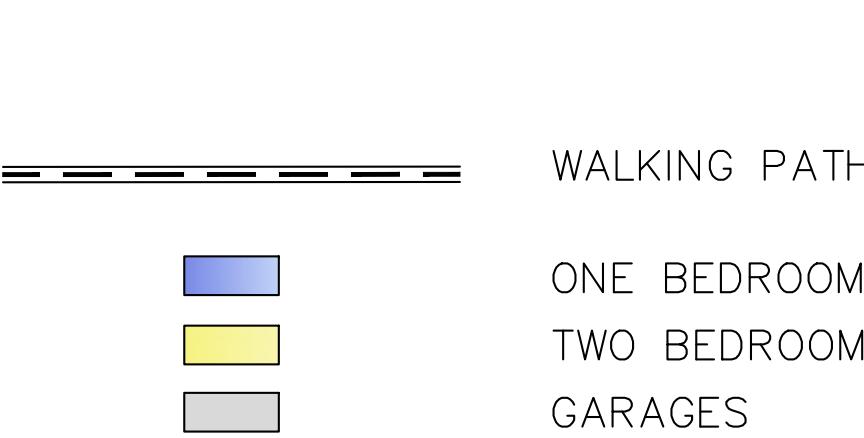
Diagram of a circuit board component with a callout to a component labeled '2'.



## TYPICAL BUILDING SPACING



## TYPICAL TRASH ENCLOSURE



WALKING PATH  
ONE BEDROOM  
TWO BEDROOM  
GARAGES

CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	165.04'	62.00'	152°31'10"
C2	25.69'	38.00'	38°44'22"

# Bowman Consulting

295 West Washington Ste 108  
Tempe, Arizona 85281

Phone: (480) 629-8830

[www.bowmanconsulting.com](http://www.bowmanconsulting.com)

# WEST MARICOPA VILLAGE

## SEC SMITH ENKE ROAD & WEST VILLAGE PARK

PROFESSIONAL ENGINEER (CIVIL)  
REGISTERED CERTIFICATE NO.  
22868  
JOHN J. GRAY  
09/2020

✓ ✓

TE	DESCRIPTION	
JS	HY	JG
SIGN	DRAWN	CHKD
ALE	H: 1"= 40' V: NONE	
3	No. 050712-03-001	
TE :	11/09/2020	
	SP04	
ET	04	OF
		05

KEY NOTES

- 1 REFUSE CONTAINER
- 2 PROPOSED COVERED PARKING (TYP)  
(SEE SECTIONS B & C ON SHEET SP05  
FOR DETAIL & ELEVATIONS)
- 3 35' INSIDE RADIUS, 55' OUTSIDE RADIUS (TYP)
- 5 (2) ONE BEDROOM UNITS (TYP)
- 6 TWO BEDROOM UNIT (TYP)
- 7 PRIVATE BACKYARDS W/ACCESS THROUGH  
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- 8 6" VERTICAL CURB (TYP)
- 9 PROPOSED FIRE HYDRANT
- 11 A/C UNIT IN REAR YARDS (TYP)
- 19 STAMPED ASPHALT CROSSING
- 20 REAR YARD VINYL FENCE (TYP)
- 21 ASPHALT
- 22 OPEN SPACE GRASS AMENITY AREA
- 25 3' CONCRETE VALLEY GUTTER (TYP)
- 29 GATED EGRESS (PROVIDE 8 SQ. FT. OF REFLECTIVE  
MATERIAL ON BOTH FACES)
- 31 GARAGE
- 38 EXIT ONLY AND EMERGENCY ACCESS DRIVEWAY
- 44 STANDARD PARKING DETAILS SEE SHEET SP05
- 51 8' (MIN) MULTI-USE TRAIL

CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	39.27'	25.00'	90°00'00"

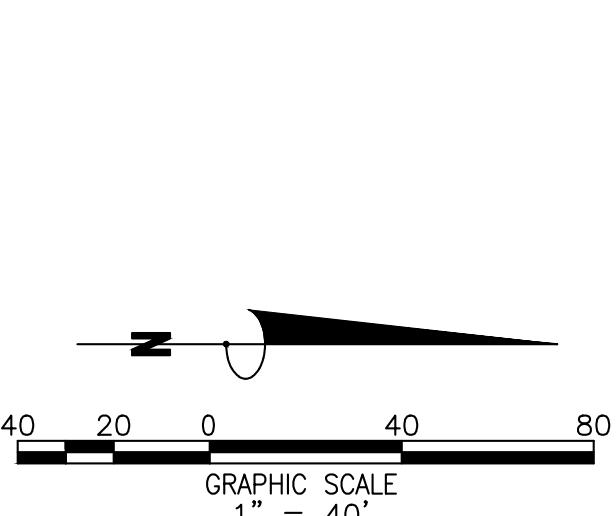


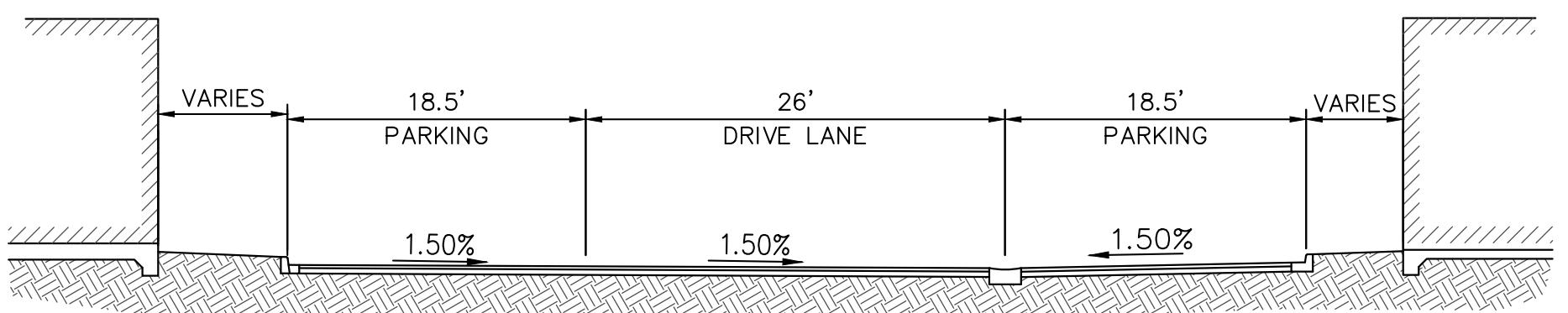
Diagram illustrating typical building spacing requirements. It shows three building configurations with 'MIN' spacing requirements indicated by arrows:

- Top Left: A yellow building with a 10' MIN requirement to its right.
- Top Right: A blue building with a 10' MIN requirement to its left.
- Bottom: Two yellow buildings with a 10' MIN requirement between them.

The image contains two technical diagrams of trash enclosures. The left diagram shows a side view with a 'ROADWAY' sloping upwards. The enclosure is 10' wide and 12' tall (TYPICAL). The distance from the bottom of the enclosure to the roadway is 9' (MIN). The top of the enclosure is 30° MAX above the horizontal. A gate is shown opening 180°, and a note says 'EXTEND ENCLOSURE WALL'. A 1' MIN clearance is shown at the top right. The right diagram shows a front view of a double-unit enclosure. The total width is 10' (MIN), and the total height is 24'. The distance from the bottom of the enclosure to the roadway is 9' (MIN). The top of the enclosure is 30° MAX above the horizontal. A 1' MIN clearance is shown at the top right.

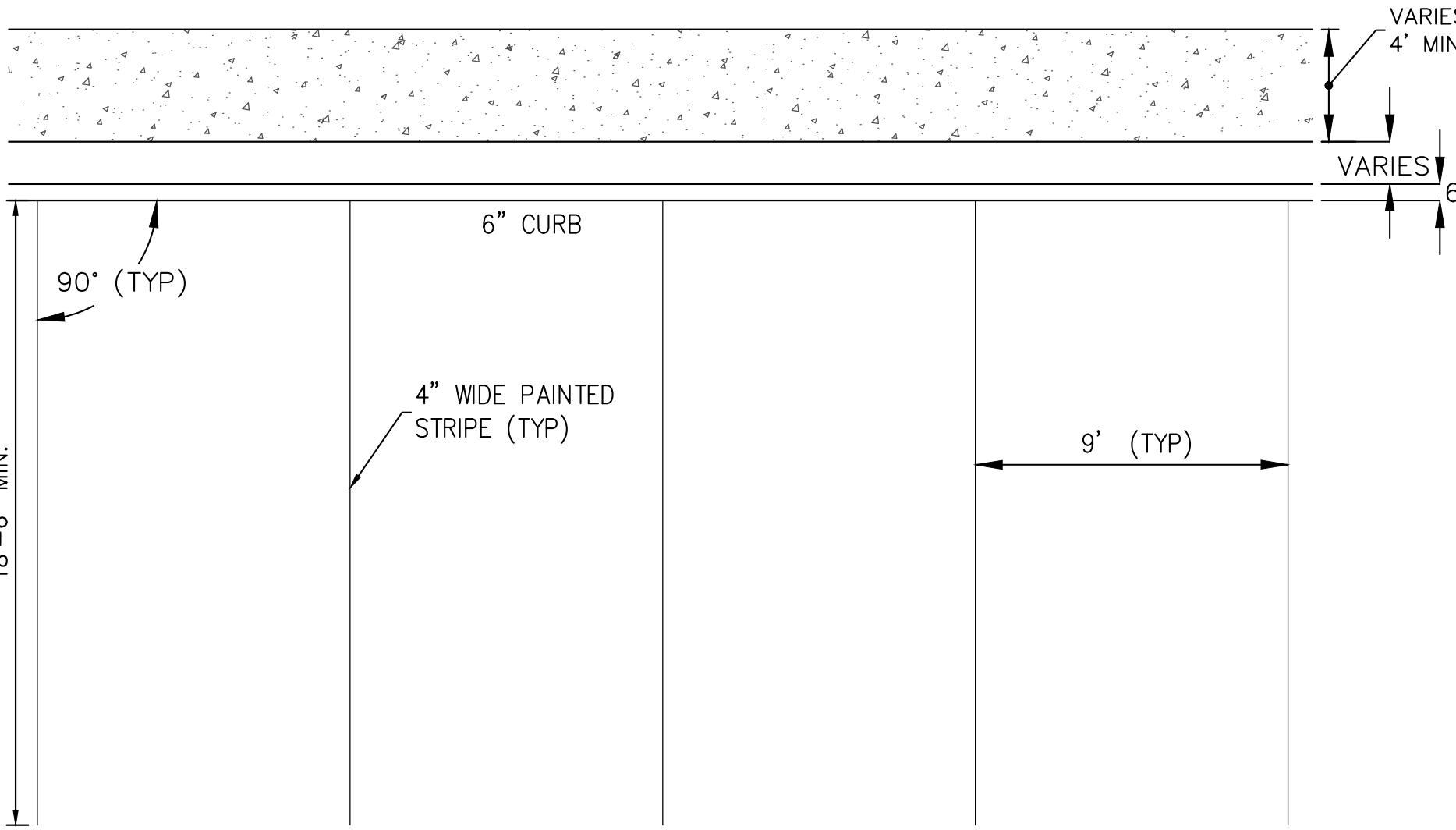
The image shows a floor plan of a house. At the top, a horizontal line with a dashed pattern represents a walking path. Below this, there are three rectangular rooms: a blue room on the left, a yellow room in the center, and a grey room on the right. The blue room is labeled 'ONE BEDROOM', the yellow room is labeled 'TWO BEDROOM', and the grey room is labeled 'GARAGES'.

CAD FILE NAME: V:\050712 - Innovation Communities\050712-03-001 (ENG) - West Maricopa Village, Lot 1\Engineering\Engineering Plans\Site Plans\050712-03-001-004-SIT.dwg 11/23/2020



**A** TYPICAL DRIVEWAY/ PARKING

SCALE: NTS

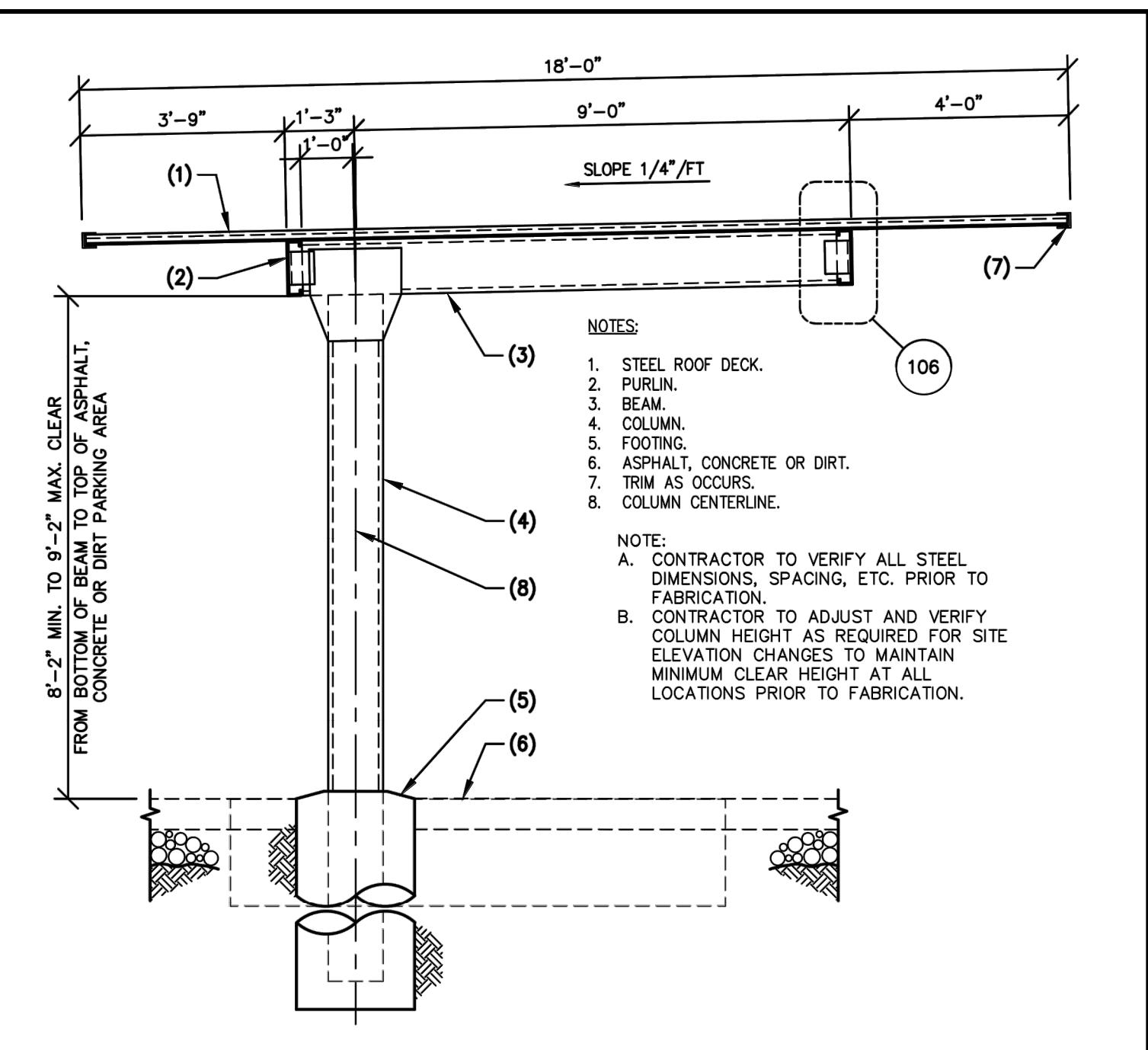


NOTE:  
- THERMOPLASTIC PAVEMENT MARKINGS SHALL  
BE WHITE SYMBOL ON A 4' X 4' BLUE SQUARE.

STANDARD PARKING DETAIL

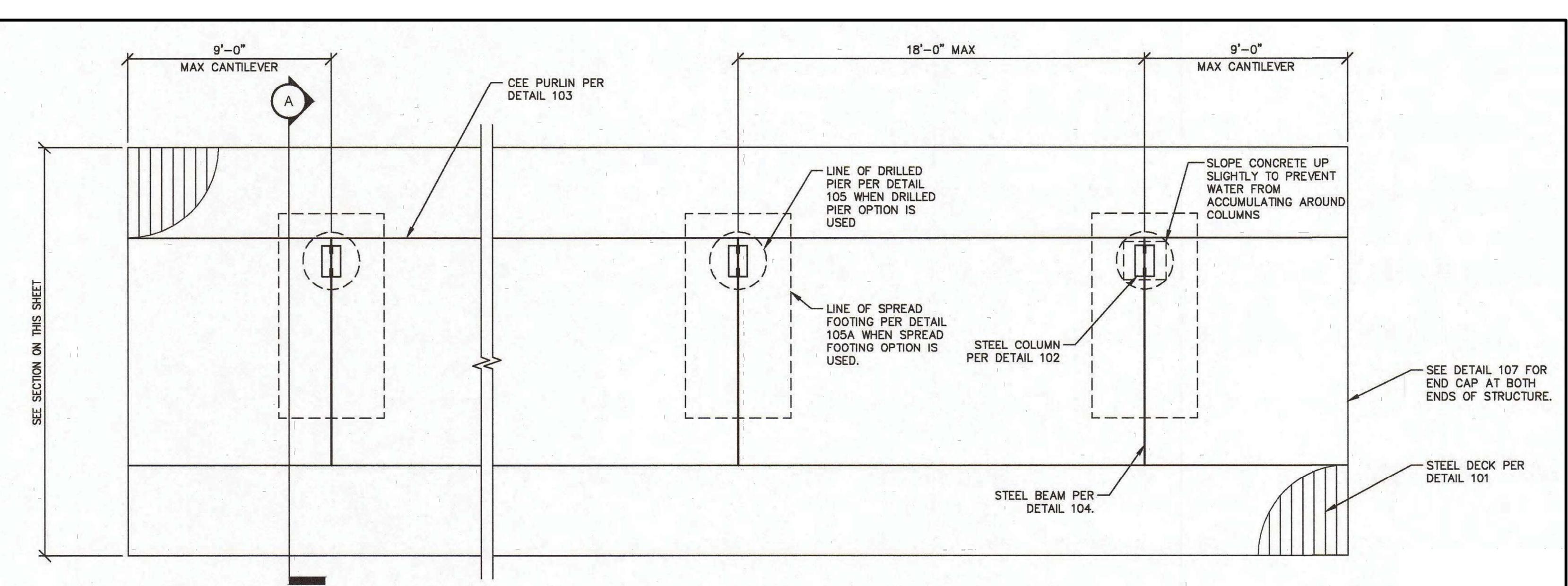
HANDICAP PAVEMENT MARKING SYMBOL

NTS



**B** SEMI CANT TILTDOWN SECTION (COVERED PARKING)

SCALE: 3/8" = 1'-0"



**C** SEMI CANT TILTDOWN PLAN VIEW (COVERED PARKING)

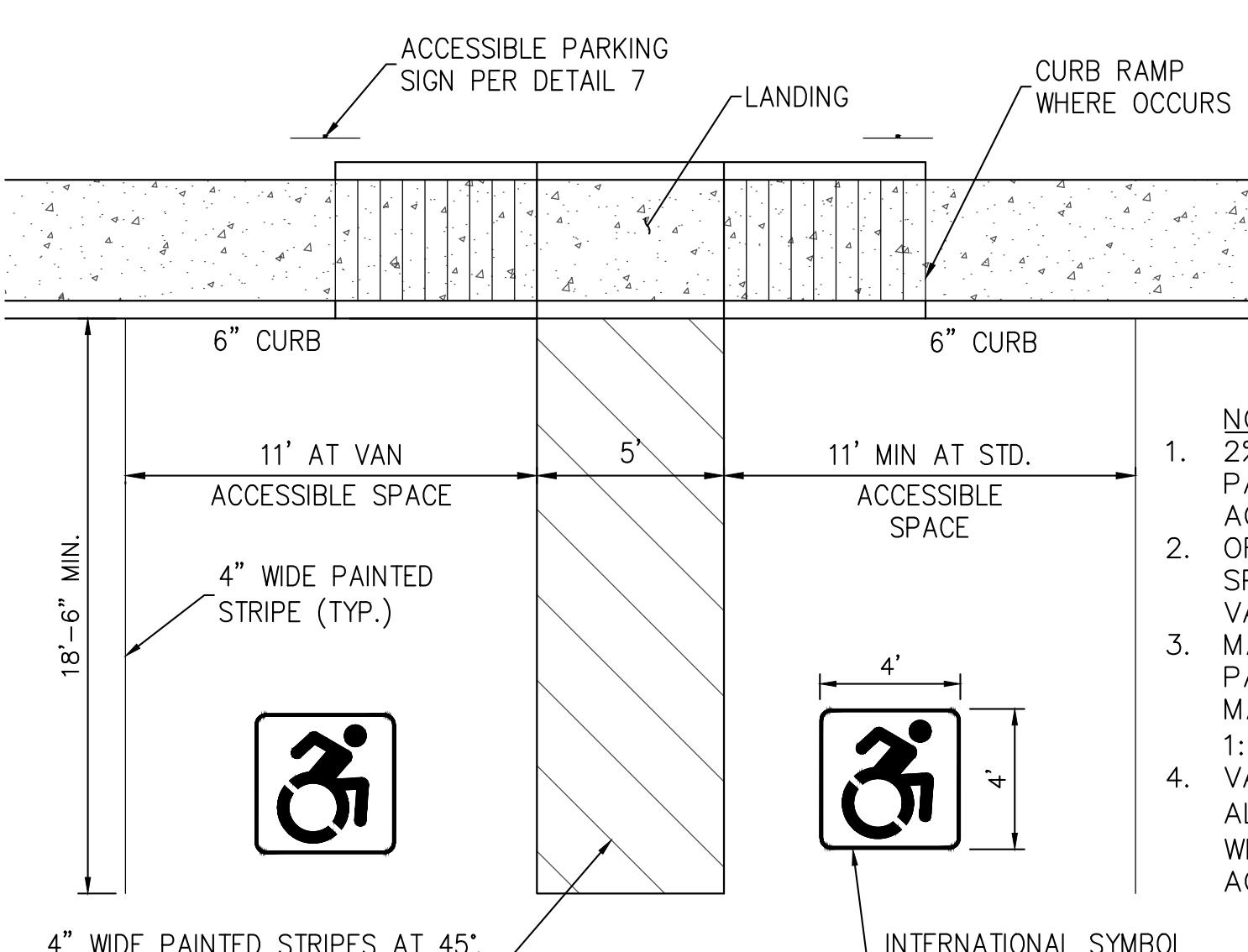
SCALE: 1/4" = 1'-0"



HANDICAP PARKING SIGN  
NTS

NOTES:

1. THE BOTTOM OF THE SIGN SHALL BE 5 FEET ABOVE FINISHED GRADE.
2. SIGN SHALL BE CENTERED ON THE PARKING SPACE AND PLACED 1.5 FEET FROM FACE OF CURB. IN PARKING LOT SITUATIONS WITHOUT CURBING, SIGN MAY BE PLACED AT THE END OF THE STALL.
3. VAN ACCESSIBLE TAB TO BE USED IF APPLICABLE

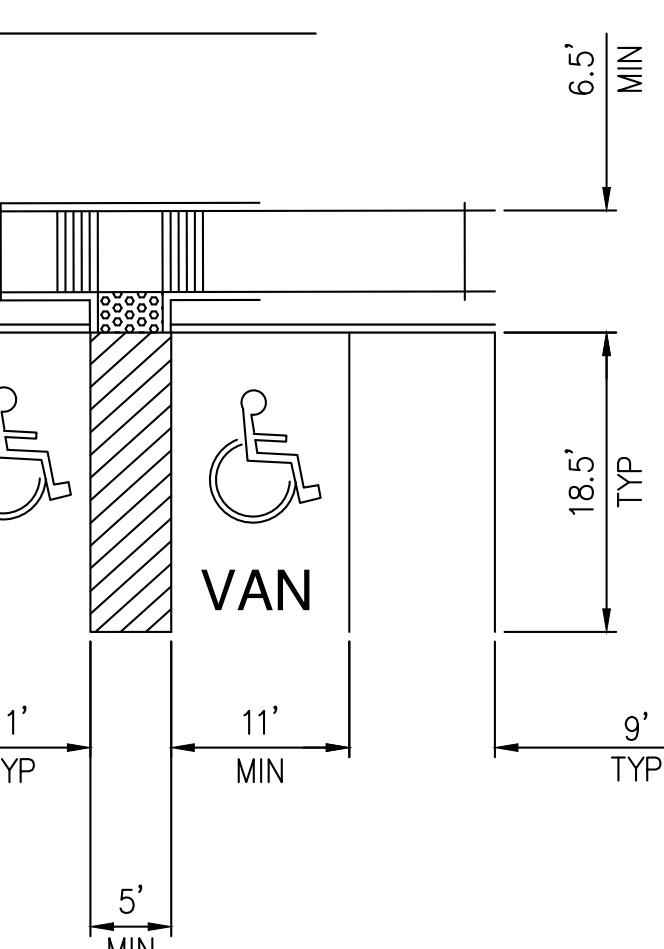


ACCESSIBLE (ADA) PARKING STRIPING AND SIGNAGE  
NTS

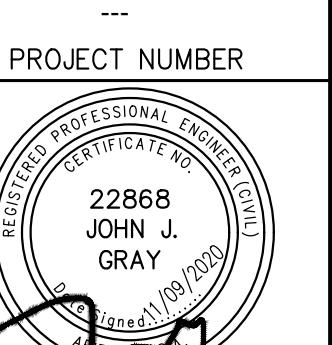
NOTES:

1. 2% OF THE REQUIRED PARKING SPACES MUST BE ACCESSIBLE.
2. OF THE TOTAL ACCESSIBLE SPACES 1 IN 6 MUST BE VAN ACCESSIBLE.
3. MAXIMUM SLOPE OF PARKING AND MANEUVERING AREAS IS 1:50 (2%).
4. VAN ACCESSIBLE SPACE ALTERNATIVE MAY BE 8' WIDE WITH 8' STRIPED ACCESS AISLE.

INTERNATIONAL SYMBOL  
OF ACCESSIBILITY ON  
CONTRASTING BACKGROUND,  
PER DETAIL 6



TYPICAL PARKING DETAIL  
NTS



PLAN STATUS

DATE DESCRIPTION  
AJS HY JG  
DESIGN DRAWN CHKD

SCALE H: NTS  
V: NONE

JOB No. 050712-03-001

DATE: 11/09/2020

SP05

05 OF 05