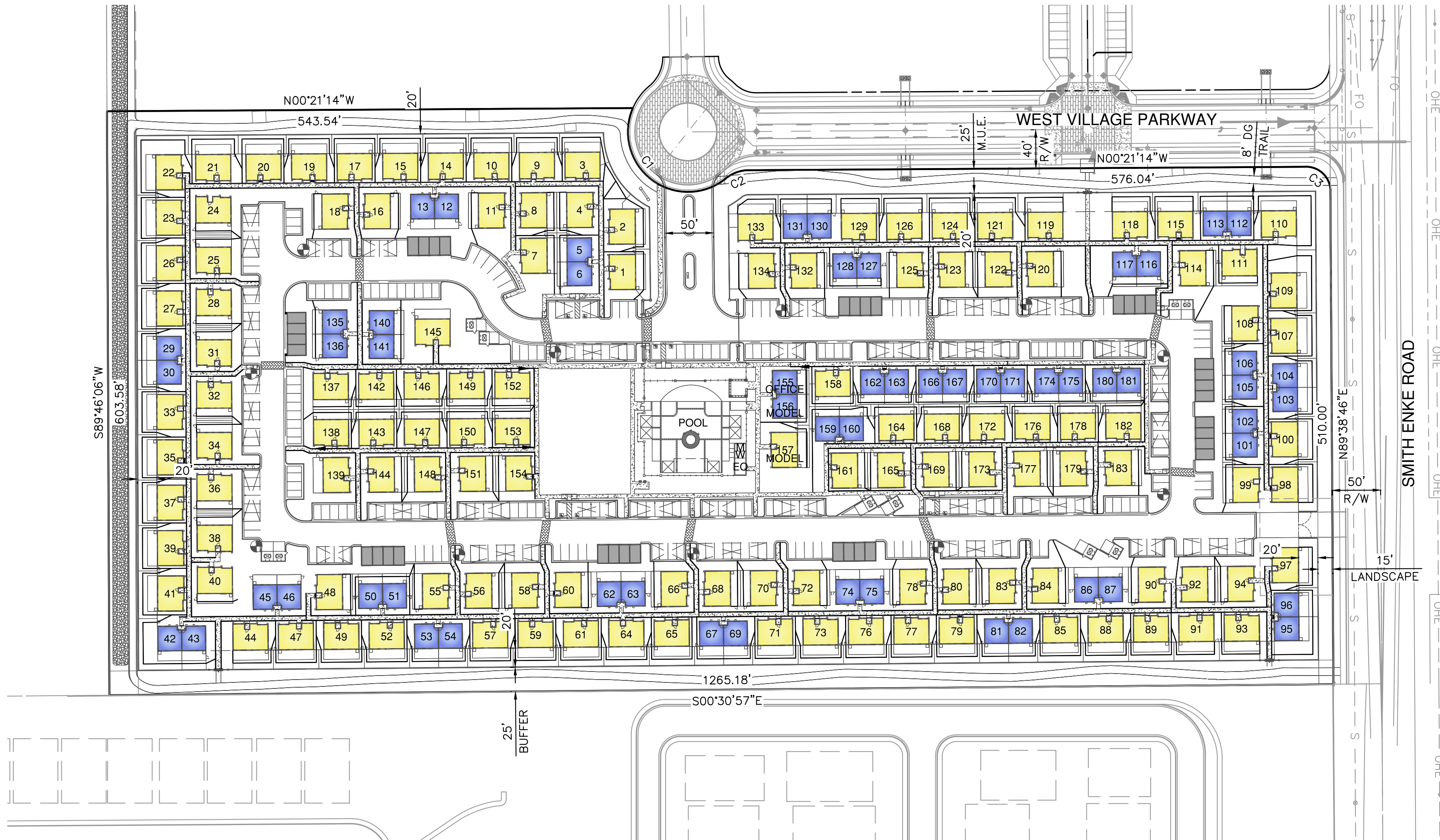


VICINITY MAP
NTS

CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	165.04'	62.00'	152°31'10"
C2	25.69'	38.00'	38°44'22"
C3	39.27'	25.00'	90°00'00"



SITE PLAN YIELD

GROSS AREA	±772,426 SF / ±17.732 AC
NET AREA	±712,435 SF / ±16.355 AC
DENSITY PROVIDED	10.27
DENSITY ALLOWED	-

PROJECT DESCRIPTION

CASITA 2-BEDROOM AND DUPLEX 1-BEDROOM SINGLE STORY RENTAL
PROPERTY

PROJECT DATA

YIELD DATA

UNIT TYPE	YIELD	TOTAL # BEDS	UNIT SQUARE FEET	TOTAL SQUARE FEET	MIX %
1 BEDROOM	57	57	640.84	36,528	31
2 BEDROOM	125	250	997.37	249,343	69
UNITS PROVIDED	182	307		285,870	100
PARKING CANOPIES				32,736	
GARAGES				8,100	
ENTRY PORTICO				-	
TOTAL LOT COVERAGE				-	

LOT COVERAGE INCLUDING ALL STRUCTURES AND BUILDINGS
161,895 SQ FT/712,435 SQ FT= 23%
LOT COVERAGE ALLOWED 38%

APN NUMBER 510-17-003E
510-170-210

ALLOWED HEIGHT 2 STORY/30'
PROPOSED HEIGHT 1 STORY/17'8"

CURRENT ZONING 02RL

PROPOSED ZONING 02RI
CURRENT USE VACANT LAND
PROPOSED USE MULTI-FAMILY

PARKING SPACES REQUIRED
SPACES/UNIT=57x1.5 86 SPACES
SPACES/UNIT=125x2.0 250 SPACES
UNRESERVED (0.2/UNIT -
AS PART OF TOTAL REQ)
TOTAL SPACES REQUIRED 372 SPACES

TOTAL SPACES PROVIDED
COVERED PARKING PROVIDED 190 SPACES
GARAGE PARKING 36 SPACES
UNCOVERED PARKING 149 SPACES
TOTAL SPACES PROVIDED 375 SPACES

ACCESSIBLE SPACES REQUIRED (6 COVERED) = 6 SPACES
ACCESSIBLE SPACES PROVIDED (4 COVERED) = 4 SPACES

COMMON AREA OPEN SPACE PROVIDED 67%
(271,417 SQ FT/405,124 SQ FT)
COMMON AREA REQUIRED MINIMUM 5% OF GROSS AREA
20,256 SQ FT

OPEN RECREATIONAL SPACE SUMMARY:
COMMON OPEN SPACE CALCULATION:
POOL 1,646 SF
AMENITY OPEN SPACE 37,031 SF
AMENITY OPEN SPACE (SUM) 38,677 SF
OPEN SPACE WALKING AREA 232,740 SF
TOTAL PROVIDED COMMON OPEN SPACE (SUM) 271,417 SF
55% OF OPEN SPACE, 1,200 SF/UNIT

PARKING LOT LANDSCAPE PROVIDED 12%
PARKING LOT LANDSCAPE REQUIRED MIN 5%

LEGEND

	HANDICAP PARKING		SECTION LINE
	PROPOSED FIRE HYDRANT		STREET CENTERLINE
	BRASS CAP IN HAND HOLE		RIGHT OF WAY LINE
	PROPERTY CORNER		EASEMENT LINE
	ELECTRIC VAULT		SUBJECT PROPERTY
	STREET LIGHT JUNCTION BOX		CHAIN LINK FENCE
	STREET LIGHT		IRON FENCE
	WATER VALVE		SANITARY SEWER LINE
	FIRE HYDRANT		UNDERGROUND CATV LINE
	WATER MANHOLE		UNDERGROUND ELECTRIC LINE
	SEWER MANHOLE		UNDERGROUND TELCO LINE
	GATE		WATERLINE
	MAILBOX		BACK OF CURB
	GARAGE PARKING		RIGHT OF WAY
	COVERED PARKING		PUBLIC UTILITY EASEMENT
	TRASH ENCLOSURE		EASEMENT
			MULTI-USE TRAIL EASEMENT
			LANDSCAPE
			EDGE OF PAVEMENT

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
01	COVER SHEET
02	NOTES SHEET
03	SITE PLAN
04	SITE PLAN
05	DETAILS SHEET

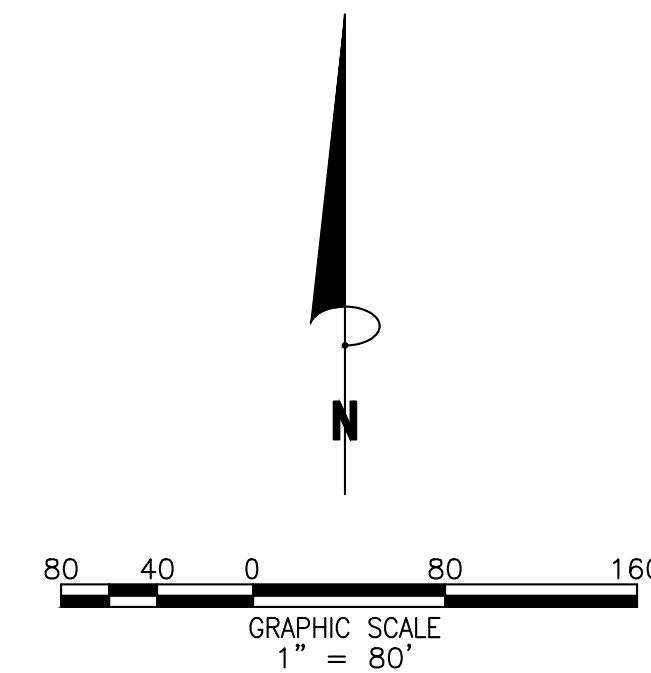
PROJECT CONSULTANT TEAM

OWNER/DEVELOPER

INNOVATION VILLAS AT WEST MARICOPA, LLC
C/O MATRIX EQUITIES
10446 N. 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
PHONE: (480) 945-9292
CONTACT: RONALD SMITH, P.E.
EMAIL: RON@MATRIX-EQUITIES.COM

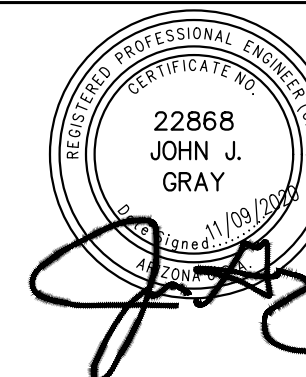
CIVIL/APPLICANT

BOWMAN CONSULTING GROUP
CONTACT: JHON GRAY, P.E.
1295 W WASHINGTON STREET
SUITE: 108
TEMPE, AZ 85281
EMAIL: JGRAY@BOWMANCONSULTING.COM
PHONE: (480) 559-8351



COVER SHEET
WEST MARICOPA VILLAGE
SEC SMITH ENKE ROAD & WEST VILLAGE PARKWAY
MARICOPA, ARIZONA
PINAL COUNTY

PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION
AJS	HY
DESIGN	DRAWN
SCALE	H: 1"= 80'
	V: NONE
JOB No.	050712-03-001
DATE	11/09/2020

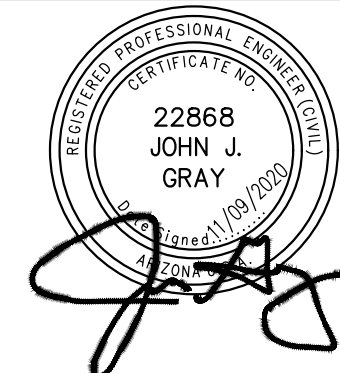
SP01
SHEET 01 OF 05

BOWMAN GENERAL NOTES

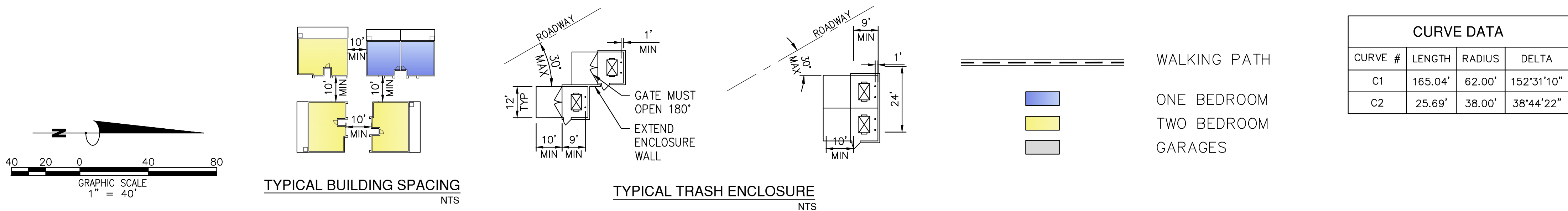
- THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON THEMSELVES THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
2. THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES, AND SITE VISITATION.
3. ALL EARTHWORK CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAILS AND/OR SPECIFICATIONS INCLUDING ANY SUPPLEMENTS THERETO, AND ALL ADDENDA. THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATION OF THE PROJECT SOIL INVESTIGATION REPORT AND LETTER.
4. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY THEMSELVES AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, POWER POLES, ETC.
7. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
8. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND SHOULD BE CONSIDERED APPROXIMATE. CALL ARIZONA BLUE STAKE FOR FIELD LOCATION AT 8-1-1 or 1-800-STAKE-IT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE NOT NOTED FOR RELOCATION OR REMOVAL. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE REPLACED IN KIND IF DISTURBED.
9. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
10. ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
11. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UNDERGROUND FACILITIES FROM DAMAGE DURING CONSTRUCTION. THE DEPTH OF COVER IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE SUCH AS BERMING OVER PIPES, FLAGGING OR SIGNAGE SHOULD BE USED DURING CONSTRUCTION TO MAINTAIN COVER OR PROTECT THE UNDERGROUND FACILITIES.
12. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER. EARTHWORK QUANTITIES SHOWN ARE RAW, AND DO NOT ACCOUNT FOR SOIL SHRINK, SWELL OR GROUND SCARIFICATION.
13. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING PIPE AT PROPOSED CONNECTIONS PRIOR TO NEW PIPE INSTALLATION. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR DISCREPANCIES FROM THE PLANS.
14. CONTRACTOR TO COMPLY WITH ALL ADA REQUIREMENTS RELATING TO CONSTRUCTION.

CITY OF MARICOPA GENERAL NOTES

3. ALL PUBLIC IMPROVEMENT CONSTRUCTION WITHIN THE PUBLIC ROW AND ONSITE SHALL BE CONDUCTED IN ACCORDANCE WITH, AND CONFORM TO, THE LATEST EDITION OF THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, BOTH AS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG).
2. INSPECTION OF WORK PER MAG 105.10: THE ENGINEER SHALL BE PERMITTED TO INSPECT ALL MATERIALS, AND EACH PART OR DETAIL OF THE WORK AT ANY TIME FOR THE PURPOSE OF EXPEDITING AND FACILITATING THE PROGRESS OF WORK. HE SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR, AS IS REQUIRED TO MAKE A COMPLETE AND DETAILED INSPECTION. THE CITY ENGINEER REQUIRES THAT THE ACTUAL TEST RESULT DATA SHEET ACCOMPANY ALL COMPACTION TEST RESULTS SUBMITTED TO THE CITY'S INSPECTOR. PASS/FAIL STATEMENTS ARE NOT ACCEPTABLE WITHOUT THE ATTACHED DATA SHEET. FAILURE TO SUBMIT THE TEST RESULT DATA SHEETS WILL RESULT IN AN INCOMPLETE SUBMITTAL AND THE TEST WILL BE REJECTED.
3. IN THE EVENT OF CONFLICT BETWEEN MAG STANDARD SPECIFICATIONS AND DETAILS AND THESE PLANS, THESE PLANS SHALL PREVAIL.
4. THE OFFICE OF THE CITY ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN THE CITY OF MARICOPA ROW.
5. CONTRACTOR IS TO NOTIFY ALL PUBLIC UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, FOR FIELD LOCATIONS OF THEIR RESPECTIVE FACILITIES, BY CONTACTING THE FOLLOWING BLUE STAKE: 1-800-782-5348.
6. CONTRACTOR SHALL COORDINATE AND MAKE ARRANGEMENTS FOR RELOCATION OF ANY UTILITIES CONFLICTING WITH THE PROPOSED CONSTRUCTION OF THESE PLANS, WITH THE APPROPRIATE UTILITY.
7. REMOVAL AND REPLACEMENT OF ALL TREES, SHRUBS, VEGETATION, MISCELLANEOUS STRUCTURES, DEBRIS, RUBBLE AND OTHER DELETERIOUS MATERIALS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE.
8. ALL CONCRETE SIDEWALKS, DRIVEWAYS, APRONS, CROSS-PANS, VALLEY GUTTER, CURBS AND GUTTERS LANDSCAPING AND IRRIGATION THAT MAY BE DAMAGED DURING THE COURSE OF CONSTRUCTIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. SHORING IS TO BE INSTALLED OR A TRENCH BOX IS TO BE USED, IN ALL TRENCHES IN EXCESS OF FIVE (5) FEET IN DEPTH. A REGISTERED CIVIL ENGINEER OR SOILS ENGINEER SHALL CERTIFY SHORING INSTALLATION PLANS, DETAILS AND SPECIFICATIONS. SHORING MUST CONFORM TO OSHA 29 CFR, PART 1926, AND SUBPART D.
9. COMPACTION TESTING IS REQUIRED AND MUST BE PERFORMED IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY ENGINEER.
 - I. BACKFILL: BACKFILL WITHIN THE PUBLIC UTILITY EASEMENTS AND WITHIN PUBLIC STREET ROW COMPACT TO 95% OF MAXIMUM THEORETICAL DENSITY PER ASTM D698. ALL MATERIALS OUTSIDE THE MOISTURE LIMIT SHALL BE CONSIDERED UNSUITABLE, AND SUBJECT TO REMOVAL NO HYDRAULIC COMPACTION OR WATER JET COMPACTION WILL BE ALLOWED. ALL COMPACTION MUST BE DONE BY MECHANICAL MEANS. MOISTURE LIMIT SPEC' 2.0 PERCENT BELOW OPTIMUM MOISTURE, MATERIAL SHALL BE UNIFORM.
 - II. SUB GRADE: SUB-GRADE PREPARATION FOR ALL NEW STREETS AND ROADWAYS SHALL CONSIST OF SCARIFYING AND LOOSENING SUB-GRADE TO A DEPTH OF SIX (6") INCHES. SUB-GRADE SHALL BE CONSTRUCTED TO ACHIEVE UNIFORM MOISTURE CONTENT BY THE ADDITION OF WATER AND COMPACTED TO 95% OF MAXIMUM DENSITY. MOISTURE SHALL BE MAINTAINED BETWEEN OPTIMUM AND 4.0% BELOW OPTIMUM MOISTURE AND SHALL BE COMPACTED TO 95% OF MAXIMUM THEORETICAL DENSITY, AS DETERMINED BY ASTM D698. ALL MATERIALS OUTSIDE THE MOISTURE LIMIT AT THE TIME OF PLACEMENT AND COMPACTION SHALL BE CONSIDERED UNSUITABLE AND SUBJECT TO REMOVAL. THE FINISHED SURFACE OF THE SUB-GRADE SHALL NOT VARY FROM THE GRADES ESTABLISHED BY THE CITY ENGINEER BY MORE THAN " 0.04 OF A FOOT ABOVE OR BELOW SPECIFIED GRADE.
10. GRADING OF AGGREGATE BASES AND AGGREGATE SUB- BASE SHALL BE AS FOLLOWS: AGGREGATE MATERIALS SHALL HAVE WATER ADDED TO THEM AND SHALL BE MIXED AND PROCESSED TO PRODUCE A UNIFORM BLEND OF MATERIAL BEFORE PLACEMENT. AFTER PROCESSING, THE MATERIAL SHALL BE PLACED AND SPREAD ON THE PREPARED SUB-GRADE AND SHALL BE PLACED IN A UNIFORM LAYER OR LAYERS NOT EXCEEDING SIX (6") INCHES IN COMPACTED DEPTH, UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER. EACH LAYER OF AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 100% OF THE MAXIMUM DENSITY. THE FINISHED SURFACE OF THE SUB-GRADE SHALL NOT VARY FROM THE GRADES ESTABLISHED BY THE CITY ENGINEER BY MORE THAN: 0.04 OF A FOOT ABOVE OR BELOW SPECIFIED GRADE.
11. COMPACTION TESTING FOR SUB-GRADE WILL BE DONE AFTER THE SUB-GRADE HAS BEEN STRING LINED AND IS WITHIN TOLERANCE AND ACCEPTED BY THE CITY ENGINEER. THE CITY ENGINEER OR HIS REPRESENTATIVE WILL DIRECT THE NUMBER AND LOCATION OF DENSITY TESTS. ALL SUB-GRADES SHALL HAVE A BLUE-TOP ELEVATION SET TO FINISHED GRADE AND LEFT AND RIGHT EDGES OF PAVEMENT, AND CENTERLINE OF ROADWAY.
12. ONE (1) SAND CONE TEST SHALL BE REQUIRED FOR EVERY TEN (10) NUCLEAR DENSITY TESTS PERFORMED, OR WHEN REQUESTED BY THE CITY ENGINEER OR HIS REPRESENTATIVE. THE CITY ENGINEER OR ENGINEER'S REPRESENTATIVE SHALL DETERMINE THE LOCATIONS OF THESE SAND CONE TESTS.
13. ALL MATERIALS, INCLUDING BUT NOT LIMITED TO AGGREGATE BASE COURSE, BORROW MATERIAL AND NATIVE MATERIAL, WILL BE ACCEPTED IN PLACE ONLY. TESTING REQUIRED FOR ACCEPTANCE WILL INCLUDE A SIEVE ANALYSIS AND PLASTICITY INDEX, (P.I.). DETERMINATION OF MAXIMUM THEORETICAL DENSITY WILL BE IN ACCORDANCE WITH ASTM D698. ONLY A FOUR-POINT PROCTOR TEST WILL BE ACCEPTED.
14. THE BASE COURSE SHALL NOT BE PLACED ON SUB-GRADE UNTIL THE CITY ENGINEER HAS ACCEPTED THE SUB-GRADE. ALL MATERIALS WILL BE ACCEPTED IN PLACE ONLY.
15. COMPACTION DENSITIES: MAG TYPE I BACKFILL MATERIAL (SECTION 601.4.4) IS MODIFIED TO INCLUDE AREAS UNDER THE PAVEMENT, ROW, AND EASEMENTS FOR ALL TRENCHES INCLUDING SEWER, WATER, ELECTRIC, AND GAS, TELEPHONE, AND STORM DRAINS, MOISTURE SPEC.2.0 PERCENT BELOW OPTIMUM MOISTURE COMPACT TO 95% OF MAXIMUM THEORETICAL DENSITY. ALL MATERIALS OUTSIDE THE MOISTURE SPEC-LIMIT SHALL BE CONSIDERED UNSUITABLE, SUBJECT TO REMOVAL AND MATERIAL SHALL BE UNIFORM.
16. THE LOCATION OF ALL SEWER STUB-OUTS SHALL BE STAMPED ON THE TOP OF VERTICAL CURB, AND FACE OF ROLLED CURBS, WITH A FOUR (4 ") INCH HIGH LETTERS (IE: "5").
17. ALL CURB, GUTTER AND SIDEWALK EXPANSION JOINT FILLER WILL BE IF" BITUMINOUS PRE- MOLDED STRIPS. ALL EXPANSION JOINT SPACING SHALL NOT EXCEED A MAXIMUM OF (50') FEET OR AS DIRECTED BY THE CITY ENGINEER. CONCRETE CURING COMPOUND MATERIAL SHALL BE A WHITE PIGMENT MEMBRANE USED ON ALL CONCRETE STRUCTURES INCLUDING CURB & GUTTER, SIDEWALK, HEADWALL, CATCH BASINS AND SIDEWALK RAMPS.
18. PAVING WILL NOT COMMENCE UNTIL AGGREGATE BASE COURSE COMPACTION AND GRADATION TESTS ARE COMPLETED AND THE CITY ENGINEER ACCEPTS THE RESULTS.
19. USPS CLUSTER MAIL BOX LOCATIONS MUST BE PRE-DETERMINED AND NOTED ON THE CIVIL PLANS FOR GRADING AND PAVING. ADD CLUSTER BOXES TO THE LEGEND AND IN CONSTRUCTION NOTES. CLUSTER BOX LOCATIONS SHOULD BE SHOWN ON THE "OVERALL SEWER/WATER/ HYDRANT/STREETLIGHT PLAN."
20. MEDIAN CURB & GUTTER BULL NOSE SHALL BE PAINTED YELLOW, WITH REFLECTIVE GLASS BEADS, PER M.A.C. D.T.L-223, AND HAVE YELLOW PAVEMENT REFLECTORS INSTALLED AFTER THE PLANTING IS COMPLETE.

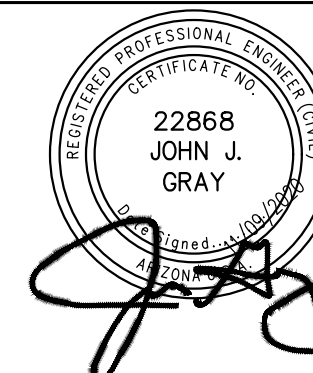


PLAN STATUS			
DATE	DESCRIPTION		
AJS DESIGN	HY DRAWN	JG CHKD	
SCALE	H: NONE V: NONE		
JOB No. 050712-03-001			
DATE : 11/09/2020			
<div style="text-align: center;"> <h1>SP02</h1> </div>			
SHEET	02	OF	05



- Call at least two full working days
before you begin excavation.
- ARIZONA 811**
Arizona Blue Stake, Inc.
- Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

PROJECT NUMBER



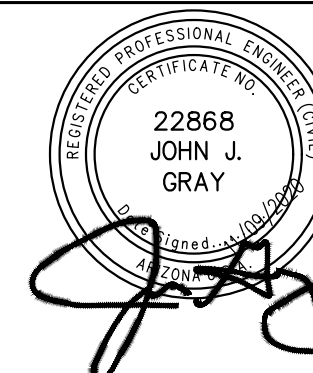
PLAN STATUS

DATE	DESCRIPTION	
HT	HY	
DESIGN	DRAWN	CH
SCALE	H: 1"= 40'	
	V: NONE	
JOB No. 050712-03-001		

DATE : 11/09/2020

SP03

SHEET 03 OF 05

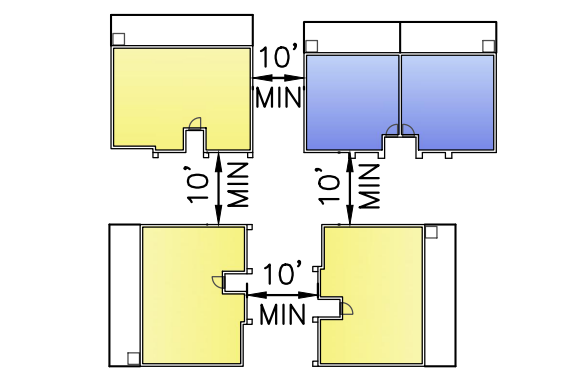
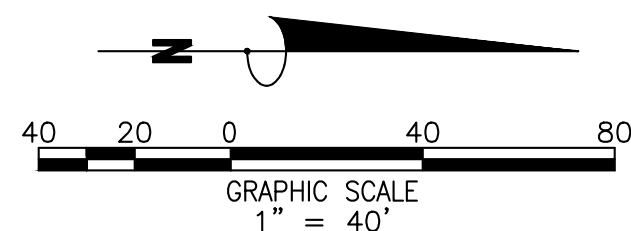


DATE	DESCRIPTION	
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DESIGN	DRAWN	CH
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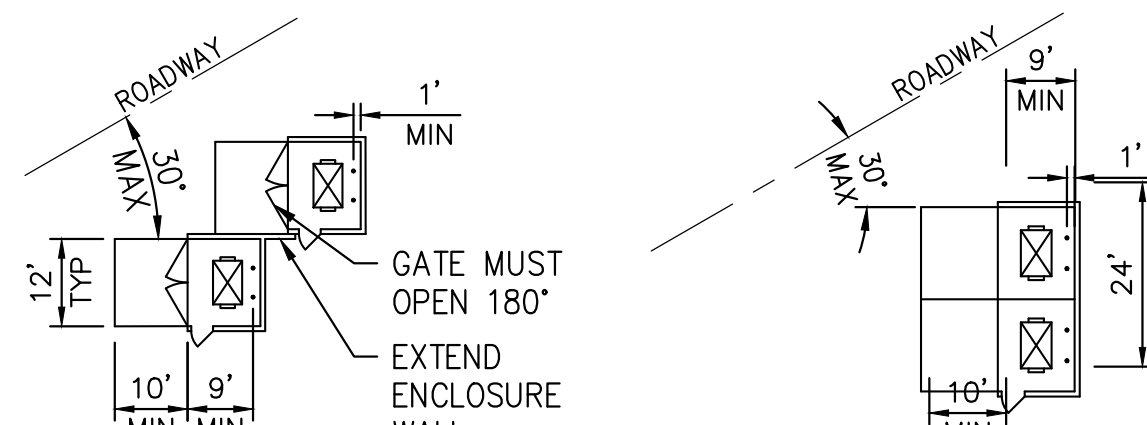
DATE : 11/09/2020

SP03

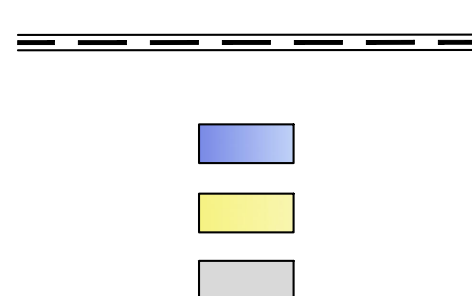
SHEET 03 OF 05



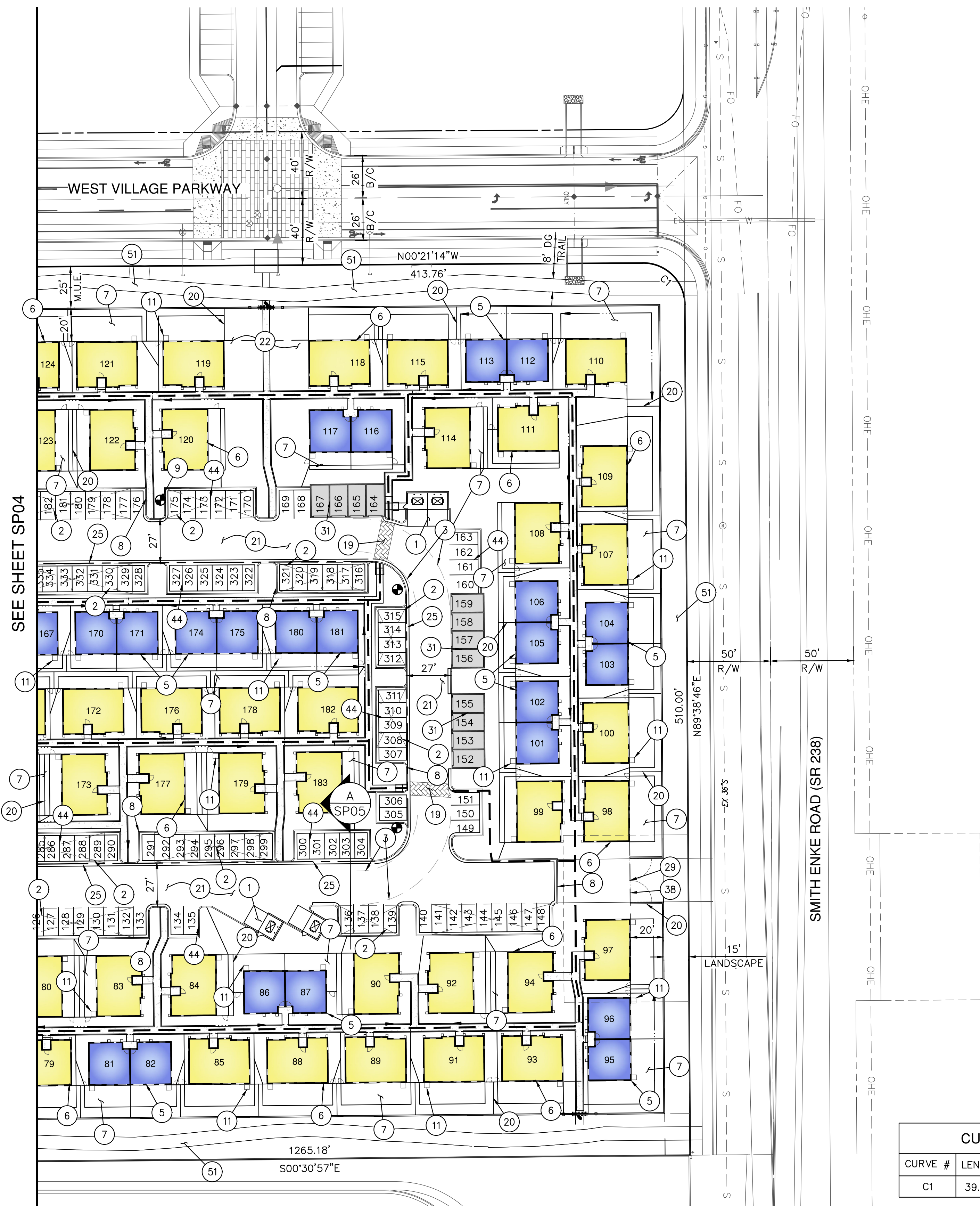
TYPICAL BUILDING SPACING
NTS



TYPICAL TRASH ENCLOSURE
NTS



WALKING PATH
ONE BEDROOM
TWO BEDROOM
GARAGES



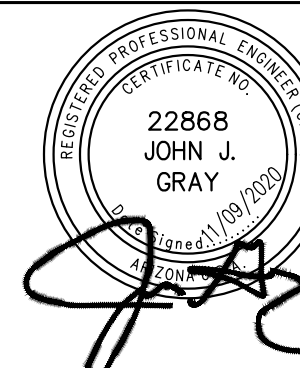
CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	39.27'	25.00'	90°00'00"

- KEY NOTES
- 1 REFUSE CONTAINER
 - 2 PROPOSED COVERED PARKING (TYP)
(SEE SECTIONS B & C ON SHEET SP05
FOR DETAIL & ELEVATIONS)
 - 3 35' INSIDE RADIUS, 55' OUTSIDE RADIUS (TYP)
 - 5 (2) ONE BEDROOM UNITS (TYP)
 - 6 TWO BEDROOM UNIT (TYP)
 - 7 PRIVATE BACKYARDS W/ACCESS THROUGH
GATES (TYP)
 - 8 6" VERTICAL CURB (TYP)
 - 9 PROPOSED FIRE HYDRANT
 - 11 A/C UNIT IN REAR YARDS (TYP)
 - 19 STAMPED ASPHALT CROSSING
 - 20 REAR YARD VINYL FENCE (TYP)
 - 21 ASPHALT
 - 22 OPEN SPACE GRASS AMENITY AREA
 - 25 3' CONCRETE VALLEY GUTTER (TYP)
 - 29 GATED EGRESS (PROVIDE 8 SQ. FT. OF REFLECTIVE
MATERIAL ON BOTH FACES)
 - 31 GARAGE
 - 38 EXIT ONLY AND EMERGENCY ACCESS DRIVEWAY
 - 44 STANDARD PARKING DETAILS SEE SHEET SP05
 - 51 8' (MIN) MULTI-USE TRAIL



SITE PLAN
WEST MARICOPA VILLAGE
SEC SMITH ENKE ROAD & WEST VILLAGE PARKWAY
MARICOPA, ARIZONA
PINAL COUNTY

PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION	
AJS	HY	JG
DESIGN	DRAWN	CHKD
SCALE	H: 1"= 40'	V: NONE
JOB No.	050712-03-001	
DATE :	11/09/2020	

SP04
SHEET 04 OF 05

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Tempe, Arizona 85281
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Bowman
CONSULTING

