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STAFF REPORT

CASE # PAD21-09

To:	Planning and Zoning Commission
Through:	Rodolfo Lopez, Development Services Director
From:	Byron Easton, Senior Planner
Meeting Date:	December 13, 2021

REQUEST

PUBLIC HEARING: PAD21-09 Anderson Farms: A request by Tiffany & Bosco, P.A. on behalf of Lennar, to create the Anderson Farms Planned Area Development (PAD), including the creation of the development land use plan, permitted uses, and development standards for Anderson Farms, a proposed mixed-use, master planned community. The property is generally located at the northwest corner of Murphy Road and Farrell Road. **DISCUSSION AND ACTION.**

COUNCIL PRIORITIES CONSIDERED

- Quality of Life
- Economic Sustainability
- Managing the Future
- Public Safety

APPLICANT

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Phone: (602) 452-2729
Email: kajones@tblaw.com

PROPERTY OWNER

Anderson Palmisano Farms
35840 W. Farrell Rd.
Maricopa, AZ 85138

PROJECT DATA

- | | |
|--------------------------|---|
| • Site Acreage: | 566 +/- Gross Acres |
| • Parcel #: | 502-03-015F & 502-03-015H |
| • Site Address: | N/A |
| • Existing Zoning: | General Rural (GR) |
| • Proposed Zoning: | Planned Area Development (PAD) |
| • General Plan Land Use: | Master Planned Community (MPC),
Commercial (C) |

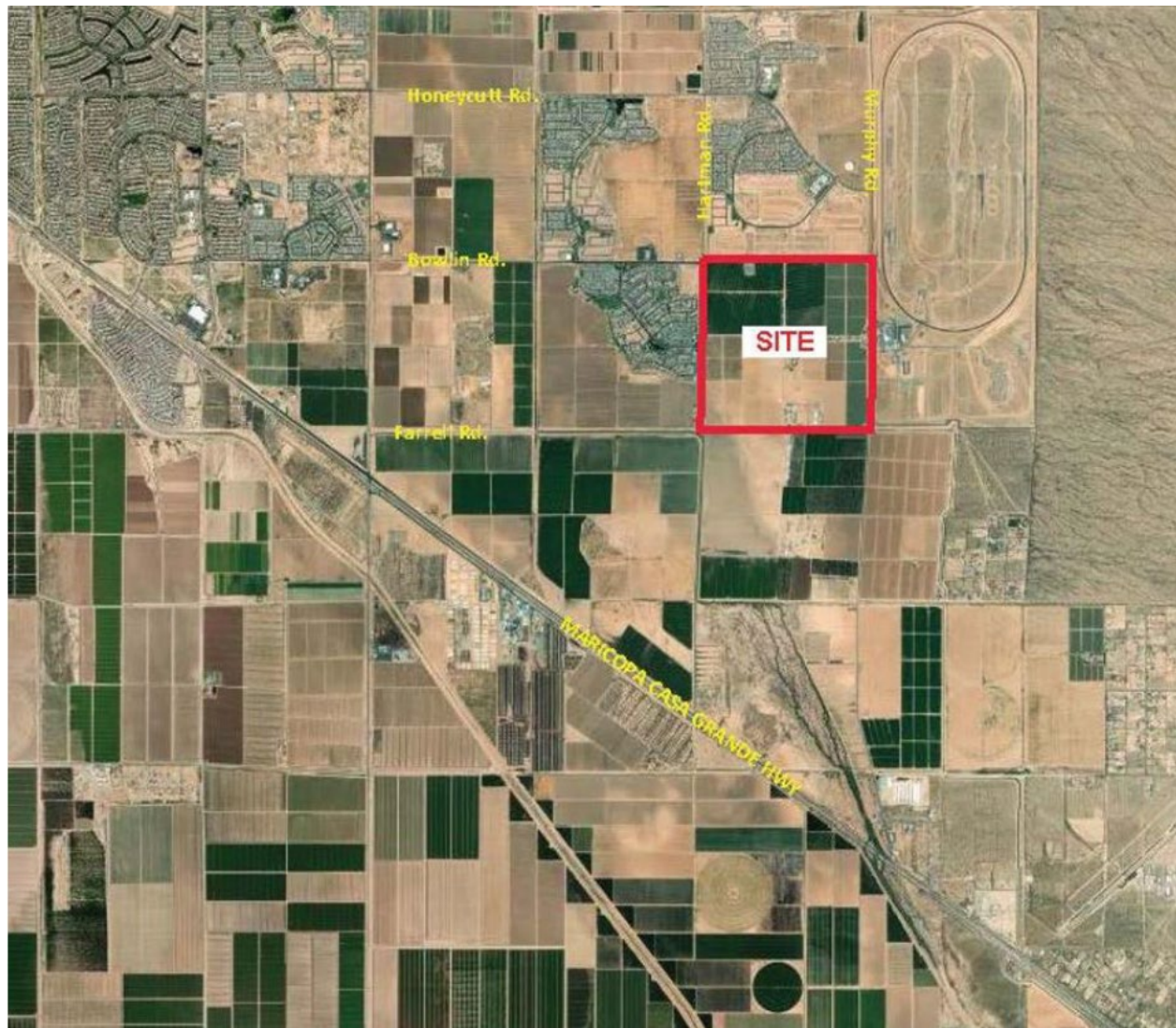
HISTORY SUMMARY

- 1963 – Rezone to General Rural (GR) from Industrial (CI-2), Pinal County case # PZ-007-63
- 2019- Entitlement for RS-5 – ORD19-08

SURROUNDING USES

Direction	Existing Zoning	Existing Use
North	SFR (CR-3)	Undeveloped Tortosa Subdivision
South	SFR (CR-1 & CR-3)	Agricultural
East	Industrial (CI-2)	Volkswagen Testing Site
West	SFR (CR-3)	Sorrento Subdivision

SUBJECT SITE



ANALYSIS

Anderson Farms is proposed as a mixed use project that permits uses such as single-family residential, and mixed use that could include future multi-density residential, commercial and/or industrial. The Applicant is proposing an innovative set of single-family subdivisions and neighborhoods that are planned as part of a larger master plan. Refer to **Exhibit B** for the existing zoning map. The proposed PAD will work with the City to construct a solution to handle the major wash corridor and development of public streets, along with private passive and active open spaces for the future residents of the community.

In addition to the planned residential enclaves within the PAD, the proposal is to provide for two (2) mixed-use areas at the northwest and southwest corners of the Property. This land planning will enable

the potential for community and neighborhood uses that provide for the goods and services necessary to support the planned residential community and surrounding communities. The mixed-use designation will provide for a number of commercial, employment and multi-family and dense single family residential uses. The conceptual locations for these uses can be found on **Exhibit C: Conceptual Land Use Plan**.

Land uses and development standards will be regulated by the Permitted Uses & Development Standards section of the Planned Area Development document (henceforth known as the “PAD”). The PAD district structure is flexible in nature and will both optimize the City’s interests and allow the applicant to develop the property to the highest and best use. Development of this PAD allows the applicant to bring a vital and vibrant, village-scaled development to the City of Maricopa.

The PAD contemplates the use of the City of Maricopa’s RS-5 District development standards for the initial residential subdivisions and Mixed Use – General (MU-G) zoning district. The RS-5 district is intended to provide areas for medium-density residential neighborhoods. Housing types include single unit detached and attached housing generally on lots of at least 5,000 square feet. Up to 25 percent of the lots in a subdivision may be below the minimum lot size, but no lot shall be less than 4,500 square feet. In addition to single unit homes, this district provides for uses such as parks and child care in homes that are appropriate in a residential environment.

The remainder of the PAD will have the ability to utilize the commercial and mixed-use zoning development standards for true mixed-use development. Within the mixed-use portion of the community, there is opportunity for single and multi-family dwellings.

The initial phase of this community are two (2) currently approved subdivisions located off Hartman Road. The request is to incorporate these two subdivisions, owned by Lennar, to be a part of an additional seven (7) phases (eight (8) total phases) and the overall PAD design themes, along with pedestrian and roadway connections. The proposed phasing for this project is designed to allow the development of a majority of the residential community along with the major open space amenity. Further phases provide for trail connections and future mixed-uses. Refer to **(Exhibit G: Conceptual Phasing Plan)**

Please see **Exhibit D: Open Space Plan** for a preliminary look at amenity locations and trail connections. A large ±10-acre centralized park and amenity area will feature a large turf play area, a resort-style community pool facility, dog park, seating areas, and trash cans. This primary amenity will be centrally located and will be constructed with Phase 5. A farm themed tot lot with a zip line is in close proximity and as ones makes their way through the “orchard” and finds themselves at a large event lawn that pays tribute to the irrigated fields of our homestead. This lawn area is perfect for large gatherings, sports fields or a community movie night. This area also serves as a transition to the active sport complex area.

The heart of the active amenity area is a large pool with restroom building, generous pool deck and a variety of gathering areas from trellis shade to chaise lounges. The pool complex offers views of the lake in the background through a naturalized “boulder” creek with informal picnic spots.

A dog park with shade, seating, and separate large and small dog areas will be popular as it views the lake and is easy to access by the trail system. A full basketball court and two pickleball courts (with room for a third) have been provided in this area as well as a teen/adult area with cornhole and string lights. Parking lots with convenient drop-off zones and food truck areas flank the amenity to the east and west. This amenity will be a beautiful jewel in this park system and will provide years of interactive experience for all users young and old. The PAD will also feature several active pocket park areas, which are anticipated to include a turf play area, ramadas, trash cans and picnic tables. The active pocket parks will also be centrally located, connected via pedestrian paths to the primary amenity area. Adequate shade will be provided in all areas and will also be owned and maintained by the property management.

Exhibit E: Circulation Plan shows the internal enhanced local streets are planned with 5' detached sidewalks. The proposed pedestrian trail and sidewalk network will provide residents and locals with safe and uninterrupted connections to the multiple planned parks, paseos, and street improvements. Further definition of the PAD's circulation plan will occur at the platting stage of development that will connect to the City's planned trail in this area.

The proposed land plan as part of our PAD request places a majority of the neighborhoods within the existing area designated as Master Planned Community on the General Plan map (**See Exhibit F: Existing General Plan Map**). As required in the proposed zoning ordinance for PAD's, a mixed-use land use component will be designated at the northwest and southwest corners of the Property. The mixed-use land use designation will provide for potential commercial and medium to high density residential mix of uses to provide for alternative land uses to serve the primarily residential community. All but a small area of 15 acres of the proposed PAD currently falls within land designated for Master Planned Community. By designating the commercial area on the land use map as Mixed-Use within the PAD, the proposal is consistent with the General Plan and no amendment is necessary. Based upon the entire PAD submittal, the PAD comports to the direction of the current General Plan.

The Anderson Farms development meets the goals, policies, and intent of the City's General Plan and demonstrates compatibility between new development and existing neighborhoods by incorporating a compatible residential scale. The Property is currently zoned General Rural (GR). (**See Exhibit B: Existing Zoning Map**). Specifically, the PAD rezoning addresses the following:

- Goal B1.1: Identify and implement policies to develop multiple mixed-use village core areas with commercial and employment centers served by restaurants, retail shopping and cultural opportunities such as art districts and galleries.
- Objective B1.1.2: Encourage certain areas of the City to rezone to mixed use and higher density housing consistent with redevelopment plans and General Plan land uses.
- Objective B1.1.4: Develop a walkable community with commercial nodes and amenities for residents.
- Objective B1.1.5: Promote commercial and office development in close proximity to neighborhood nodes, along arterials, and other appropriate locations.
- Goal B1.3: Encourage mixed-use development.

A Traffic Impact Analysis/Study was completed as part of the application process. The purpose of this study is to assess traffic and transportation impacts of the proposed development on the surrounding streets and intersections. This study was prepared in conformance with the City of Maricopa Improvement Requirements and the format for Traffic Impact Analysis Guidelines (2018).

CITIZEN PARTICIPATION:

Prior to recommending approval of the rezoning, the applicant submitted a public participation plan to inform residents of the proposed PAD zoning change, as required per the city's Zoning Code. The Public Participation Plan included a neighborhood meeting, notification letters to all property owners within 600 feet of the subject area, public notice signs within the subject area, and legal notices in the local newspaper circulator. A timeline of the participation event is shown below (refer to **Exhibit H** for the **Citizen Participation Report**). The Citizen Participation Report also provides a summary of the neighborhood meeting, including all comments made by attendees.

- | | |
|--------------------|-----------------------------|
| • October 15, 2021 | - Notification letters sent |
| • October 15, 2021 | - Sign posted |

- October 16, 2021 - Newspaper legal noticed published
- November 1, 2021 - Neighborhood meeting held

PUBLIC COMMENT:

At the time that the report was written, staff has received no public comment.

FINDINGS:

As required by Sec. 18.140.060 of the City's Zoning Code, the Planning & Zoning Commission shall make the following findings in their recommendation to the City Council:

1. The proposed development is consistent with the General Plan, the Subdivision Ordinance, and any applicable specific plan or master plan, including the density and intensity limitations that apply;

Staff Analysis: Approval of the proposed project will advance the goals and objectives of the General Plan and is consistent with the policies of the General Plan and any other applicable plan and/or policies that the City has adopted.

-
2. The subject site is physically suitable for the type and intensity of the land use being proposed;

Staff Analysis: The proposed PAD will be required to be developed and designed to be in compliance with applicable design standards.

3. Adequate transportation facilities and public services exist or will be provided in accordance with the conditions of PAD plan approval, to serve the proposed development and the approval of the proposed development will not result in a reduction of traffic levels of service or public services so as to be a detriment to public health, safety, or welfare;

Staff Analysis: The proposal will mitigate all potential vehicular and pedestrian traffic that will impact public health, safety, and welfare. A Traffic Impact Analysis was completed as part of the application process and will require an updated report or addendum at the time of platting or submittal of a development review permit application as determined by the City Engineer.

4. The proposed development will not have a substantial adverse effect on surrounding land uses and will be compatible with the existing and planned land use character of the surrounding area;

Staff Analysis: *The proposed PAD will be compatible with the existing planned land uses within the surrounding area; the use itself will complement neighborhood area that has already been established and further advances goals and objective of the city's General Plan for a village type development pattern.*

5. The development complies with applicable adopted design guidelines; and the proposed development carries out the intent of the Planned Area Development provisions by providing a more efficient use of the land and an excellence of architecture and site design greater than that which could be achieved through the application of the base district regulations.

***Staff Analysis:** The proposed PAD is planned to have exceptional architectural and design elements that is not typically permitted by right by conventional standards.*

CONCLUSION:

Staff recommends approval of **PAD case #PAD21-09**, subject to the conditions of approval stated in this staff report, and as amended by the Planning and Zoning Commission.

1. The PAD request case #PAD21-09 will be fully subject to all applicable development standards of the Maricopa Zoning Code, Subdivision Ordinance and all provisions thereof.
2. The development shall be responsible for any offsite and onsite improvements identified by the City's Engineering Division at the time platting or the submittal of a Development Review Permit.
3. All public roadway and infrastructure improvements shall be in accordance with the current City of Maricopa standards and/or subsequent standards that are developed by the City, as approved by the City Engineer and installed by the developer.
4. 30 days after approval by City Council, the applicant/property owner shall submit a final version of the PAD booklet and shall address all comments per the final recommendations and approval by the Planning and Zoning and City Council, if any.
5. Zoning development standards shall be in accordance to the Anderson Farms PAD booklet. All other development standards not listed in the PAD booklet shall adhere to the City of Maricopa Zoning Code and Subdivision Code.
6. Prior to issuance of any building permit, a clearance letter from the State Historic Preservation Office (SHPO) for archaeological and historical preservation information shall be submitted, as applicable.
7. Prior to preliminary plat or site plan submittal, the applicant/property owner shall submit and secure all required applications, plans, supporting document submittals, approvals and permits from the applicable and appropriate federal, state, county and local regulatory agencies.
8. If a different builder is ultimately responsible for the construction of housing product, elevations and floor plans shall be submitted to the City for review and approval prior to issuance of any building permits. This will be accomplished through the City Administrative Design Review Permit process.
9. Prior to the City Council approval of the PAD21-09, the applicant shall submit to the city a signed waiver pursuant to Proposition – 207, as applicable.
10. Prior to issuance of a building permit, the applicant or property owner shall submit and secure all required applications, plans, supporting document submittals, approvals and permits from the applicable and appropriate Federal, State, County and Local regulatory agencies.
11. The applicant/property owner shall have met and complied with all applicable fire codes as well as related National Fire Protection Agency (NFPA) guidelines to the satisfaction to the City of Maricopa.
12. The development and operation of the proposed Facility shall be in accordance with all applicable Arizona Department of Environmental Quality (ADEQ), if applicable and other regulatory agencies rules and regulations.

ATTACHMENTS:

Exhibit A: PAD Booklet

Exhibit B: Existing Zoning Map

Exhibit C: Conceptual Land Use Plan

Exhibit D: Open Space Plan

Exhibit E: Circulation Plan

Exhibit F: Existing General Plan Map

Exhibit G: Conceptual Phasing Plan

Exhibit H: Citizen Participation Report

-- End of staff report --

EXHIBIT A



ANDERSON FARMS PAD

Initial Submittal: August 2021

Final Submittal: December 1, 2021

Development Team

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Civil Engineer/Planner/Landscape Architect: **EPS Group**
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Contact: Civil Engineer/Planner/Landscape Architect: Eric Winters, PE; Josh Hannon;
Aliza Sabin, RLA

Traffic Engineer: **CivTech**
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Scottsdale, AZ 85260
Contact: Dawn Cartier, P.E., PTOE

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INTRODUCTION

Lennar (“Applicant”), one of America’s leading homebuilders and a Fortune 500 company, desires to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road (“Property”) immediately west of the current Volkswagen proving grounds, in the City of Maricopa, AZ (“City”). The request is to create a new Planned Area Development (“PAD”) zoning district of several different types of residential neighborhoods with a plethora of integrated open space and mixed-use areas. Refer to **Exhibit A** for the Aerial Vicinity Map.

Purpose & Intent

The purpose of the request is to create a new unique and cohesively planned area to suit the ever-growing need for local single family residential homes. The Property currently consists of 2 parcels that will eventually make up one individual PAD that proposes several integrated residential neighborhoods with active and passive open spaces and trail connections. Additionally, the design concept of the neighborhoods will pay homage to the essence of the region’s agricultural composition.

REQUEST

The purpose of the request is to rezone parcels 502-03-015F and 502-03-015H from existing RA - Agricultural zoning to the City’s PAD zoning to allow for an innovative set of single-family subdivisions and neighborhoods that are planned as part of a larger master plan. Refer to **Exhibit B** for the existing zoning map. The proposed PAD will work with the City to construct a solution to handle the major wash corridor and development of public streets, along with private passive and active open spaces for the future residents of the community.

In addition to the planned residential enclaves within the PAD, the proposal is to provide for two (2) mixed-use areas at the northwest and southwest corners of the Property. This land planning will enable the potential for community and neighborhood uses that provide for the goods and services necessary to support the planned residential community and surrounding communities. The mixed-use designation will provide for a number of commercial, employment and multi-family and dense single family residential uses. Refer to **Exhibit C** for the proposed conceptual PAD land use plan.

EXISTING CONDITIONS

Site Location & Conditions

The Property is located at the northwest corner of Murphy Road and Farrell Road immediately west of the current Volkswagen proving grounds. Portions of the Property are identified as being located within Flood Zone A. Refer to **Exhibit D** for floodplain map of the Property. The areas within the existing flood zone will be processed through FEMA as part of a future phase to remove them from the flood zone in a CLOMR/LOMR. In the northwest portion of the Property, there are two (2) entitled subdivision plats that will be incorporated into the overall master planned Anderson Farms PAD. That area is currently in for City review to begin development of the single family lots, public streets and open spaces.

Legal Descriptions

The proposed Anderson Farms PAD is approximately 566 acres. The Property is identified on the Pinal County Assessor’s map as parcels 502-03-015F and 502-03-015H. Please refer to **Exhibit E** for the legal description of the proposed PAD portion of the larger parcel.

Existing General Plan

A vast Majority of the Property is designated as Master Planned Community. The Master Planned Community provides for developments of 160+ acres to support variety of residential and commercial uses to meet the needs of the local residents. The approximately 15 acres at the northwestern edge of the Property are designated for Commercial use. Refer to **Exhibit F**, Existing General Plan Land Use Map. The proposed PAD encompasses roughly 569 acres of land. The proposed land use plan is consistent with City's land use map by placing mixed-use land use categories at the northwest and southwest corners of the Property for conformance with the General Plan and the potential for non-residential land uses to provide future goods and services to the master planned community.

Surrounding Zoning & Land Uses

The Property is surrounded by primarily partially developed master planned communities, undeveloped industrial or agricultural land. The neighboring parcel to the east is the Volkswagen proving grounds zoned CI-2 Industrial. That property abuts the entirety of the eastern property line of the proposed PAD. A General Rural zone used for agriculture exists diagonally to the southeast. To the south, a combination of CR-1 and CR-3 exists, but the primary use of those properties remains agriculture or vacant undeveloped lots and a future high school. The neighboring parcels to the west are certainly the most developed of all the adjacent parcels. CR-3 Single Family Residential homes in the Sorrento subdivision border the west. Additionally, the neighboring parcels to the southwest and northwest are comprised of CB-2 General Commercial lots which remain undeveloped for the time being and are currently vacant or agricultural uses. Finally, to the north is the Tortosa subdivision comprised of vacant CR-3 single family residential lots.

GENERAL PLAN CONFORMANCE

Background

The proposed land plan as part of our PAD request places a majority of the neighborhoods within the existing area designated as Master Planned Community on the General Plan map. As required in the proposed zoning ordinance for PAD's, a mixed-use land use component will be designated at the northwest and southwest corners of the Property. The mixed-use land use designation will provide for potential commercial and medium to high density residential mix of uses to provide for alternative land uses to serve the primarily residential community. All but a small area of 15 acres of the proposed PAD currently falls within land designated for Master Planned Community. By designating the commercial area on the land use map as Mixed-Use within the PAD, the proposal is consistent with the General Plan and no amendment is necessary. Based upon the entire PAD submittal, the PAD comports to the direction of the current General Plan.

General Conformance

The following are a few of the goals and objectives of the City's General Plan that support the rezoning of the Property to PAD:

Objective B1.2.1: Proactively manage future development and partner with developers to create distinctive communities.

Anderson Farms PAD: This community provides the City with an organized and meaningful development pattern over a large quantity of land as opposed to smaller individualized parcels the comingle in the same vicinity but have no relation to each other.

Objective B1.2.2: Establish entryways, gateways, streetscapes, and other features that distinctively delineate the various village neighborhoods.

Anderson Farms PAD: This community has a meaningful entry statement that pays homage to the rich agricultural history of the area by incorporating a theme with ornate elements the nod to the Anderson Family farming roots.

Objective B1.3.5: Establish guidelines for the appropriate inclusion of green spaces, paths, and other people-oriented amenities.

Anderson Farms PAD: This community has incorporated linear open spaces that follow the historical farm field geometric undertones while providing efficient and organized pedestrian/bicycle routes that lead to the central Anderson Farms Blvd. collector road and central park.

Objective B1.4.1: Address land use compatibilities and incompatibilities when considering zone changes and development approvals.

Anderson Farms PAD: This community lies next to Tortosa and Sorrento master planned residential communities and will contribute to the suburban fabric with additional high quality residential communities where families of multiple demographics and generations will call home.

Objective G1.d.1.1: Work with HOAs to dedicate land or provide easements where planned trails cross or run adjacent to established communities.

Anderson Farms PAD: This community is designed within a square mile and is bound with arterial roads on all four sides. Anderson Farms envisions open space tracts adjacent to these rights of way with both public sidewalk and a trail system for our residents and the general public to use.

Objective G2.1.9: Support Economic Development goals with quality parks and recreation amenities to attract and retain high-skilled employers and employees seeking a full-service community.

Anderson Farms PAD: Due to its lack of proximity to the City Recreation Center, the Anderson Farms community envisions a robust HOA owned and maintained 10-acre park with robust amenities for the Anderson Farms residents to use and enjoy. Whether that be a swim and a “dive-in movie” at the community pool or fishing in the community lake and even a resident weekend tournament of pickleball on the community courts. This will be the place where the neighbors come together and create community and friendships.

Permitted Uses & Development Standards

The proposal is to utilize the RS-5 District development standards for the initial residential subdivisions. The RS-5 district is intended to provide areas for medium-density residential neighborhoods. Housing types include single unit detached and attached housing generally on lots of at least 5,000 square feet. Up to twenty-five (25) percent of the lots in a subdivision may be below the minimum lot size, but no lot shall be less than 4,500 square feet. In addition to single unit homes, this district provides for uses such as parks that are appropriate in a residential environment. The remainder of the PAD will have the ability to utilize the commercial and mixed-use zoning development standards for true mixed-use development. Within the mixed-use portion of the community, there is opportunity for single and multi-family dwellings.

Permitted Uses - Phase 1

Phase 1 will develop with the permitted uses within the RS-5 zoning district of the City of Maricopa Zoning Code.

Permitted Uses - Phase 2

Phase 2 will develop with the permitted uses within the RS-5 zoning district of the City of Maricopa Zoning Code.

Permitted Uses - Phases 3-8

Phase 1 will develop with the permitted uses within the RS-5, along with General Mixed-Use (“MU-G”) zoning districts of the City of Maricopa Zoning Code.

Development Standards Table

Proposed Amended Development Standards - Residential

The requested PAD requests to create four (4) different lot size categories within RS-5 zoning category of the PAD. They are as follows:

Category	Lot Sizes	# Lots	%
1	40x115	292	14.1%
2	45x120	821	39.7%
3	50x120	728	35.2%
4	65x120	226	10.9%
Total:		2067	100%

Anderson Farms - Amended Development Standards Table

DEVELOPMENT STANDARDS TABLE		
	RS-5	MU-G
LOT STANDARDS		
MINIMUM LOT AREA (S.F.)	4,500	4,500
MINIMUM LOT WIDTH (FT.)	40	60
MINIMUM LOT DEPTH (FT.)	N/A	
MAXIMUM DENSITY (UNITS/NET AC)	N/A	24
MAXIMUM LOT COVERAGE	N/A	N/A
MAXIMUM FAR	N/A	1.2
MAXIMUM BUILDING HEIGHT	30	45
MINIMUM BUILDING HEIGHT	N/A	2

1 ST FLOOR CEILING HEIGHT, NON-	N/A	12
FRONT (FT.)	15 (1)(2)	10
INTERIOR SIDE (FT.)	5	5
INTERIOR SIDE TO RESIDENTIAL (FT.)	N/A	0
STREET SIDE (FT.)	5	10
REAR (FT.)	15	20
MAXIMUM FRONT SETBACK (FT.) *	N/A	20
OUTDOOR LIVING AREA (SF/UNIT)	N/A	120
OUTDOOR STORAGE	N/A	N
OPEN SPACE	N/A	N/A
TRANSITIONS	N/A	Y
TRANSPARENCY FOR GROUND-FLOOR FRONTAGES, NONRESIDENTIAL USES	N/A	Y

1. Livable areas and side entry garages may have a minimum setback of 10 feet from the property line.
2. Street facing garage entrances shall be no less than a distance of 18 feet to the nearest sidewalk or to the back of curb, when a sidewalk is not provided.

Density Transfer and Dimensional Standard Flexibility

Within the PAD, there are different land use designations that demonstrate how the four (4) different lotting types will be developed throughout the community. Depending on the real estate market, shifts in density and lot sizes may be necessary throughout the development of the PAD. Therefore, in order to adapt to an ever-changing real estate market and demographics, the PAD shall allow for internal shifts in the proposed phase lines that do not conflict with infrastructure needs of the community or City. Also, the distribution in the total amount of each of the lotting categories in the above development standards table may be shifted by administrative review and approval. Any shift that increases the number of one lot size category lots that is less than twenty (20) percent of the total lot size category in the request shall be an administrative approval. Any shift in total number of lots within one lot size shall be deemed a minor amendment to the PAD. Any change to a development standard up to 15% of the total pertinent development standard of any of the internal zoning districts of the PAD shall be allowed via administrative approval.

PARKING REGULATIONS

Per City of Maricopa Zoning Code.

ARCHITECTURAL DESIGN GUIDELINES

The initial phases of the residential uses will comply with the City's Single Family Design Guidelines. The proposal is to honor the agrarian history of the property by creating several single family and multi-family residential designs based on the agrarian concept. The Anderson Farms PAD is designed to allow non-traditional residential home features that take into consideration growing families with multi-generations living under the same roof with a single address. This includes a separate fully amenitized living space for a family member(s) that can enjoy autonomy from the rest of the family, while still living close enough to participate in the family at-large. Some examples of this include boomerang children who have graduated college and have yet to get their career off the ground but still need to rely on the support of their parents. Another example is the aging parents of an adult son/daughter need to downsize and have fixed housing costs and decide to live with the adult son/daughter. This PAD will allow for full kitchens within the secondary space ("suite") with ovens, stoves, microwaves, refrigerators, sinks, etc. to facilitate the preparation and storage of food. Additionally, the Anderson Farms PAD is proposing to allow RV garages that are incorporated into the home floor plans. Many families have "toys" in which they use for recreation. This includes RV's, boats, jet skis, kayak's, motorcycles, etc. and need a place to store these that is more affordable than an off-site facility. Many times, the RV space can be used as the ever popular "she-shed" or "man-cave" where residents work on crafts or hobbies in their downtime.

The following additional design elements from Table 18.60.060(C) will be implemented as part of the residential development within the PAD:

- Provide landscape open spaces visible from arterial street and residential street view (1)
- Single-story or combination 1 and 2 story homes on all corner lots (1)
- Incorporate architectural enhancements to community mailboxes for residents such as lighting, shade, etc. (1)
- Add additional amenities interior to the project (1)
- Promote human comfort by providing shaded areas, courtyards, colonnades, and other areas as site amenities (1)
- Building orientation that responds to climate and enables passive/active solar strategies and energy efficiency techniques (1)
- Maintain the site's natural topography and features (only applicable to sites with topography changes greater than 5% across the site) (2)

In addition to the above design guidelines, the applicant has submitted, as part of the PAD approval, the proposed single family exterior, architectural design guidelines. Refer to **Exhibit G** for the proposed exterior architectural single family residential designs. If approved as part of the PAD, administrative design review is not required for housing product submittals that meet or exceed the designs attached. The proposed agrarian design themes will be included with any of the proposed land uses allowed within the MU designated land areas. Refer to **Exhibit H** for design examples for non-residential agrarian design themes.

LANDSCAPE & OPEN SPACE

Walls & Fences

Screen walls and/or vegetation screening will be placed in appropriate areas of the development. This PAD believes and envisions that homeowner's rear yards are private and has intentionally minimized the amount of view fence within the community in order to protect children who play in their private back yards. The proposed entry monuments, wall themes, landscape palette and

design will achieve a superior community design consistent with the intent and purpose of the PAD zoning district. Refer to **Exhibit I** for the design theme for the walls, entry features and landscaping.

Open Space Design

This PAD is envisioned as a new family-oriented community and will feature a network of walking paths and trails, connecting residents to centralized open spaces and amenities. The open space is designed to create an incredible sense of community that exceeds the City's typical PAD requirements.

A large ±10-acre centralized park and amenity area will feature a large turf play area, a resort-style community pool facility, dog park, seating areas, and trash cans. This primary amenity will be centrally located and will be constructed with Phase 5. Adequate shade will be provided. The amenity area will be owned and maintained by the property management. The Anderson Farms community has strong pedestrian connectivity through a system of paseos. Trails will lit in certain areas by low bollards and at seating or activity nodes. Refer to **Exhibit J** for these details. Future site lighting will be added for streets and other amenity areas at the time of preliminary and final plat submittals. These trail systems wind their way through neighborhood parks and activated green spaces that culminate with the beautiful main park amenity. This amenity is designed to be reminiscent of our earliest ties to the land and explores the homestead farm; its utilitarian structures as well as its ability to control water in order to thrive. The first view will be the open-air amenity structure complete with a red silo as you look across the lake. Its higher vantage point provides a focal point and a variety of interactive spaces as it terraces toward the lake. You can choose to interact with the water on a formal lake edge plaza, dining area, boardwalk or in naturalized area where you can relax with a view across the water. A farm themed tot lot with a zip line is in close proximity and as ones makes their way through the "orchard" and finds themselves at a large event lawn that pays tribute to the irrigated fields of our homestead. This lawn area is perfect for large gatherings, sports fields or a community movie night. This area also serves as a transition to the active sport complex area. The heart of the active amenity area is a large pool with restroom building, generous pool deck and gathering areas from trellis shade to chaise lounges. The pool complex offers views of the lake in the background through a naturalized "boulder" creek with informal picnic spots. A dog park with shade, seating, and separate large and small dog areas will be popular as it views the lake and is easy to access by the trail system. A full basketball court and two pickleball courts (with room for a third) have been provided in this area as well as a teen/adult area with cornhole and string lights. Parking lots with convenient drop-off zones and food truck areas flank the amenity to the east and west. This amenity will be a beautiful jewel in this park system and will provide years of interactive experience for all users young and old.

The PAD will also feature several active pocket park areas, which are anticipated to include a turf play area, ramadas, trash cans and picnic tables. The active pocket parks will also be centrally located, connected via pedestrian paths to the primary amenity area. Adequate shade will be provided in all areas and will also be owned and maintained by the property management. Refer to **Exhibit J** for the proposed PAD Open Space Plan.

SITE ACCESS & CIRCULATION

Circulation

The Maricopa Casa Grande Highway (HWY 238) is an east-west minor arterial highway accessible utilizing Hartman Road and is located a mere 1.69 miles south of the southwest corner of the Property. HWY 238 is also accessible via Farrell Road 2.38 miles west of the Property. Interstate 10 (I-10) is located northeast of the Property and is accessible from approximately 17.5 miles. Interstate 8 (I-8) is located approximately 25

miles south of the Property and provides access to San Diego and Southern California. The Property is located approximately 7 miles east of the John Wayne Parkway (SR 347), a major north-south state highway in central Arizona that provides access to the Phoenix metropolitan area approximately 20 miles north of Maricopa.

Access & Street Design

Farrell Road bounds the southern border of the Property, Murphy Road lies to the east, Bowling Road to the north, and Hartman Road bounds the west.

The proposed PAD will improve the contiguous half of the major street frontages along the PAD on a phase-by-phase basis, as well as the full street improvement along Bowlin Road. The half-street improvements include Hartman Road, Murphy Rd., Bowlin Road and Farrell Road. An internal collector road system will be established to provide direct access to the residential enclaves. Additionally, internal enhanced local streets are planned with 5' detached sidewalks. The proposed pedestrian trail and sidewalk network will provide residents and locals with safe and uninterrupted connections to the multiple planned parks, paseos, and street improvements. Further definition of the PAD's circulation plan will occur at the platting stage of development. Refer to **Exhibit K** for the PAD Circulation Plan.

PUBLIC UTILITIES & SERVICES

Existing Utilities & Services

The provision of infrastructure, utilities, and public services is key to the continuing success of Maricopa. The City and Global Water Company is in the process of expanding these services where needed to meet current and new development needs and create sustainable neighborhoods in the future.

Existing Water Facilities

The Property is located within the service area of Santa Cruz Water Company (SCWC), a subsidiary of Global Water Resources. SCWC has master planned and installed the majority of infrastructure to serve Maricopa's expansive growth. In total, SCWC has CC&N's covering approximately 30 square miles of property within Maricopa's city limits, of which, approximately 12 square miles has been developed. In accordance with a regional master water infrastructure plan, SCWC has constructed a substantial potable water system to support this area.

The onsite water infrastructure for Anderson Farms shall be designed to provide water efficiently, reliably, and safely to the development. The system shall convey water for both domestic and emergency uses. The onsite water infrastructure shall also be looped to provide redundancy and improve the system's performance, while also preserving water quality. There is an existing 16" water stub in Hartman Road that will provide the primary connection with a proposed 12" waterline to be constructed through Anderson Farms along the east-west mid-section line. The Project will connect to a proposed 16" water line in Farrell Road which will be constructed in the near future by the proposed high school site to the south.

Existing Wastewater Facilities

Palo Verde Utilities Company (PVUC), a subsidiary of Global Water Resources, Inc. provides sanitary sewer services to the entirety of the Property. In accordance with the regional master plan, Global Water has constructed a substantial wastewater system to service the City of Maricopa including gravity and force-mains, lift stations, a reclaimed water facility, and an extensive recycled water distribution system.

The proposed onsite wastewater infrastructure for Anderson Farms will convey all wastewater to a proposed 15" gravity sewer line in Hartman which will connect to the existing 24" gravity sewer line at the Bowlin Road intersection.

Dry utilities in the area are Orbitel Communications/CenturyLink for cable TV/telephone, Electrical District Number 3 for electrical and Southwest Gas Corporation for gas service.

Drainage

The project site is subject to effective FEMA Special Flood Hazard Areas (SFHA) of floodplains of differing categories. The various floodplains are a result of the Santa Cruz Wash watershed and runoff from the 100-year event, though smaller storm events from the expanse of the Santa Cruz Wash watersheds are acknowledged to discharge flows to the development site. Portions of the Property along Murphy Road are in Flood Zone A (A mapped flood zone without base flood elevation). The majority of the Property is in either Zone Z Shaded (Areas of 0.2% annual chance flood; 1% annual chance flood with average depths less than 1') or Zone X (Areas determined to be outside the 0.2% annual chance floodplain). The flood zones are identified on Flood Insurance Rate Maps (F.I.R.M.) numbers 04021C0765F (Panel 765 of 2575), dated June 16, 2014. A CLOMR (Conditional Letter of Map Revision) and LOMR (Letter of Map Revision), based on effective conditions, will be required with development of the project site which will remove residential area from the Special Flood Hazards and relieve the proposed lots from requirements of flood insurance.

Design of the site will use best available data for offsite flowrates and other hydrologic and hydraulic existing conditions which have been developed in the City of Maricopa.

The development will conform to the requirements of storm water retention on-site, which is the 100-year 2-hour storm event. Additional detail will be provided with the Project's future preliminary plats and drainage reports.

Geological Constraints

Research of the USGS database reveals no evidence of the presence of earth fissures within the Property boundaries and there is no information indicating any other geological constraints on the Property.

According to the geotechnical report prepared by Epsilon Geotechnical & Material, LLC, the Property has three soil classifications— clayey sand, silty clayey sand, and sandy lean clay. The report states that from a geotechnical engineering viewpoint, the site is suitable for the proposed development.

Site constraints

The major challenge for the Property is the existing floodplain. Engineering design and coordination is continuing between the developer of Anderson Farms, other neighboring proposed developments, and the City of Maricopa to construct a channel along the north side of Farrell Road which would remove Anderson Farms entirely from the floodplain and control/route offsite flow along the Project's southern edge.

Historical land uses

There are no records or evidence indicating the presence of Historical Land Uses within the Property nor are there any known sites on the property with significant historical background or historical credentials.

Beyond the perimeter of the Property

The nearest high school is Maricopa High School located approximately 7 miles west of the Property. Desert Wind Middle School located approximately .5 miles north of the Property, and Santa Cruz Elementary School located approximately 1.5 miles north of the Property.

Maricopa Fire Department Stations 572 is located within a .5 mile radius of the Property. Additional neighborhoods, parks, schools, major streets, and retail are located generally within the City of Maricopa to the west the Property.

DEVELOPMENT PHASING

The initial phase of this community are two (2) currently approved subdivisions located off Hartman Road. The request is to incorporate these two subdivisions, owned by Lennar, to be a part of an additional seven (7) phases (eight (8) total phases) and the overall PAD design themes, along with pedestrian and roadway connections. The proposed phasing for this project is designed to allow the development of a majority of the residential community along with the major open space amenity. Further phases provide for trail connections and future mixed-uses. Refer to **Exhibit L** for the PAD Phasing Plan.

CONCLUSION

The requested rezoning to PAD creates a new residential venue within Maricopa that blends the agrarian lifestyle of the area with modern single family living. The proposed design of the PAD will incorporate characteristics of the region to preserve the nature and appeal of that the surrounding area was built upon. The location of the Property is at Hartman Road and Farrell Road is such that neighboring properties still maintain an accumulation of agriculture and revitalized residential development. The design of the proposed PAD calls for green areas throughout the traversing roadways so that future residents have plenty of open space to explore the Property with any notion of feeling cramped. The proposed PAD will also provide for areas allowing for commercial developments to sustain the future residents. The proposed PAD is a logical extension of residential development within the City.

A proposed hierarchal system of a single collector and internal custom local streets serve as a simplified and efficient roadway that will be designed to provide direct access for the new residents to access the internal parks, neighborhoods and trail system. The circulation design creates an internal street system within the PAD that requires no cul-de-sacs. The proposed rezoning request will provide the necessary flexibility to adapt to current and future single-family residential markets. The rezoning provides for multiple lot sizes with the flexibility not affecting the density or maximum number of dwelling units proposed for the Property. Additional development standards and zoning district uses allow for the potential of multi-family residential units and mixed-uses to service the proposed community. The overall goal is to reach a sustainable density threshold that allows for the development of a first-class residential community.

EXHIBIT A

Exhibit A

Aerial Vicinity Map

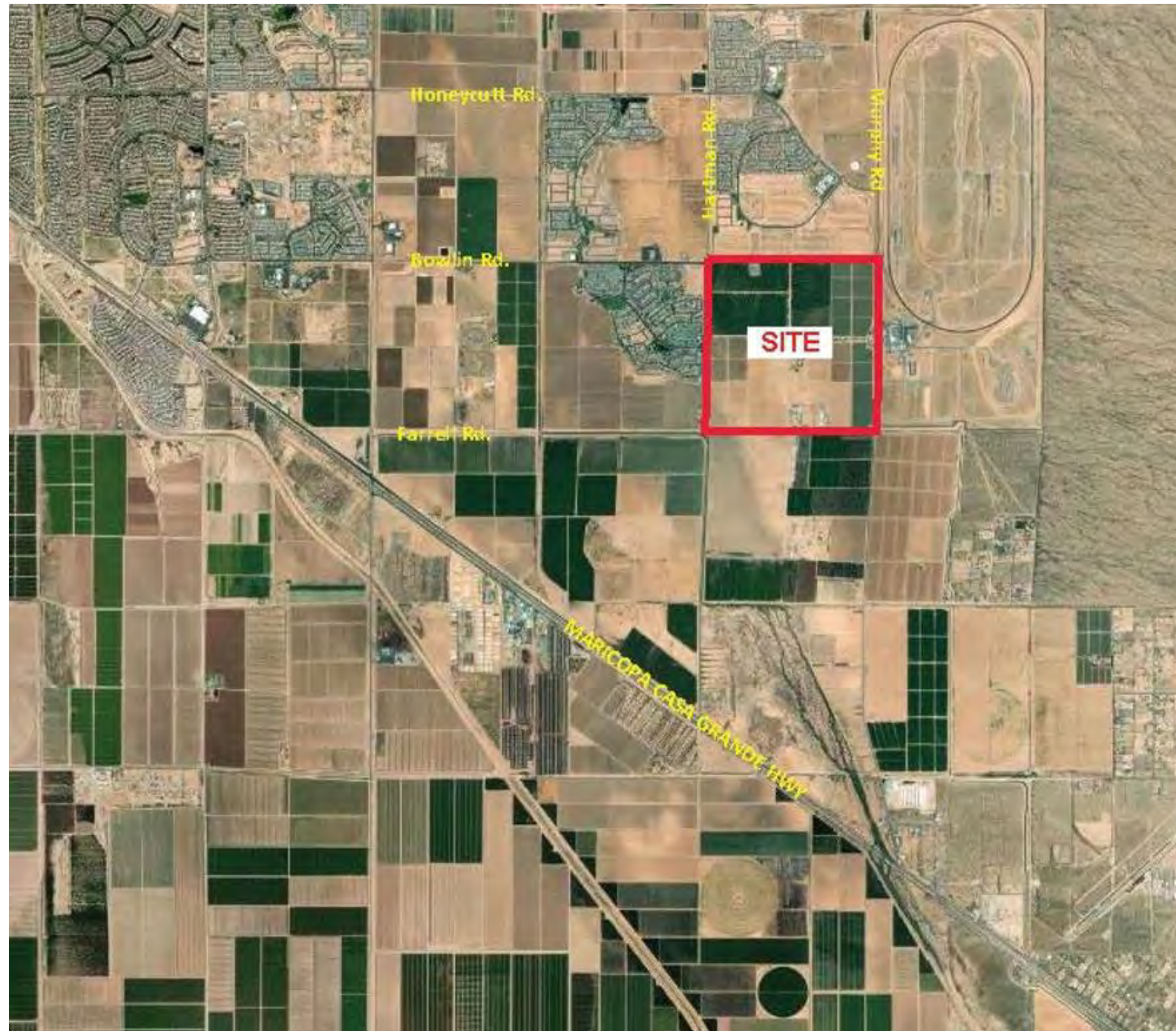


EXHIBIT B

Exhibit B

City
Zoning
Map

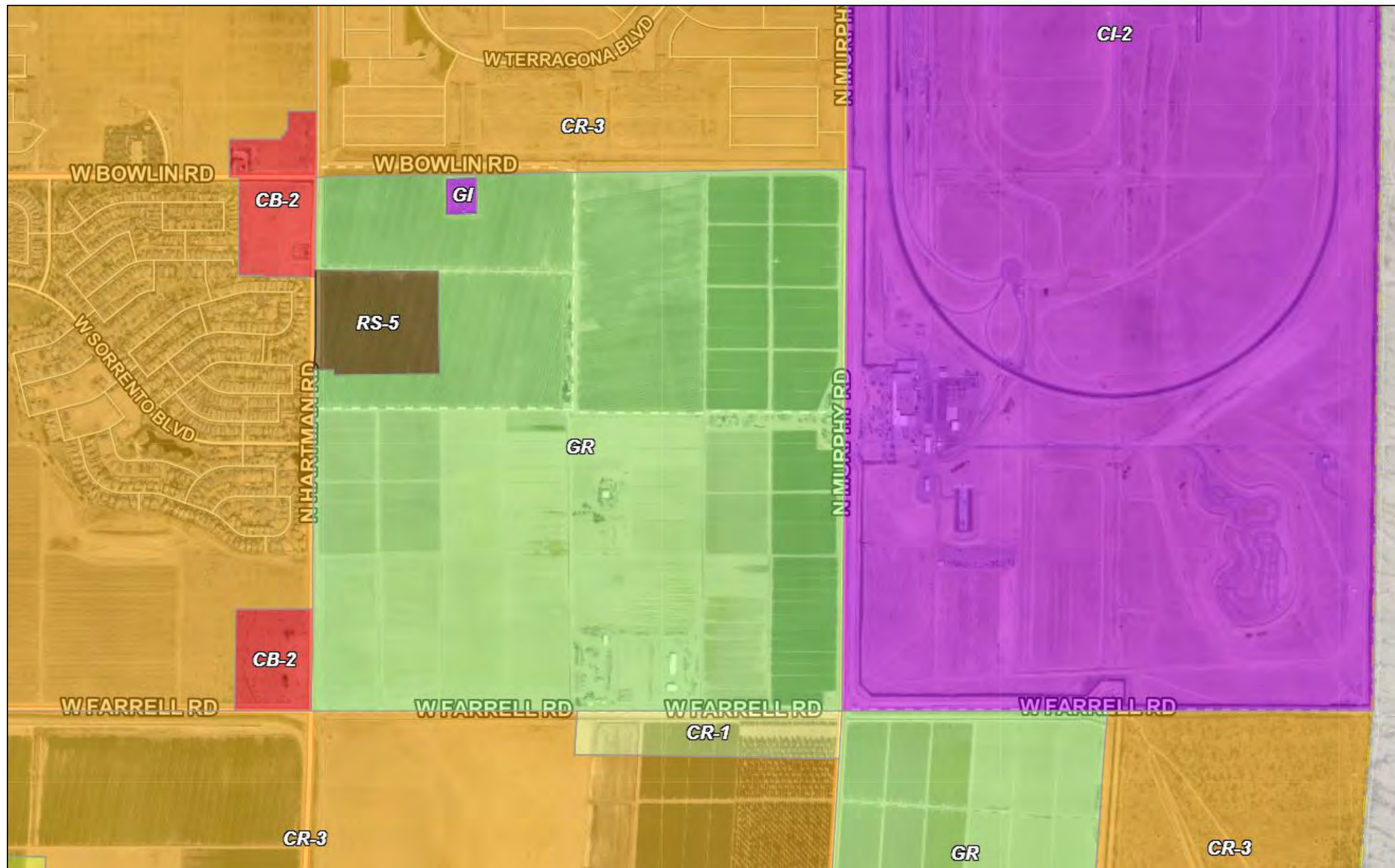
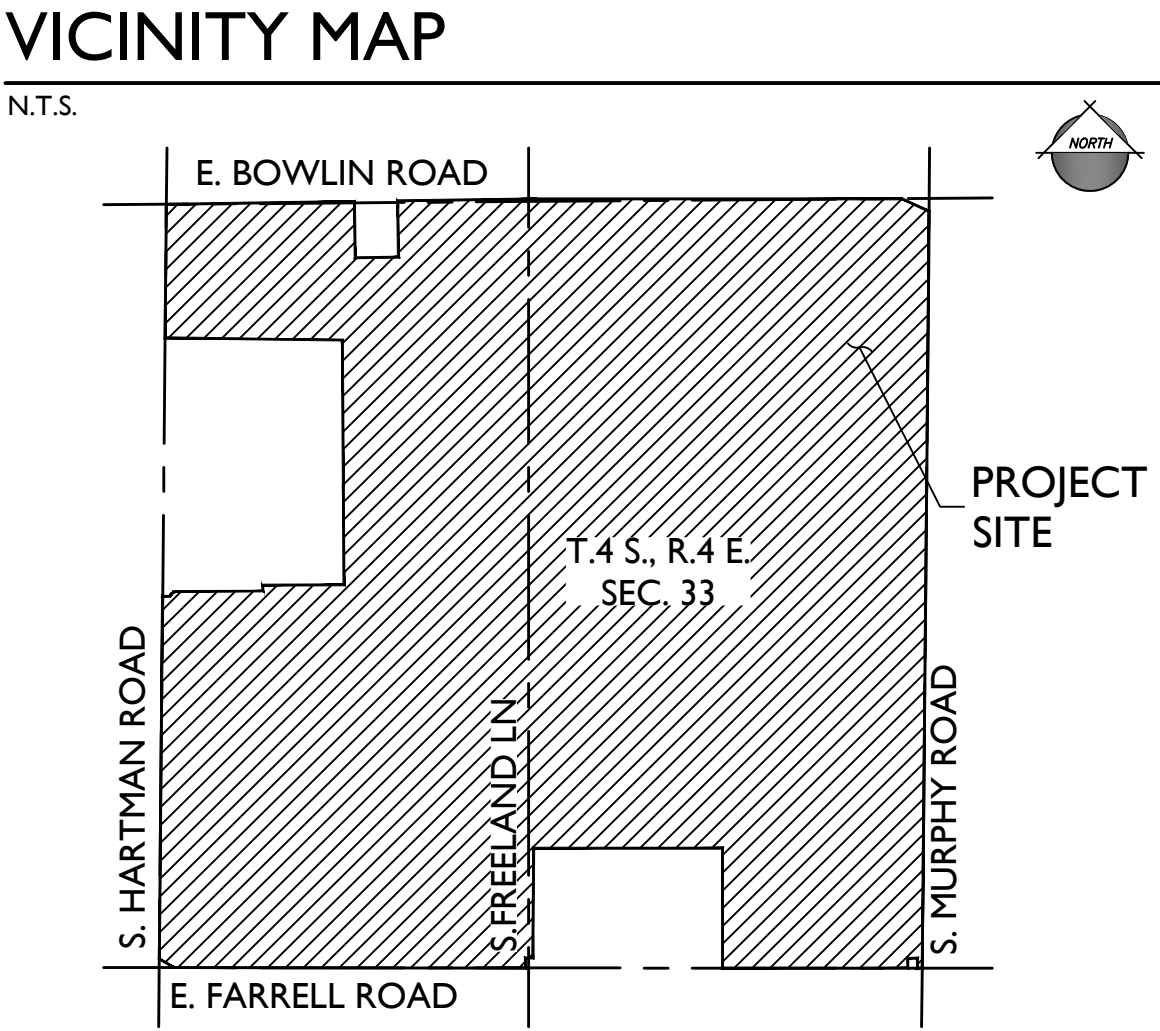
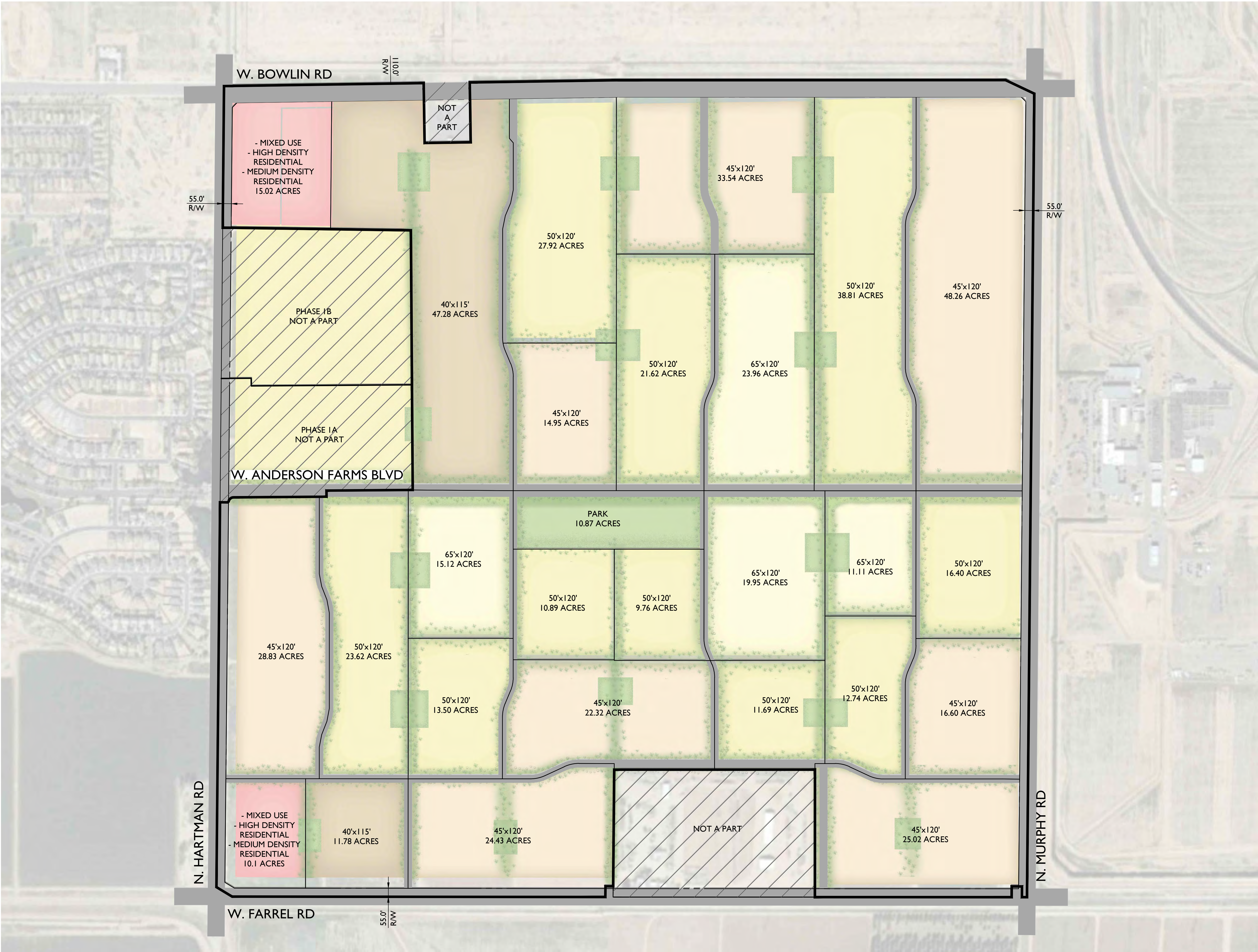


EXHIBIT C



PROJECT TEAM

DEVELOPER:
LENNAR ARIZONA INC
1665 WY. ALAMEDA DR, SUITE 130
TEMPE, AZ 85282
TEL: (602)-921-6520
CONTACT: TODD SKORO
Todd.Skoro@lennar.com

ENGINEER:
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2525 E. CAMELBACK RD., SEVENTH FLOOR
PHOENIX, AZ 85016
TEL: (602)-452-2712
CONTACT: WILLIAM E. LALLY, ESQ.

TRAFFIC ENGINEER:
CIVTECH
10605 N. HAYDEN RD., SUITE 140
SCOTTSDALE, AZ 85260
CONTACT: DAWN CARTIER, P.E. PTOE

PROJECT DATA

A.P.N.	A PORTION OF 502-03-015H, 502-03-015F
CURRENT USE:	AGRICULTURAL
GENERAL PLAN LAND USE:	MASTER PLANNED COMMUNITY
EXISTING ZONING:	RS-5
PROPOSED ZONING:	PAD
GROSS AREA:	± 566.13 ACRES
NET AREA:	± 538.22 ACRES (EXCLUDES ARTERIAL R/W)
ARTERIAL & COLLECTOR:	± 27.91 ACRES
NO. OF LOTS:	
40' x 115'	292 14.1 %
45' x 120'	821 39.7 %
50' x 120'	728 35.2 %
65' x 120'	226 10.9 %
TOTAL	2067 100 %
GROSS DENSITY:	± 3.63 DU/AC
OPEN SPACE TRACT AREA:	± 177.75 ACRES (33% OF NET)

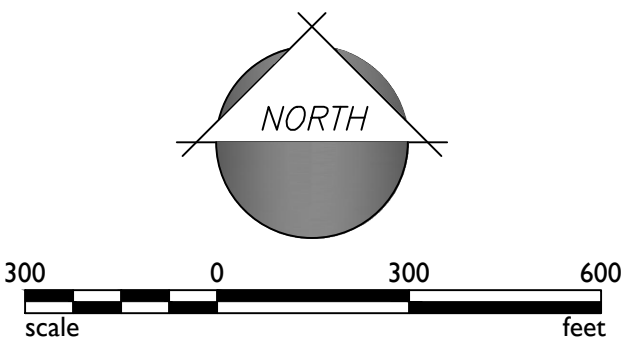
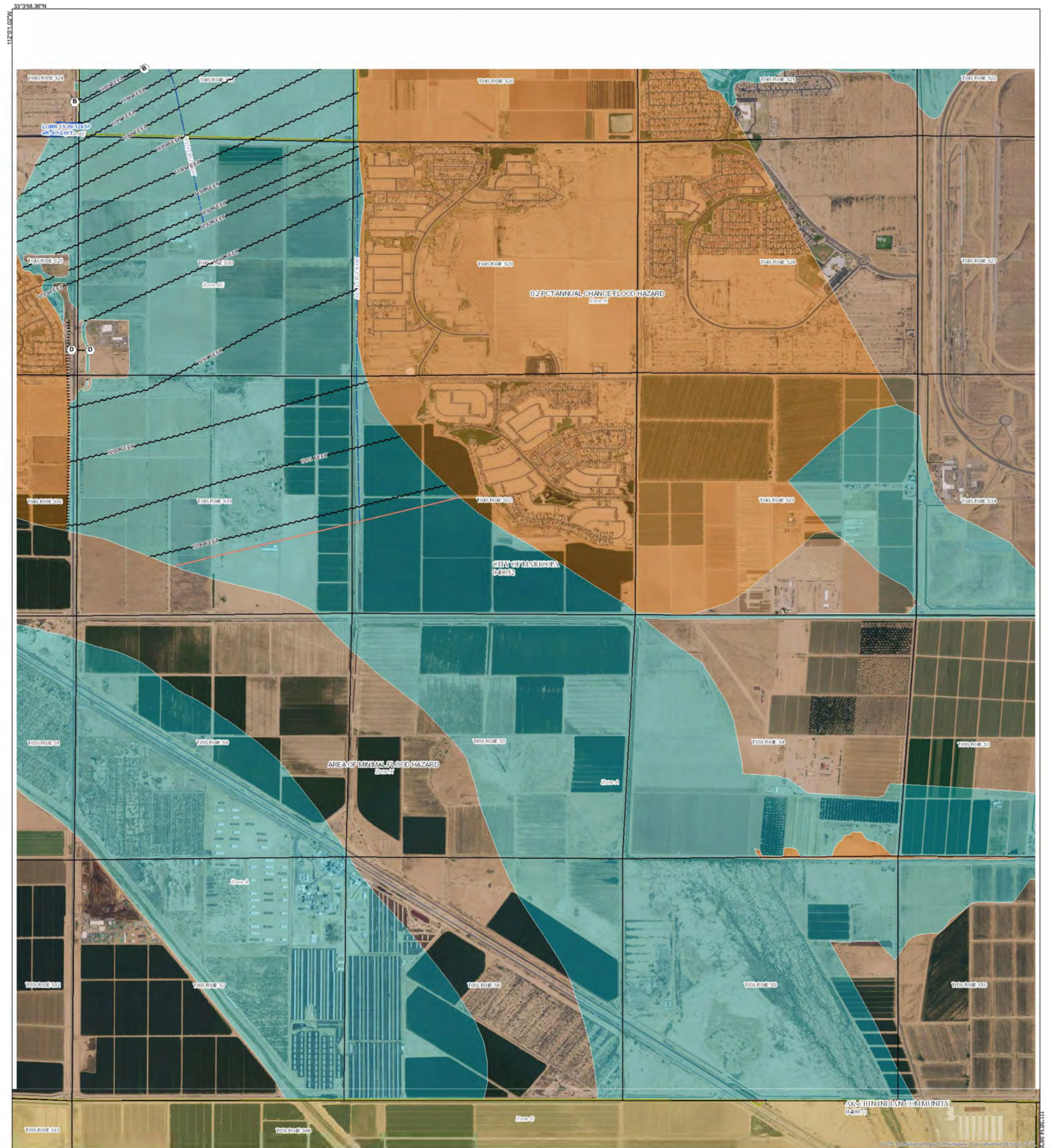
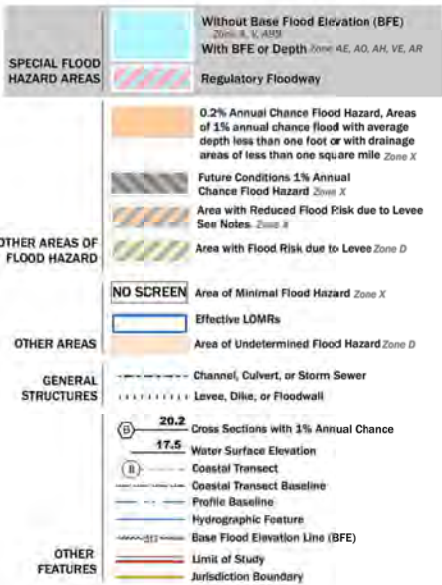


EXHIBIT D



FLOOD HAZARD INFORMATION

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT



NOTES TO USERS

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with the FIRM, including historic versions, the current map date for each FIRM panel, how to order products, or the National Flood Insurance Program (NFIP) in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA Flood Map Service Center website at <http://map.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM index. These may be ordered directly from the Flood Map Service Center at the number listed above.

For community and countywide map dates refer to the Flood Insurance Study Report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-636-6620.

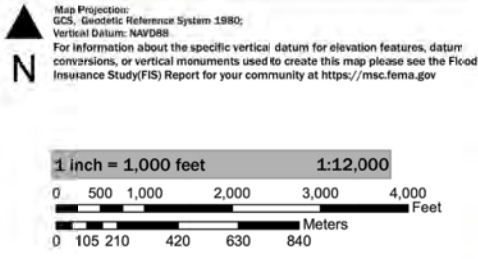
Basemap information shown on this FIRM was provided in digital format by USDA, Farm Service Agency (FSA). This information was derived from NAIP, dated April 11, 2018.

This map was exported from FEMA's National Flood Hazard Layer (NFHL) on 3/18/2019 9:54:41 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time. For additional information, please see the Flood Hazard Mapping Updates Overview Fact Sheet at <https://www.fema.gov/media-library/assets/documents/118418>.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date.

SCALE



National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP

PINAL COUNTY, ARIZONA AND INCORPORATED AREAS

PANEL 765 OF 2575

Panel Coverage:

COMMUNITY	NUMBER	PANEL
PINAL COUNTY UNINCORPORATED AREAS ARIZONA CITY OF MARICOPA ARIZONA	040077	0765
	040052	0765

MAP NUMBER
04021C0765F
EFFECTIVE DATE
06/16/2014

EXHIBIT E



**Legal Description
Anderson Farms
PAD**

Job No. 21-0141

8/18/2021

ALL OF SECTION 33, TOWNSHIP 4 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.

EXCEPT THOSE PORTIONS DESCRIBED IN EXCLUSION FOR THE MARICOPA-STANFIELD IRRIGATION AND DRAINAGE DISTRICT AS SET FORTH IN QUIT CLAIM DEED RECORDED DOCKET 2037, PAGE 70; AND

EXCEPT THAT PORTION CONVEYED IN DEED RECORDED IN FEE NO. 2008-111730 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 33 FROM WHICH THE NORTH QUARTER CORNER BEARS NORTH 89°08'55" EAST, 2638.58 FEET;

THENCE NORTH 89°08'55" EAST, ALONG AND WITH THE NORTH LINE OF SAID SECTION 33, 1299.97 FEET;

THENCE SOUTH 00°51'05" EAST, 33.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF BOWLIN ROAD AND THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL;

THENCE NORTH 89°08'55" EAST, ALONG AND WITH SAID RIGHT OF WAY LINE, 300.00 FEET;

THENCE SOUTH 00°51'05" EAST, DEPARTING SAID RIGHT OF WAY LINE, 357.00 FEET;

THENCE SOUTH 89°08'55" WEST, 300.00 FEET;

THENCE NORTH 00°51'05" WEST, 357.00 FEET TO THE TRUE POINT OF BEGINNING;
AND

EXCEPT A PROPOSED EXCEPTION FOR FARMSTEAD DESCRIBED AS FOLLOWS:

A PORTION OF THE SOUTH HALF OF SECTION 33, TOWNSHIP 4 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 33, BEING MARKED BY A REBAR WITHOUT ID, FROM WHICH THE SOUTHWEST CORNER OF SAID SECTION



33, BEING MARKED BY A REBAR WITHOUT ID, BEARS NORTH 89 DEGREES 55 MINUTES 35 SECONDS WEST, 2639.05 FEET;

THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, NORTH 89 DEGREES 55 MINUTES 35 SECONDS WEST, 56.12 FEET TO THE SOUTHEAST CORNER OF THAT MARICOPA-STANFIELD IRRIGATION & DRAINAGE DISTRICT RIGHT-OF-WAY AS CONVEYED IN DOCKET 1538, PAGE 561 AND DOCKET 1479, PAGE 740 OF PINAL COUNTY RECORDS;

THENCE ALONG THE EAST LINE OF SAID RIGHT-OF-WAY AND THE NORTHERLY PROLONGATION THEREOF, NORTH 0 DEGREES 31 MINUTES 24 SECONDS EAST, 829.98 FEET;

THENCE ALONG A LINE 830.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33, SOUTH 89 DEGREES 58 MINUTES 54 SECONDS EAST, 1307.00 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 06 SECONDS WEST, 830.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTHEAST QUARTER;

THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER, NORTH 89 DEGREES 58 MINUTES 54 SECONDS WEST, 1258.20 FEET TO THE POINT OF BEGINNING; AND

EXCEPT A PROPOSED EXCEPTION FOR PHASE 1A PLAT DESCRIBED AS FOLLOWS:

A PORTION OF THE WEST HALF OF SECTION 33, TOWNSHIP 4 SOUTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A BRASS CAP IN HAND HOLE AT THE WEST QUARTER CORNER OF SAID SECTION 33, FROM WHICH A BRASS CAP IN HAND HOLE AT THE NORTHWEST CORNER OF SAID SECTION 33, BEARS NORTH 0 DEGREES 32 MINUTES 46 SECONDS EAST (AN ASSUMED BEARING) AT A DISTANCE OF 2,639.89 FEET;

THENCE NORTH 0 DEGREES 32 MINUTES 46 SECONDS EAST, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 33, 735.10 FEET;

THENCE NORTH 89 DEGREES 35 MINUTES 50 SECONDS EAST, 195.01 FEET;

THENCE SOUTH 0 DEGREES 24 MINUTES 10 SECONDS EAST, 50.00 FEET;

THENCE NORTH 89 DEGREES 35 MINUTES 50 SECONDS EAST, 1046.31 FEET;



THENCE SOUTH 0 DEGREES 24 MINUTES 10 SECONDS EAST, 685.00 FEET TO A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER;

THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST, ALONG SAID SOUTH LINE, 561.31 FEET;

THENCE SOUTH 0 DEGREES 24 MINUTES 10 SECONDS EAST, 40.00 FEET;

THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST, 605.39 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHEAST, HAVING A RADIUS OF 33.00 FEET;

THENCE SOUTHWESTERLY 51.29 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 89 DEGREES 03 MINUTES 00 SECONDS;

THENCE ON A NON-TANGENT LINE NORTH 89 DEGREES 27 MINUTES 10 SECONDS WEST, 55.00 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33;

THENCE NORTH 0 DEGREES 32 MINUTES 50 SECONDS EAST, ALONG SAID WEST LINE, 71.55 FEET TO THE POINT OF BEGINNING; AND

EXCEPT A PROPOSED EXCEPTION FOR PHASE 1B PLAT DESCRIBED AS FOLLOWS:

A PORTION OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 4 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 33, SAID POINT BEING MARKED BY A BRASS CAP IN HAND HOLE, FROM WHICH THE NORTHWEST CORNER OF SAID SECTION 33, SAID POINT BEING MARKED BY A BRASS CAP IN HAND HOLE, BEARS NORTH 00 DEGREES 32 MINUTES 46 SECONDS EAST, A DISTANCE OF 2639.89 FEET;

THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, NORTH 0 DEGREES 32 MINUTES 46 SECONDS EAST, 735.10 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID WEST LINE, NORTH 0 DEGREES 32 MINUTES 46 SECONDS EAST, 982.46 FEET;

THENCE SOUTH 89 DEGREES 11 MINUTES 22 SECONDS EAST, 1225.32 FEET;

THENCE SOUTH 0 DEGREES 24 MINUTES 10 SECONDS EAST, 1006.38 FEET;

THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST, 1046.31 FEET;

THENCE NORTH 0 DEGREES 24 MINUTES 10 SECONDS WEST, 50.00 FEET;

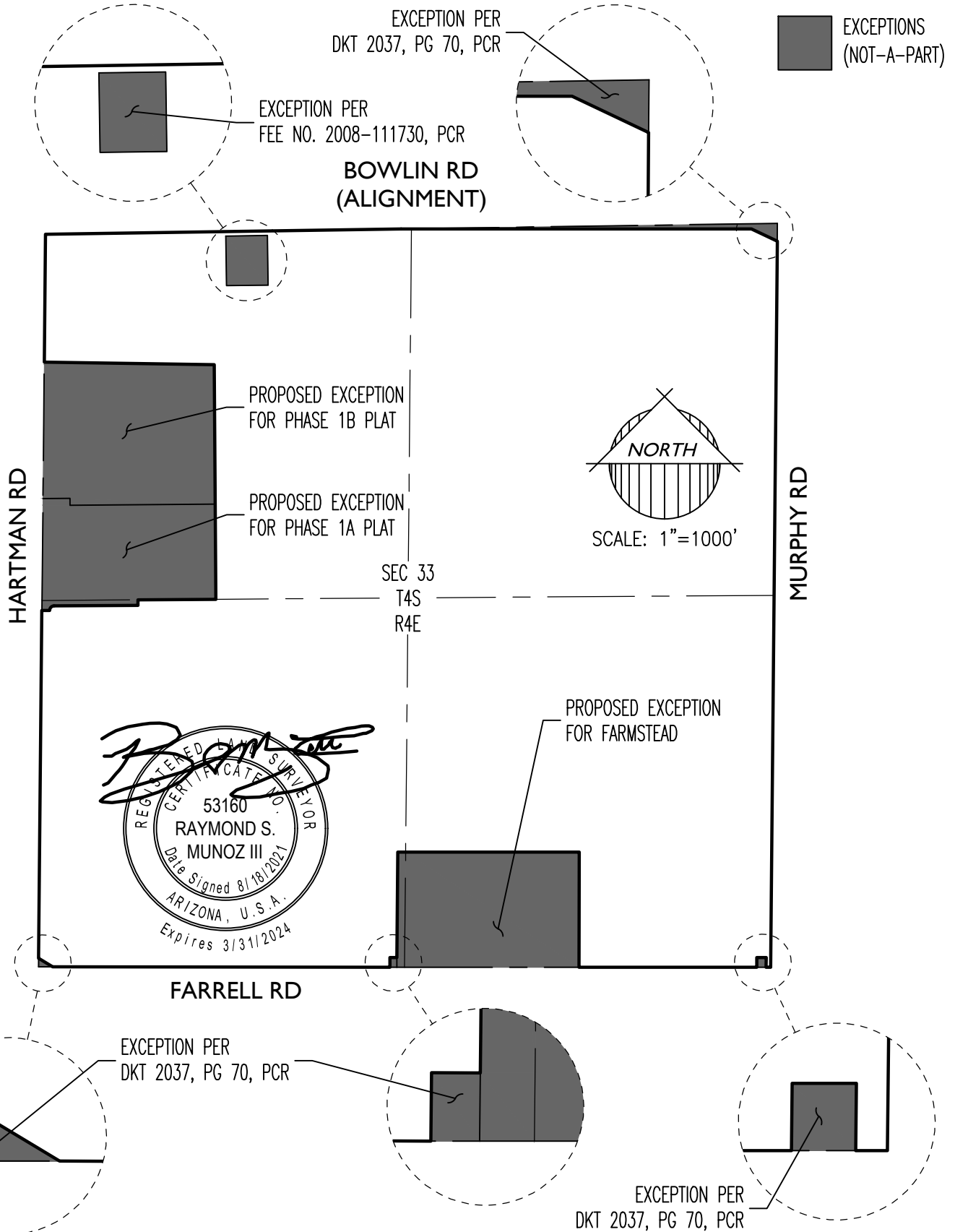


THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST, 195.01 FEET TO THE POINT OF BEGINNING.

CONTAINS 24,670,657 SQUARE FEET OR 566.3604 ACRES, MORE OR LESS.



Aug 18, 2021 3:16pm S:\Projects\2021\21-0141\Land Survey\Legals\21-0141 LD05 PAD.dwg



SEE SHEET 2 OF 2 FOR AREA BREAKDOWN

21-0141

Anderson Farms
PAD

Exhibit

SHEET 1 OF 2



1130 N Alma School Rd
Ste 120 Mesa, AZ 85201
T:480.503.2250 | F:480.503.2258
www.epsgroupinc.com

AREA BREAKDOWN

(NOT-A-PART)	SECTION 33, T4S, R4E	28,081,222 SF±	644.6562 AC±
	EXCEPTION (DKT 2037, PG 70, PCR)	73,595 SF±	1.6895 AC±
	EXCEPTION (FEE NO. 2008-111730, PCR)	107,100 SF±	2.4587 AC±
	EXCEPTION (FARMSTEAD)	1,087,845 SF±	24.9735 AC±
	EXCEPTION (PHASE 1A PLAT)	894,215 SF±	20.5284 AC±
	EXCEPTION (PHASE 1B PLAT)	1,247,810 SF±	28.6458 AC±
<hr/>			
	PAD AREA	24,670,657 SF±	566.3604 AC±



21-0141

Anderson Farms
PAD

Exhibit

SHEET 2 OF 2



1130 N Alma School Rd
Ste 120 Mesa, AZ 85201
T:480.503.2250 | F:480.503.2258
www.epsgroupinc.com

EXHIBIT F

Exhibit F

City
General
Plan

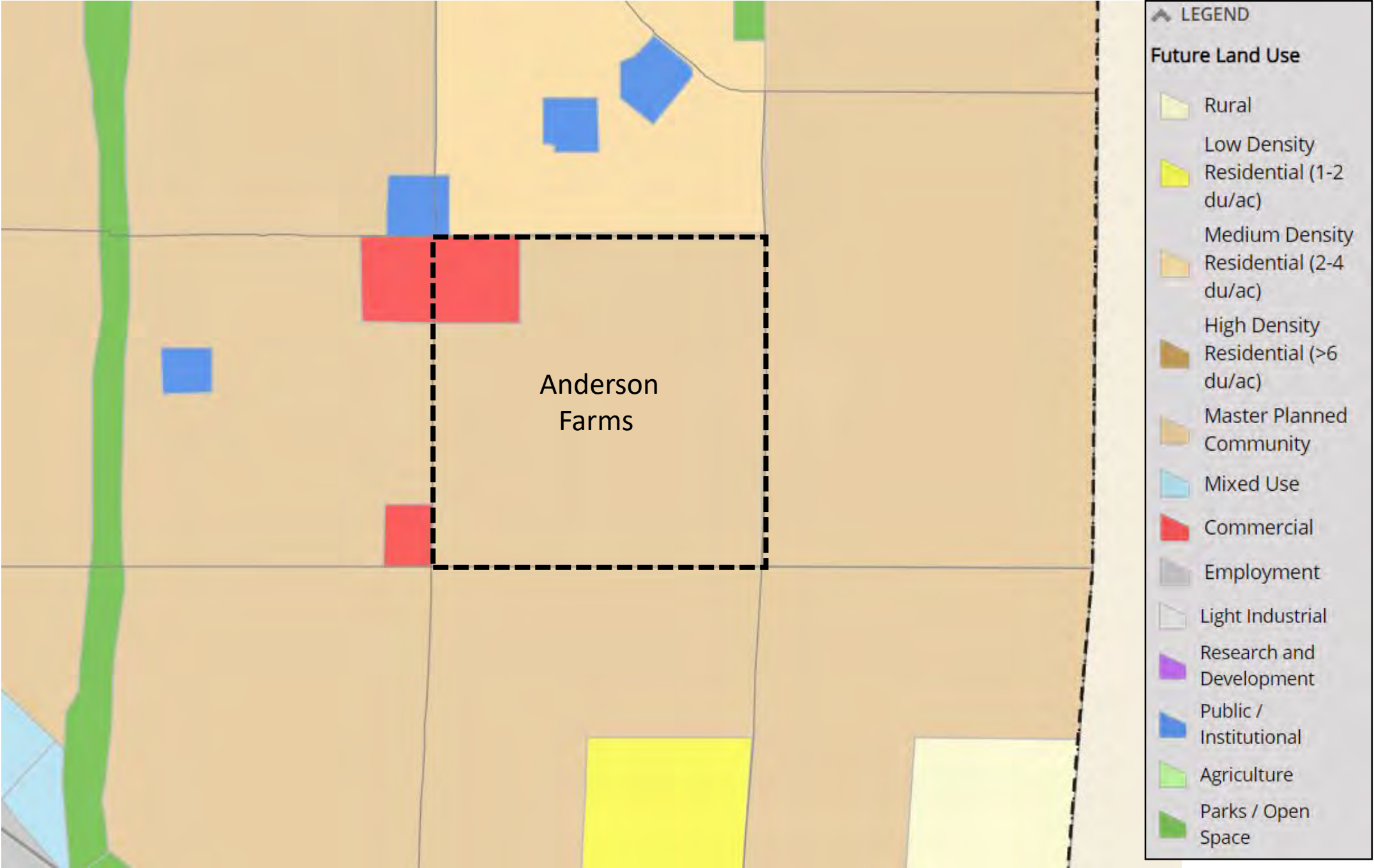
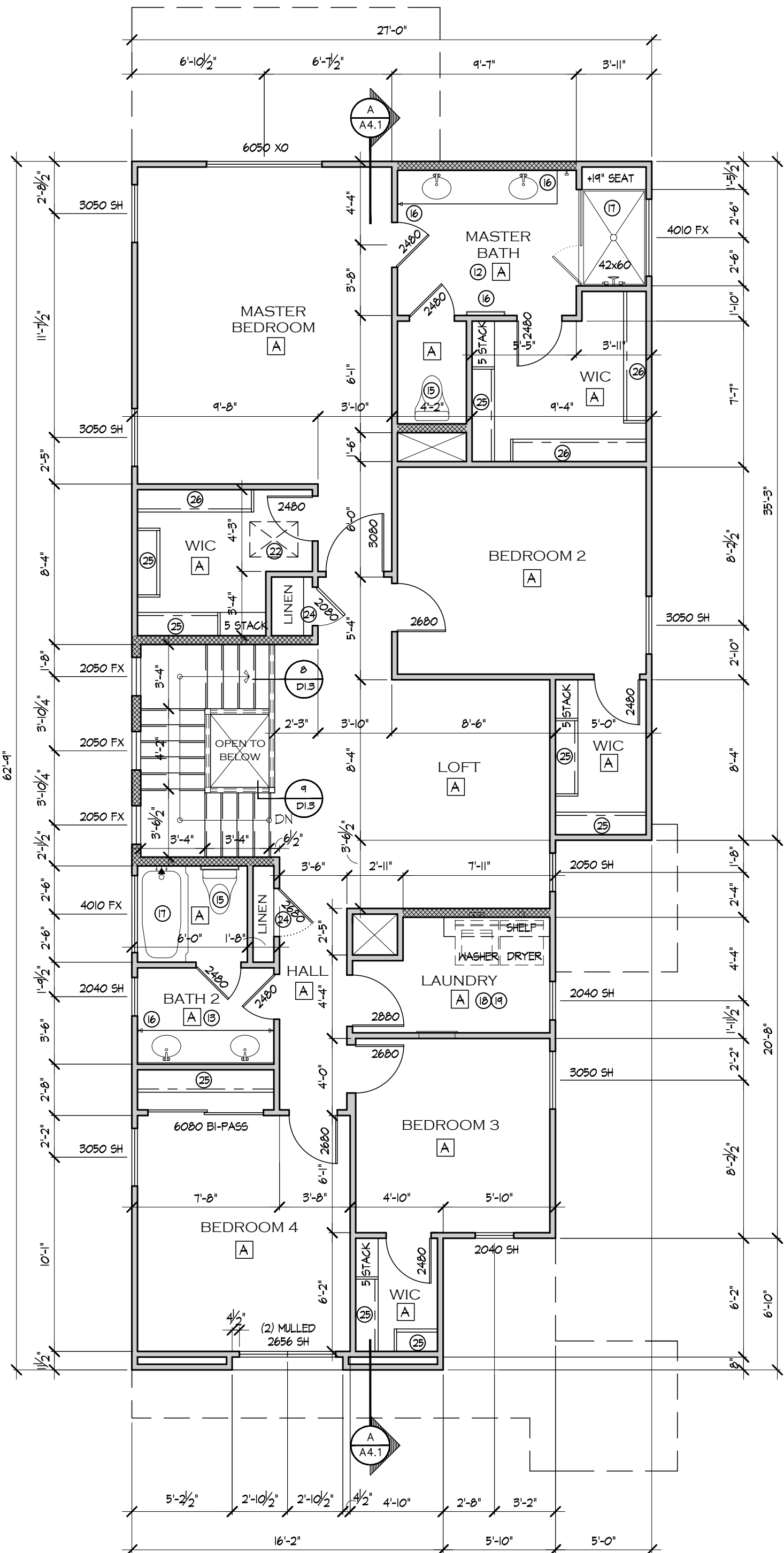


EXHIBIT G

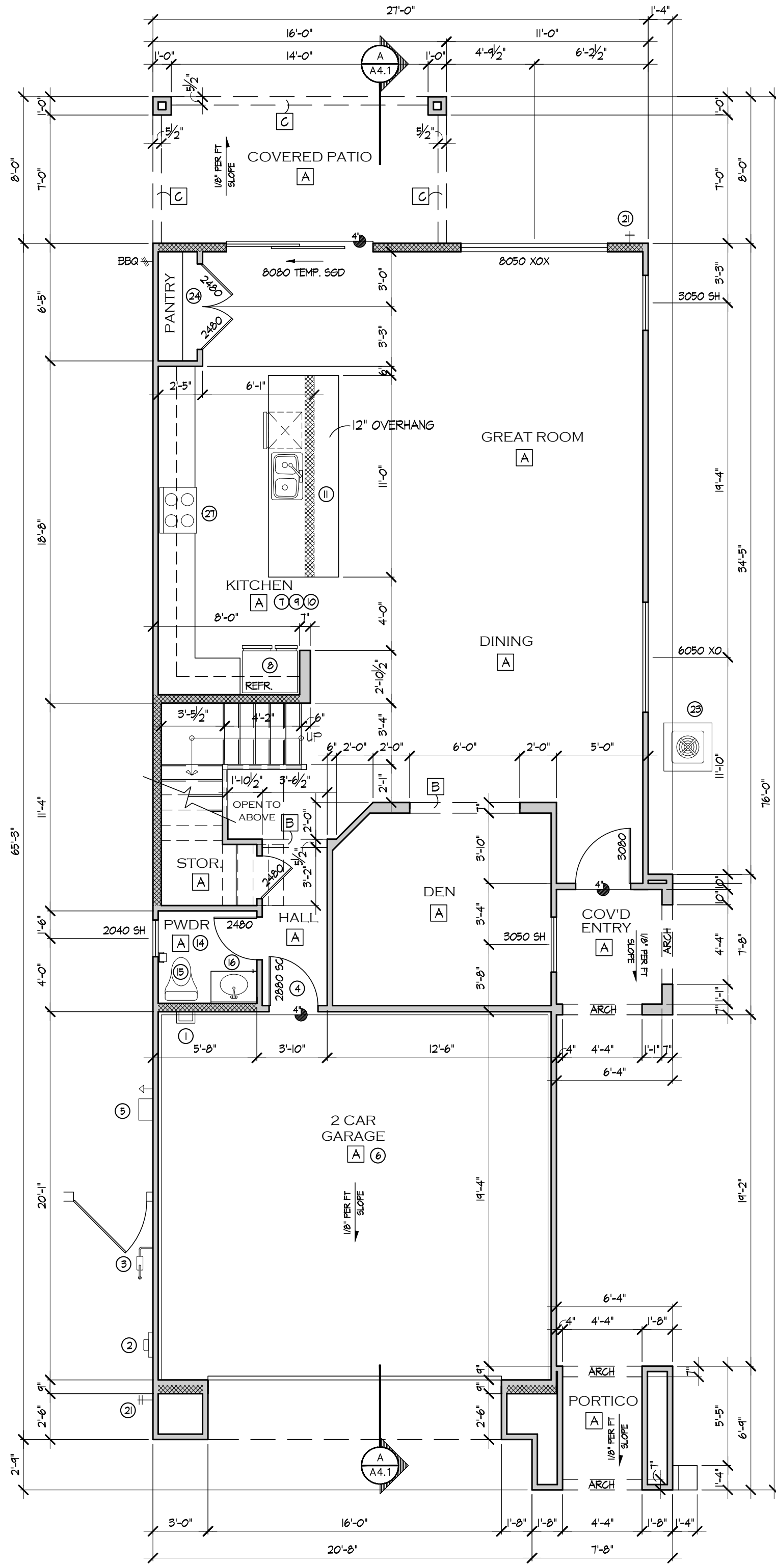
Architecture Plans

Plan 2725



2ND FLOOR PLAN ELEVATION 'A'

SCALE: 3/16" = 1'-0"



1ST FLOOR PLAN ELEVATION 'A'

SCALE: 3/16" = 1'-0"

CEILING HEIGHTS	
A	9'-0" CEILING
B	8'-6" SOFFIT
C	8'-0" SOFFIT
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
	2x6 WALL

GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
- B. CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
- C. VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
- D. ALL EGRESS WINDOWS SHALL MEET IRC MIN. EGRESS REQUIREMENTS PER SEC. 310.2.07 MIN. CLEAR WIDTH 24" MIN. CLEAR HEIGHT - 5.7 SQ. FT. MIN. AREA - MAX. SILL HEIGHT 44".
- E. PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
- F. EXTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
- G. 2x4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
- H. 2x4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
- I. UNBRACED & SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2x6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
- K. LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- L. ALL PLUMBING & MECHANICAL ROOF JACKS TO BE LOCATED ON REAR OF HOME & NOT SEEN FROM FRONT ELEVATION.
- M. ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
- N. SIMPSON H25 OR A35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
- P. PROVIDE ADEQUATE BRACING FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & FAMILY ROOM.
- Q. ALL PLATES (INTERIOR & EXTERIOR, LOAD BEARING & NON LOAD BEARING SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- R. PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- S. GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT T O.C.
- T. PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER IRC R313.
- U. WINDOWS TO BE INSTALLED PER MANUFACTURERS SPECS - SEALING AND FLASHING (IRC 609.1).
- V. DRAFT STOP IS REQUIRED AT CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS PER IRC SEC. R302.12.
- W. SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (IRC SEC. R302.12).
- X. GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER SEC. IRC R309.1.

FLOOR PLAN NOTES - 1

1. SOFT WATER LOOP.
2. 22"x35" PANEL BACKING FOR THE ELECTRICAL PANEL.
3. GAS METER LOCATION.
4. 3/4" SOLID CORE SELF-CLOSING SELF-LATCHING, 20 MINUTE RATED DOOR, TIGHT FITTING.
5. NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 1" CLEARANCE AT THE BOTTOM FROM ALL COMBUSTIBLES. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PROPER INSTALLATION AND PROPER VENTING GUIDELINES.
6. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GNB APPLIED TO THE GARAGE SIDE. GARAGE BENEATH LIVABLE SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT.
7. BASE CABINETS WITH TOP PER SPECIFICATIONS & 30" WALL MOUNT UPPER CABINETS.
8. REFRIGERATOR SPACE: PROVIDE 1/4" WATER LINE FOR ICE MAKER.
9. SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. VERTICAL CLEARANCE ABOVE COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
10. DEL. SINK W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
11. 2x6 PONY WALL TO 43 1/2".
12. MASTER BATH: BASE CABINETS WITH TOP PER SPECIFICATIONS. SLIDE-IN TUB/SHOWER COMBO. SHOWER HEAD AT 80" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY. SHOWER DOOR TO BE TEMPERED GLASS.
13. SECONDARY BATH: BASE CABINETS WITH TOP PER SPECIFICATIONS. FIBERGLASS TUB/SHOWER, NO MARBLE PANELS. SHOWER HEAD AT 80" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY.
14. POWDER: BASE CABINET SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST.
15. WATER CLOSET TO HAVE 15" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN).
16. TOWEL HOOK / TOWEL BAR.
17. CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC T02.4.2.
18. WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF. EXHAUST FAN (5 AIR CHANGES PER HOUR MIN) SHELF TOP AT 68 1/2". PROVIDE WATER AND WASTE FOR WASHER. CONTROL VALVES RECESSED IN WALL.
19. DRYER VENT NOT TO EXCEED THE LIMITS OF 2019 IRC SEC. M1502.4.5. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 2.5' FOR EACH 45° BEND & 5' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
20. NOT USED.
21. HOSE-BIB W/ BACKFLOW PREVENTER.
22. 22"x30" MIN. ATTIC ACCESS PER IRC SEC. R801. PROVIDE SWITCH, LIGHT, OUTLET PASSAGEWAY & PLATFORM PER IRC SEC. M1505.13. SEE STRUCTURAL FOR EXACT LOCATION & ACCESS IN GARAGE MUST ALSO BE 3/8" GNB SCREENED & GLUED TO 3/4" PLYWOOD.
23. AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1505.1.1.
24. PANTRY/LINEN: 5 FRAMED SHELVES.
25. CLOSET: PROVIDE 1 SHELF AND 1 ROD.
26. CLOSET: PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW.
27. A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
28. 1/2" GYP. BD. TYP. (PROVIDE W.R. GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, I/CB 02240).

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SUB-CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB & SHALL NOTIFY LENNAR OF ANY VARIATIONS FROM THE DIMENSIONS & CONDITIONS SHOWN BY THESE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. LENNAR SHALL NOT BE BOUND BY ANY VARIATIONS BROUGHT TO THE ATTENTION OF LENNAR PRIOR TO CONSTRUCTION.

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PHONE 480.476.8400 • FAX 480.476.8401 • www.lennar.com

PLAN 2725

WESTERN ENCLAVE 2

PHOENIX, ARIZONA

FLOOR PLANS 'A' SPANISH

Job No.:	--
Drawn By:	--
Checked By:	--
Scale:	AS NOTED
Date:	3/30/20

A1.1

Aster | Plan 2725 | Approx. 2,580-2,592 sq. ft.
4 Bedrooms | Den | 2.5 Baths | 2-Bay Garage



Elevation F | French Country



Elevation A | Spanish Colonial



Elevation C | Craftsman



EVERYTHING'S
INCLUDED®

LENNAR®

Aster | Plan 2725 | Approx. 2,580-2,592 sq. ft.
4 Bedrooms | Den | 2.5 Baths | 2-Bay Garage



**EVERYTHING'S
INCLUDED®**

4135 N. 93rd Lane | Phoenix, AZ 85037 | 800-864-1058 | Lennar.com

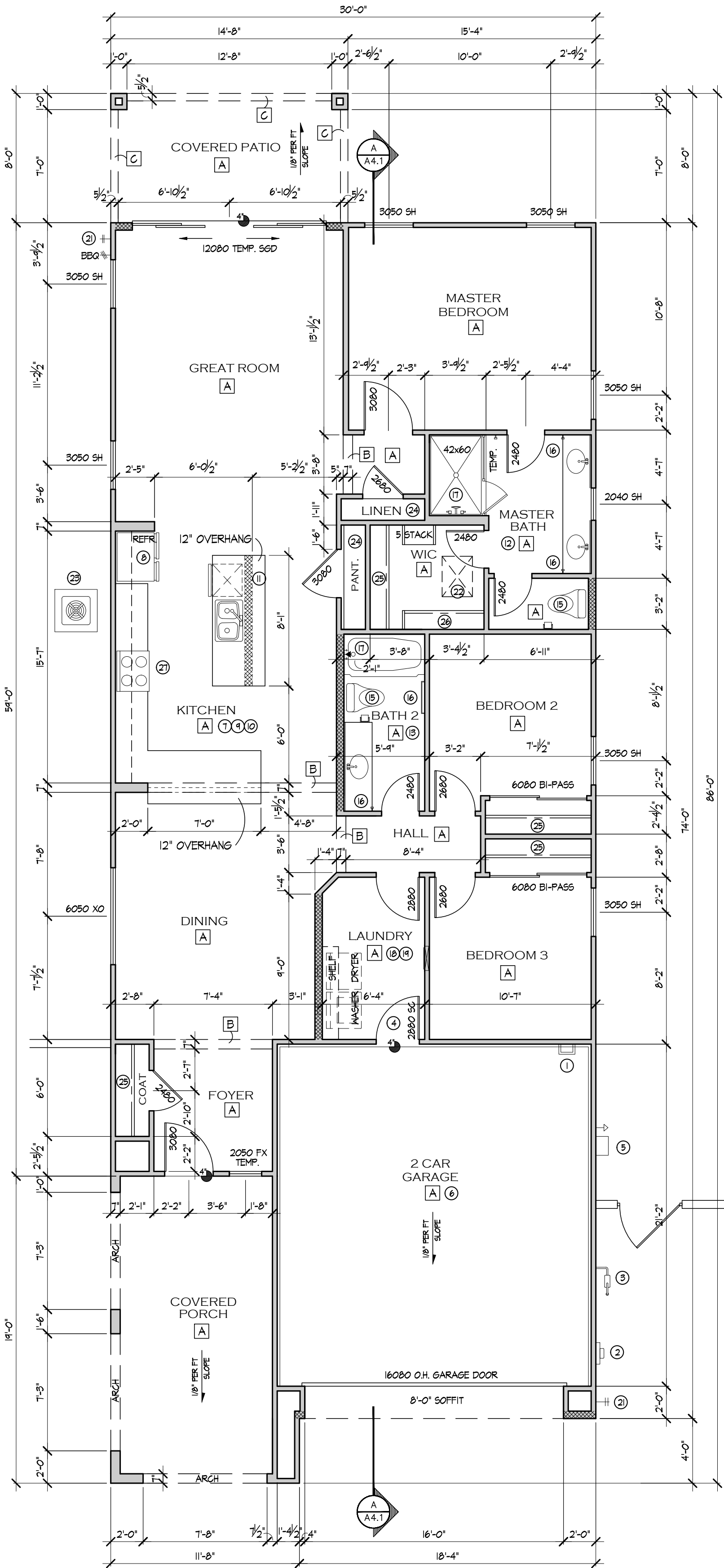
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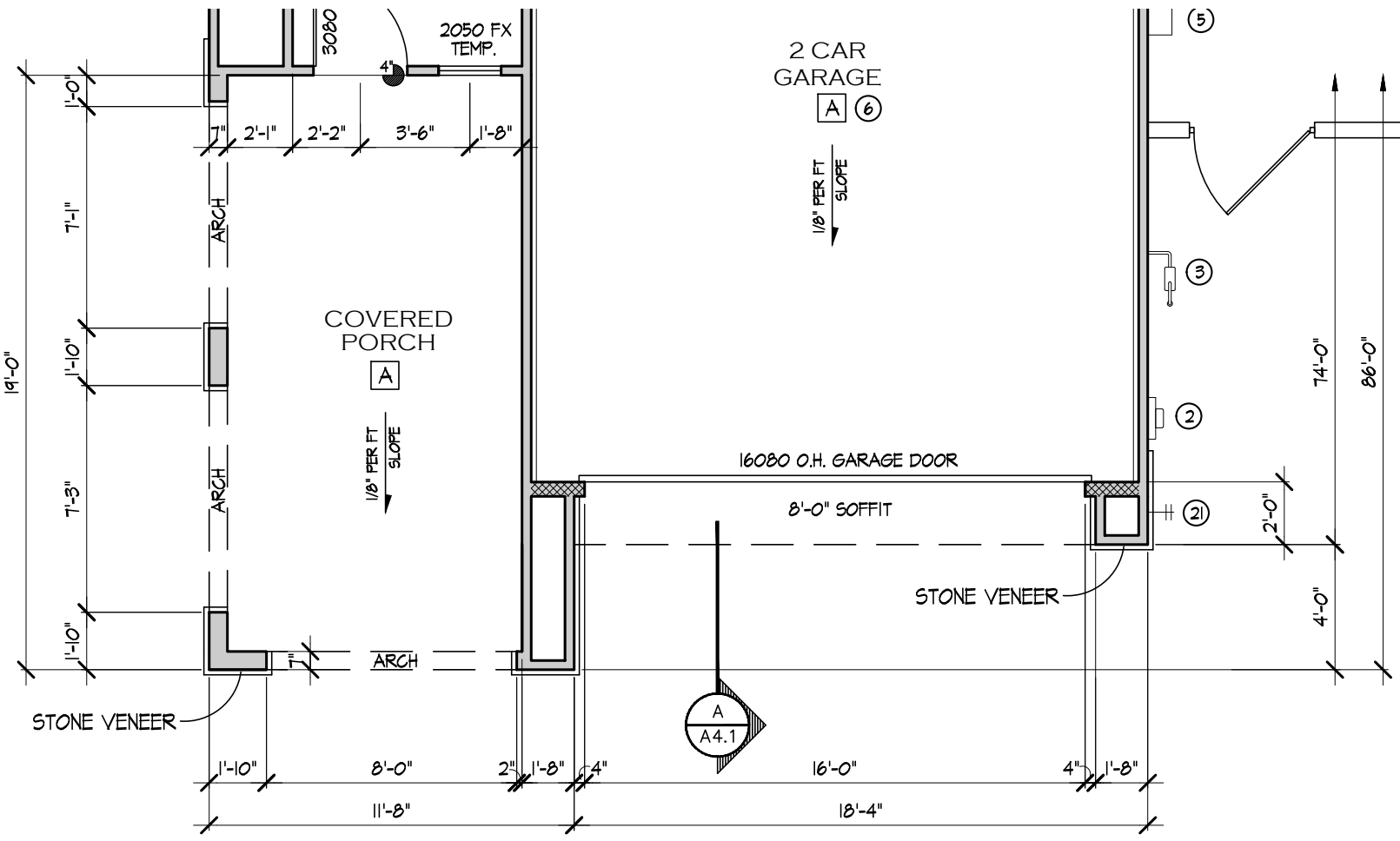
Architecture Plans

Plan 3016



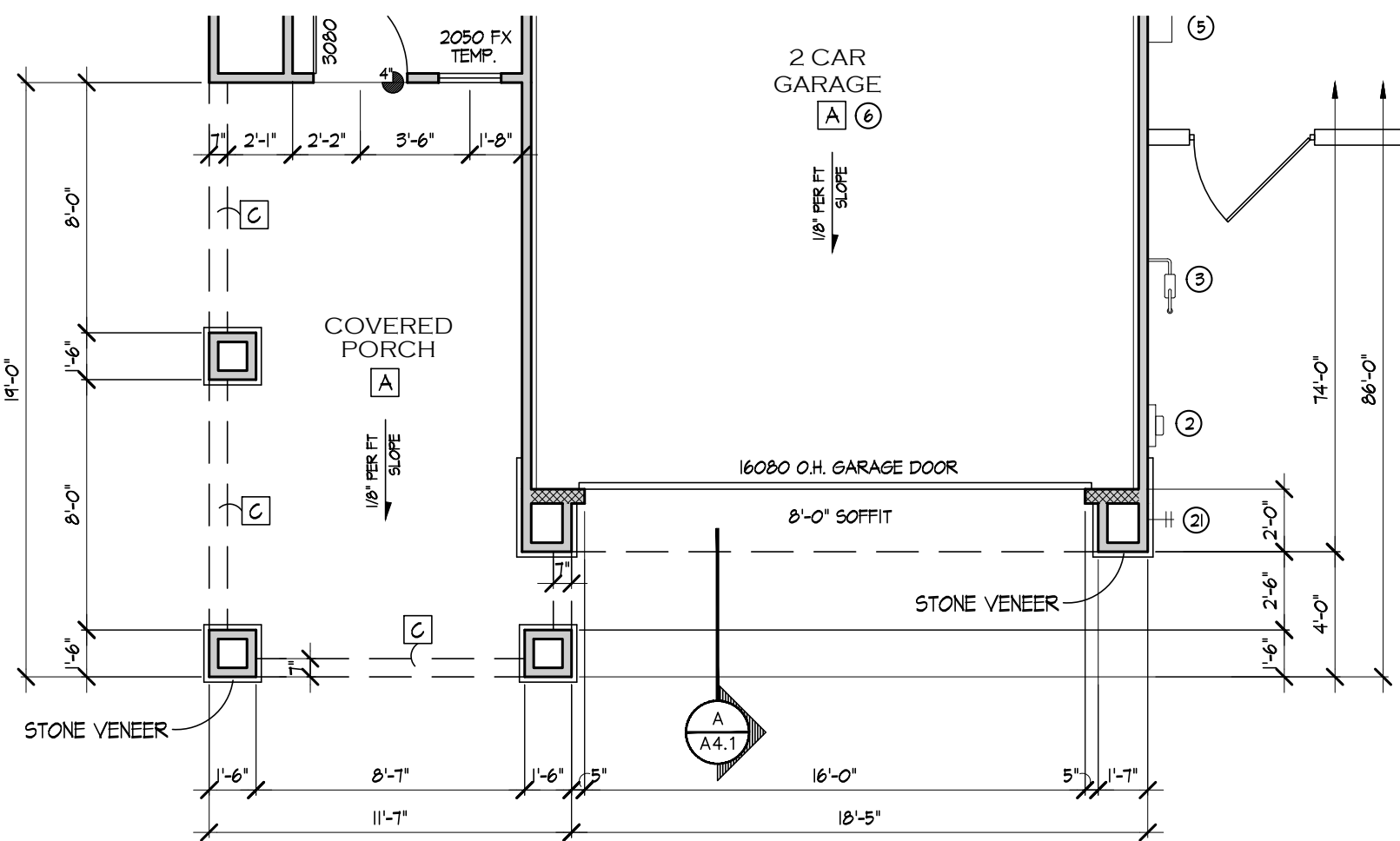
FLOOR PLAN ELEVATION 'A'

SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'F'

SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'C'

SCALE: 3/16" = 1'-0"

CEILING HEIGHTS	
A	9'-0" CEILING
B	8'-6" SOFFIT
C	8'-0" SOFFIT
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
	2x6 WALL

GENERAL NOTES

- DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
- CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
- VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
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- PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
- EXTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
- 2x4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
- 2x4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
- UNBRACED & SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2x6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
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- SIMPSON #25 OR #35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
- PROVIDE ADEQUATE BRACING FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & FAMILY ROOM.
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- PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 1" O.C.
- PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER IRC R313.
- WINDOWS TO BE INSTALLED PER MANUFACTURERS SPECS - SEALING AND FLASHING (IRC §601).
- DRAFT STOP IS REQUIRED AT CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS PER IRC SEC. R302.12.
- SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (IRC SEC. R302.12).
- GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER SEC. IRC R304.1.

FLOOR PLAN NOTES -

- SOFT WATER LOOP.
- 22"x35" PANEL BACKING FOR THE ELECTRICAL PANEL.
- GAS METER LOCATION.
- 3/4" SOLID CORE, SELF-CLOSING, SELF-LATCHING, 20 MINUTE RATED DOOR, TIGHT FITTING.
- NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 1'-0" CLEARANCE AT THE BOTTOM FROM ALL COMBUSTIBLES. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PROPER INSTALLATION AND PROPER VENTING GUIDELINES.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GNB APPLIED TO THE GARAGE BENEATH LIVING SPACE. LIVING SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE SEPARATION SHALL BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT.
- BASE CABINETS WITH TOP PER SPECIFICATIONS & 30" WALL MOUNT UPPER CABINETS.
- REFRIGERATOR SPACE: PROVIDE 1/2" WATER LINE FOR ICE MAKER.
- SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
- DEL. SINK W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
- 2x6 PONY WALL TO #34 1/2".
- MASTER BATH: BASE CABINETS WITH TOP PER SPECIFICATIONS. SLIDE-IN TUB/SHOWER COMBO. SHOWER HEAD AT 80" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY. SHOWER DOOR TO BE TEMPERED GLASS.
- SECONDARY BATH: BASE CABINETS WITH TOP PER SPECIFICATIONS. FIBERGLASS TUB/SHOWER, NO MARBLE PANELS. SHOWER HEAD AT 80" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY.
- POUNDER: BASE CABINET SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST.
- WATER CLOSET TO HAVE 15" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN).
- TOWEL HOOK / TOWEL BAR.
- CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC T02.4.2.
- WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF. EXHAUST FAN (5 AIR CHANGES PER HOUR MIN) SHELF TOP AT 68". PROVIDE WATER AND WASTE FOR WASHER. CONTROL VALVES RECESSED IN WALL.
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- NOT USED.
- HOSE-BIB W/ BACKFLOW PREVENTER.
- 22"x30" MIN. ATTIC ACCESS PER IRC SEC. R801. PROVIDE SWITCH LIGHTSWAY & PLATFORM PER IRC SEC. M1505.1.3. SEE STRUCTURAL FOR EXACT LOCATION. ATTIC ACCESS IN GARAGE MUST ALSO BE 3/4" GNB SCREWED & GLUED TO 3/4" PLYWOOD.
- AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1505.1.3.1.
- PANTRY/LINEN: 5 FRAMED SHELVES.
- CLOSET: PROVIDE 1 SHELF AND 1 ROD.
- CLOSET: PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW.
- A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
- 1" GYP. BD. TYP. (PROVIDE W.R. GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, ICB0 #2240).

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PLAN 3016
WESTERN ENCLAVE 2
PHOENIX, ARIZONA
FLOOR PLANS

Job No.:	--
Drawn By:	--
Checked By:	--
Scale:	AS NOTED
Date:	3/30/20

A1.1

Agave | Plan 3016 | Approx. 1,609 sq. ft.
3 Bedroom | 2 Baths | 2-Bay Garage



Elevation C | Craftsman



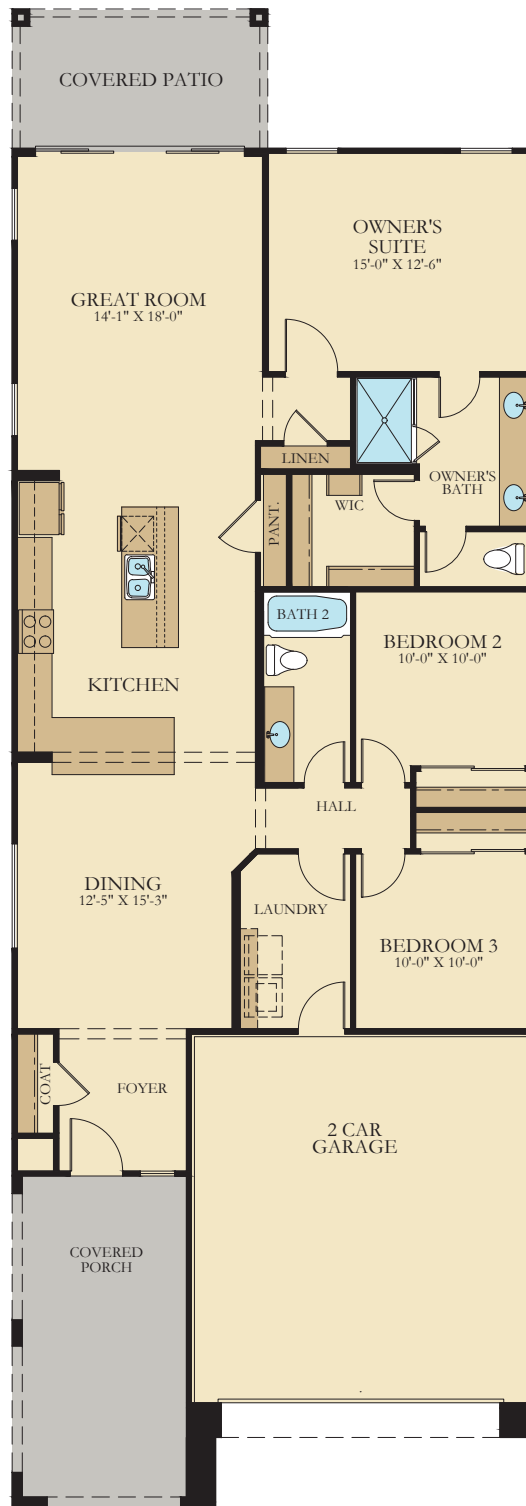
Elevation A | Spanish Colonial



Elevation F | French Country



Agave | Plan 3016 | Approx. 1,609 sq. ft.
3 Bedroom | 2 Baths | 2-Bay Garage



EVERYTHING'S
INCLUDED®

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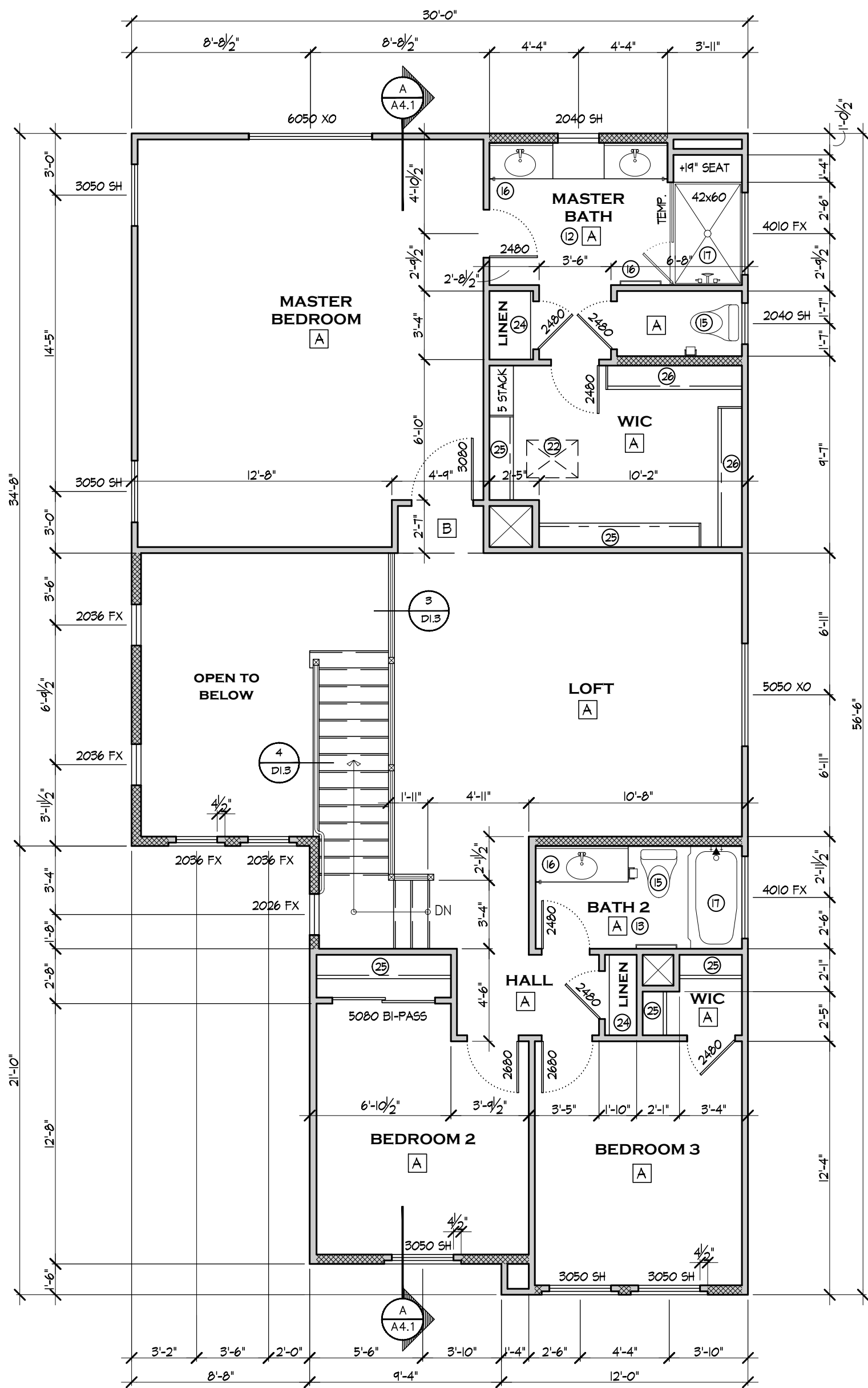
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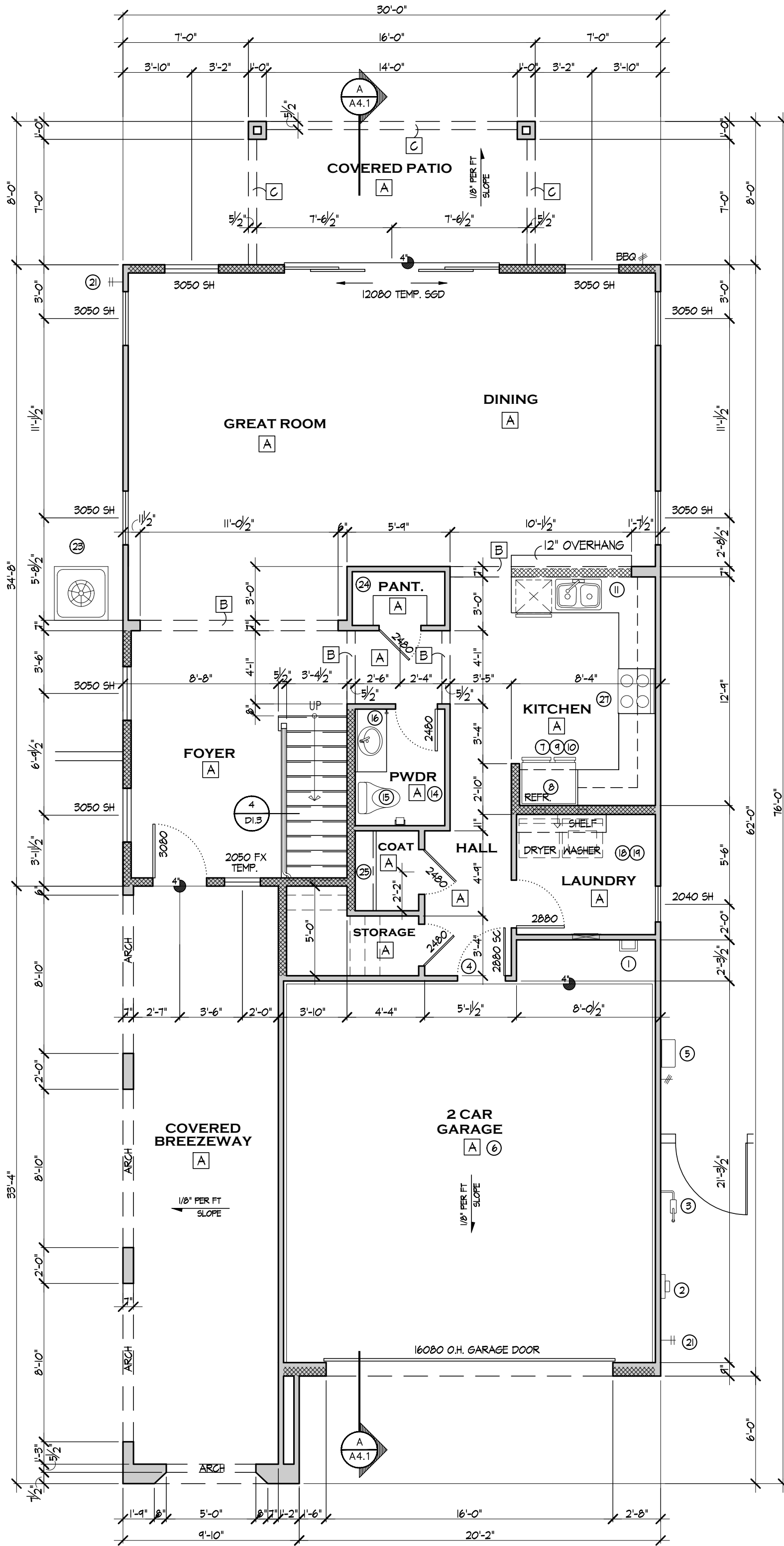


Architecture Plans

Plan 3070



2ND FLOOR PLAN ELEVATION 'A'
SCALE: 3/16" = 1'-0"



1ST FLOOR PLAN ELEVATION 'A'
SCALE: 3/16" = 1'-0"

CEILING HEIGHTS	
A	9'-0" CEILING
B	8'-6" SOFFIT
C	8'-0" SOFFIT
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
	2X6 WALL

GENERAL NOTES

- DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
- CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
- VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
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- PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
- EXTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
- 2x4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
- 2x4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
- UNRACED & SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2x6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
- LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- ALL PLUMBING & MECHANICAL ROOF JACKS TO BE LOCATED ON REAR OF HOME & NOT SEEN FROM FRONT ELEVATION.
- ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
- SIMPSON #25 OR #35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
- PROVIDE ADEQUATE BRACING FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & FAMILY ROOM.
- ALL PLATES (INTERIOR & EXTERIOR, LOAD BEARING & NON LOAD BEARING SHALL BE PRESURE TREATED OR FOUNDATION GRADE REDWOOD.
- PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 7" O.C.
- PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER IRC R313.
- WINDOWS TO BE INSTALLED PER MANUFACTURERS SPECS - SEALING AND FLASHING (IRC 609.1).
- DRAFT STOP IS REQUIRED AT CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS PER IRC SEC. R302.12.
- SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (IRC SEC. R302.12).
- GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER SEC. IRC R309.1.

FLOOR PLAN NOTES - 8

- SOFT WATER LOOP.
- 22"x35" PANEL BACKING FOR THE ELECTRICAL PANEL.
- GAS METER LOCATION.
- 3/4" SOLID CORE, SELF-CLOSING, SELF-LATCHING, 20 MINUTE RATED DOOR, TIGHT FITTING.
- NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 6" CLEARANCE AT THE TOP AND SIDES WITH 1/2" CLEARANCE AT THE BOTTOM FROM ALL COMBUSTIBLES. REFER TO MANUFACTURERS INSTRUCTIONS FOR PROPER INSTALLATION AND PROPER VENTING GUIDELINES.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GNB APPLIED TO THE GARAGE BENT. GARAGE BENEATH LIVABLE SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT.
- BASE CABINETS WITH TOP PER SPECIFICATIONS & 30" WALL MOUNT UPPER CABINETS.
- REFRIGERATOR SPACE: PROVIDE 1/2" WATER LINE FOR ICE MAKER.
- SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
- DEL. SINK W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
- 2x6 PONY WALL TO 43 1/2".
- MASTER BATH: BASE CABINETS WITH TOP PER SPECIFICATIONS. SLIDE-IN TUB/SHOWER COMBO. SHOWER HEAD AT 50" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY. SHOWER DOOR TO BE TEMPERED GLASS.
- SECONDARY BATH: BASE CABINETS WITH TOP PER SPECIFICATIONS. FIBERGLASS TUB/SHOWER, NO MARBLE PANELS. SHOWER HEAD AT 50" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY.
- POUNDER: BASE CABINET SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST.
- WATER CLOSET TO HAVE 15" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN.)
- TOWEL HOOK / TOWEL BAR.
- CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC T02.4.2.
- WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF. EXHAUST FAN (5 AIR CHANGES PER HOUR MIN.) SHELF TOP AT 68 3/4". PROVIDE WATER AND WASTE FOR WASHER. CONTROL VALVES RECESSED IN WALL.
- DRYER VENT NOT TO EXCEED THE LIMITS OF 2019 IRC SEC. M1502.4.5. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 2.5' FOR EACH 45° BEND & 5' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
- NOT USED.
- HOSE-BIB W/ BACKFLOW PREVENTER.
- 22"x30" MIN. ATTIC ACCESS PER IRC SEC. R801. PROVIDE SWITCH, LIGHT, & UTILITY PASSAGEWAY & PLATFORM PER IRC SEC. M1505.13. SEE STRUCTURAL FOR EXACT LOCATION. ATTIC ACCESS IN GARAGE MUST ALSO BE 3/8" GNB SCREENED & GLUED TO 3/4" PLYWOOD.
- AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1505.1.3.1.

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PLAN 3070
WESTERN ENCLAVE 2
PHOENIX, ARIZONA
FLOOR PLANS 'A' SPANISH

Job No.:	--
Drawn By:	--
Checked By:	--
Scale:	AS NOTED
Date:	3/30/20

A1.1

Primrose | Plan 3070 | Approx. 2,442 sq. ft.
3 Bedroom | Loft | 2.5 Baths | 2-Bay Garage



Elevation F | French Country



Elevation A | Spanish Colonial



Elevation C | Craftsman



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Primrose | Plan 3070 | Approx. 2,442 sq. ft.
3 Bedroom | Loft | 2.5 Baths | 2-Bay Garage



**EVERYTHING'S
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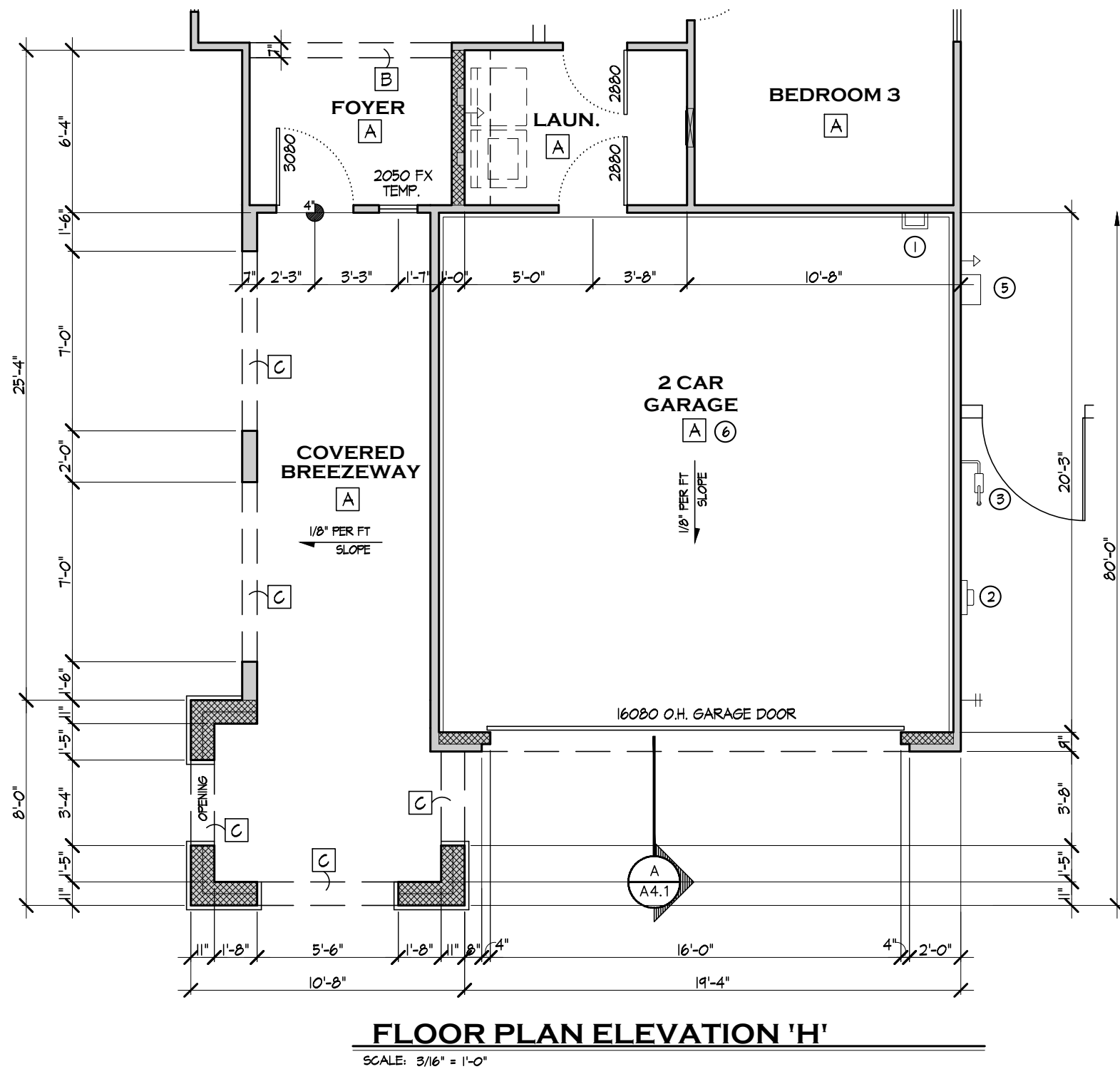
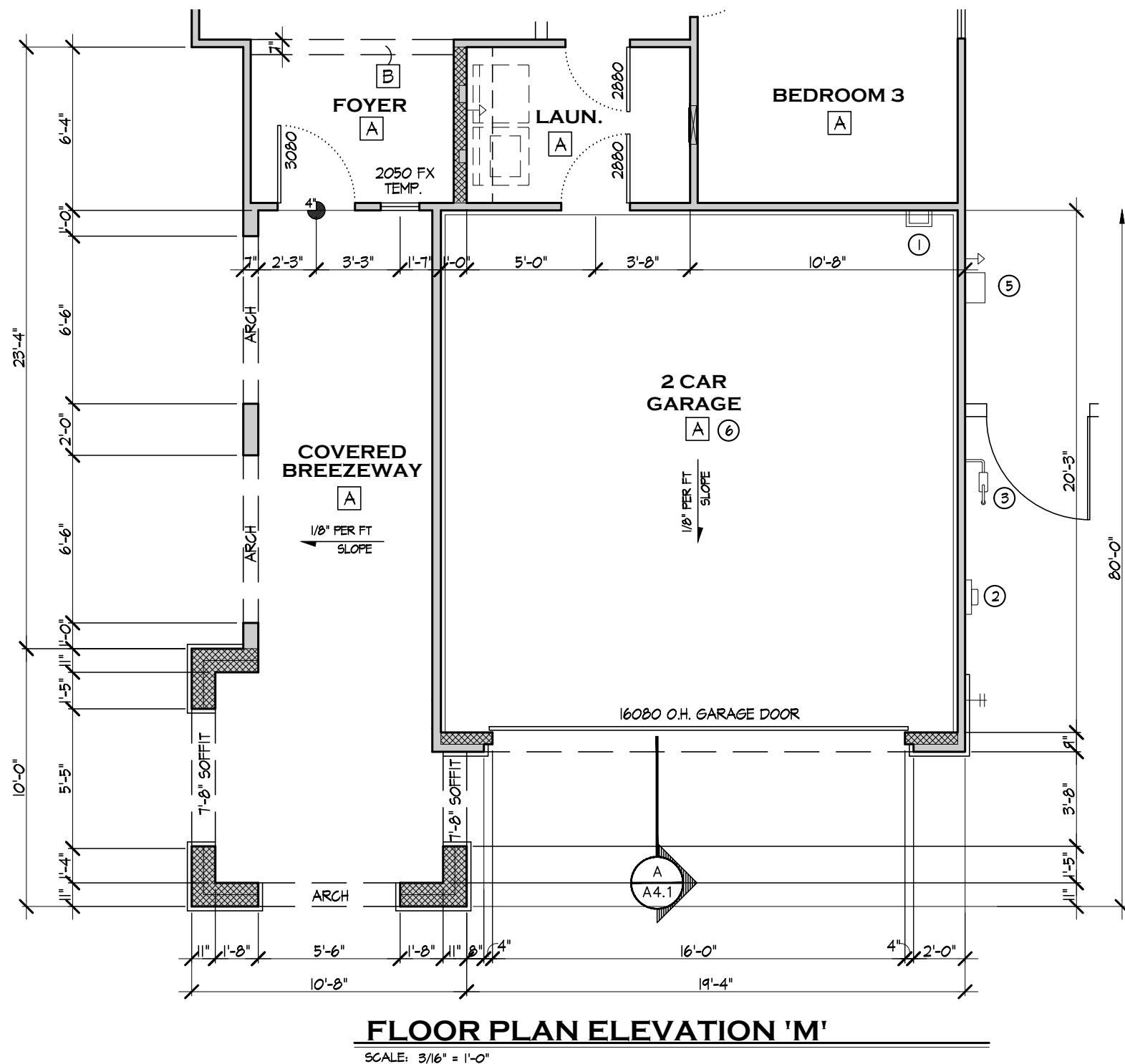
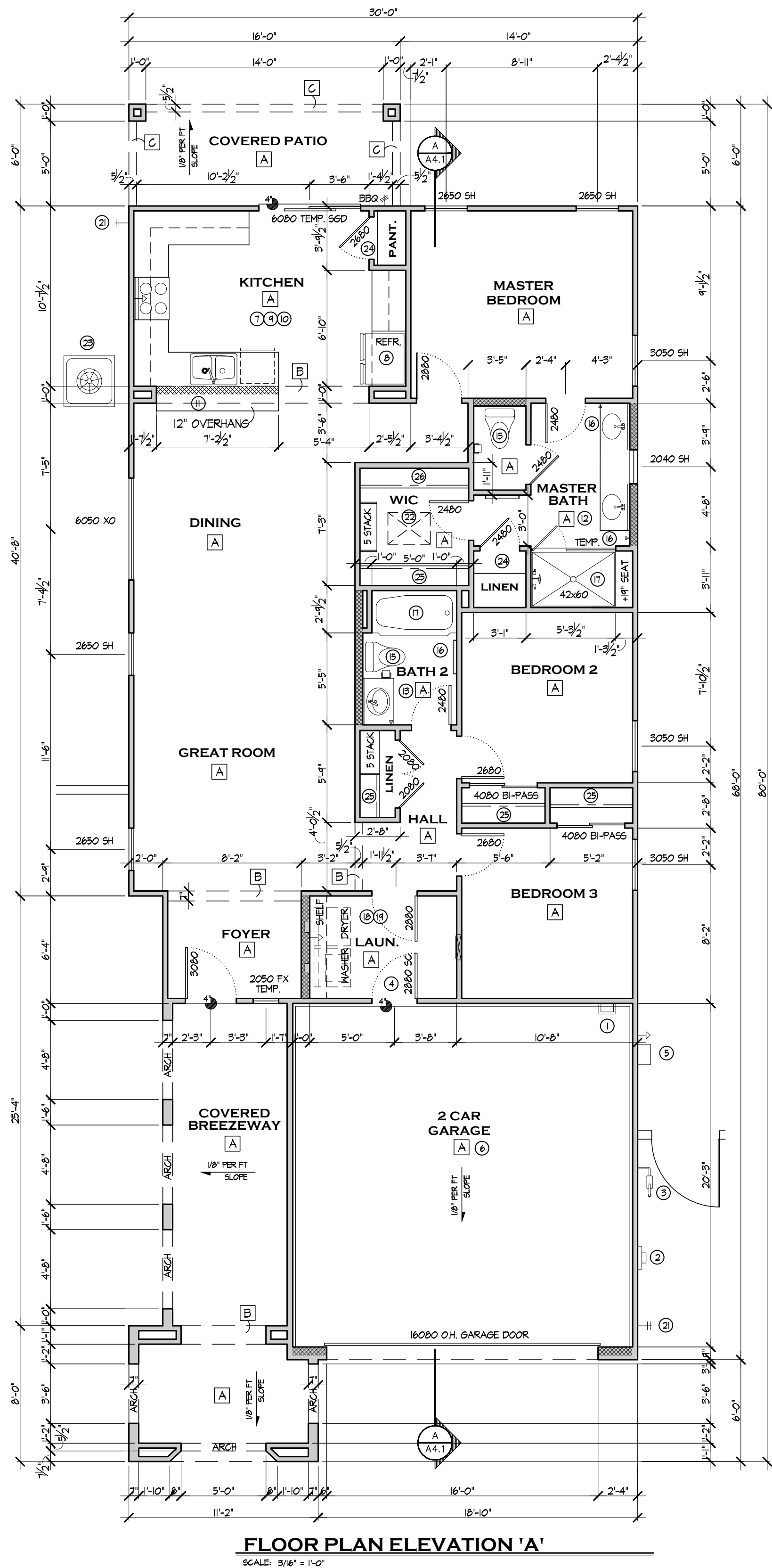
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Architecture Plans

Plan 3074



CEILING HEIGHTS	
A	9'-0" CEILING
B	8'-6" SOFFIT
C	8'-0" SOFFIT
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
	2X6 WALL

GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
- B. CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
- C. VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
- D. ALL EGRESS WINDOWS SHALL MEET IRC MIN. EGRESS REQUIREMENTS PER SEC. 310.2(2) MIN. CLEAR WIDTH 24" MIN. CLEAR HEIGHT - 5.7 SQ. FT. MIN. AREA - MAX. SILL HEIGHT 44".
- E. PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
- F. EXTERIOR WALLS TO BE 2X4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
- G. 2X4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
- H. 2X4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
- I. UNBRACED & SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2X6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
- J. LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- K. ALL PLUMBING & MECHANICAL ROOF JACKS TO BE LOCATED ON REAR OF HOME & NOT SEEN FROM FRONT ELEVATION.
- L. ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
- M. SIMPSON H23 OR A35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
- N. PROVIDE ADEQUATE BRACING FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & FAMILY ROOM.
- O. ALL PLATES (INTERIOR & EXTERIOR), LOAD BEARING & NON LOAD BEARING SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- P. PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- Q. GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 1" O.C.
- R. PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER IRC R313.
- S. WINDOWS TO BE INSTALLED PER MANUFACTURERS SPECS - SEALING AND FLASHING (IRC 609.1).
- T. DRAFT STOP IS REQUIRED AT CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS PER IRC SEC. R307.12.
- U. SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (IRC SEC. R307.12).
- V. GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER SEC IRC R309.1.

FLOOR PLAN NOTES - 1

1. SOFT WATER LOOP.
2. 22"x35" PANEL BACKING FOR THE ELECTRICAL PANEL.
3. GAS METER LOCATION.
4. 3/4" SOLID CORE SELF-CLOSING SELF-LATCHING, 20 MINUTE RATED DOOR, TIGHT FITTING.
5. NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 1" CLEARANCE AT THE BOTTOM FROM ALL COMBUSTIBLES. REFER TO MANUFACTURERS INSTRUCTIONS FOR PROPER INSTALLATION AND PROPER VENTING GUIDELINES.
6. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GNB APPLIED TO THE GARAGE SHUT. GARAGE BENEATH LIVING SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE FLOOR SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT.
7. BASE CABINETS WITH TOP PER SPECIFICATIONS & 30" WALL MOUNT UPPER CABINETS.
8. REFRIGERATOR SPACE: PROVIDE 1/2" WATER LINE FOR ICE MAKER.
9. SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
10. DEL. SINK W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
11. 2X6 PONY WALL TO 434 1/2".
12. MASTER BATH: BASE CABINETS WITH TOP PER SPECIFICATIONS. SLIDE-IN TUB/SHOWER COMBO. SHOWER HEAD AT 50" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY. SHOWER DOOR TO BE TEMPERED GLASS.
13. SECONDARY BATH: BASE CABINETS WITH TOP PER SPECIFICATIONS. FIBERGLASS TUB/SHOWER. NO MARBLE PANELS. SHOWER HEAD AT 50" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY.
14. POWDER: BASE CABINET SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST.
15. WATER CLOSET TO HAVE 15" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN.)
16. TONEL HOOK / TONEL BAR.
17. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC T02.4.2.
18. WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF. EXHAUST FAN (5 AIR CHANGES PER HOUR MIN.) SHELF TOP AT 68 3/4". PROVIDE WATER AND WASTE FOR WASHER. CONTROL VALVES RECESSED IN WALL.
19. DRYER VENT NOT TO EXCEED THE LIMITS OF 2019 IRC SEC. M1502.4.5. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 2.5' FOR EACH 45° BEND & 5' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
20. NOT USED.
21. HOSE-BIB W/ BACKFLOW PREVENTER.
22. 22"x30" MIN. ATTIC ACCESS PER IRC SEC. R801. PROVIDE SWITCH LIGHTSWAY & 1 PLATFORM PER IRC SEC. M1505.13. SEE STRUCTURAL FOR EXACT LOCATION. ATTIC ACCESS IN GARAGE MUST ALSO BE 3/4" GNB SCREENED & GLUED TO 3/4" PLYWOOD.
23. AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1505.1.3.1.
24. PANTRY/LINEN: 5 FRAMED SHELVES.
25. CLOSET: PROVIDE 1 SHELF AND 1 ROD.
26. CLOSET: PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW.
27. A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
28. 1/2" GYP. BD. TYP. (PROVIDE W.R. GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, ICB0 22240).

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PLAN 3074

WESTERN ENCLAVE 2

PHOENIX, ARIZONA

FLOOR PLANS

Job No.:	--
Drawn By:	--
Checked By:	--
Scale:	AS NOTED
Date:	3/30/20
A1.1	

Orchid | Plan 3074 | Approx. 1,397 sq. ft.
3 Bedroom | 2 Baths | 2-Bay Garage



Elevation M | Cottage



Elevation H | Ranch Hacienda



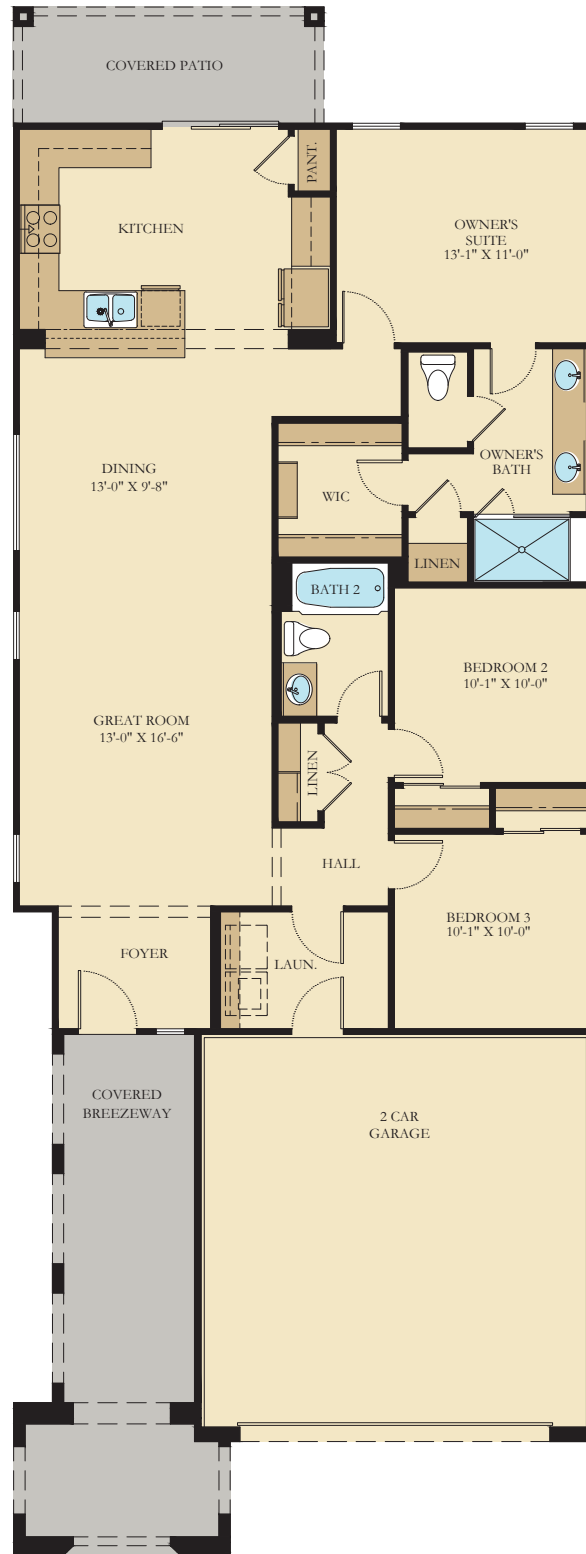
Elevation A | Spanish Colonial



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Orchid | Plan 3074 | Approx. 1,397 sq. ft.
3 Bedroom | 2 Baths | 2-Bay Garage



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Ironwood | Plan 3518 | Approx. 1,943 sq. ft.
4 Bedrooms | 3 Baths | 2-Bay Garage



Elevation I



Elevation C



Elevation A



EVERYTHING'S
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Ironwood | Plan 3518 | Approx. 1,943 sq. ft.
4 Bedrooms | 3 Baths | 2-Bay Garage



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Bisbee | Plan 3565 | Approx. 1,400 sq. ft.
3 Bedrooms | 2 Baths | 2-Bay Garage



Elevation M



Elevation A



Elevation H



Bisbee | Plan 3565 | Approx. 1,400 sq. ft.
3 Bedrooms | 2 Baths | 2-Bay Garage



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Barbaro | Plan 3570 | Approx. 1,800 sq. ft.
4 Bedrooms | 2 Baths | 2-Bay Garage



Elevation I



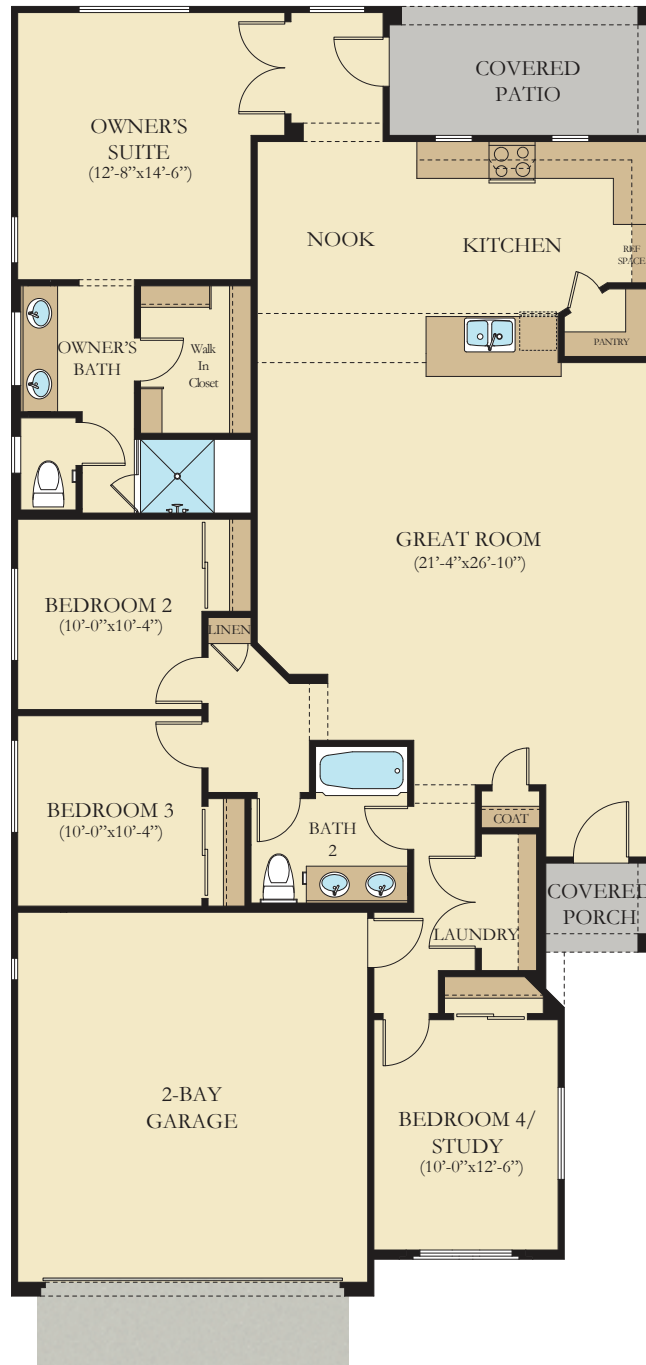
Elevation A



Elevation M



Barbaro | Plan 3570 | Approx. 1,800 sq. ft.
4 Bedrooms | 2 Baths | 2-Bay Garage



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Sage | Plan 4022 | Approx. 2,273 sq. ft.
4 Bedroom | 3 Bath | 2-Bay Garage



Elevation C



Elevation A



Elevation H



Sage | Plan 4022 | Approx. 2,273 sq. ft.
4 Bedroom | 3 Bath | 2-Bay Garage



FIRST FLOOR



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Revolution | Plan 4083 | Approx. 2,524 sq. ft.
4 Bedrooms | 3 Baths | 2-Bay Garage
Main Home 1,753 sq. ft. | Private Living Suite 771 sq. ft.



Elevation H | Ranch Hacienda



Elevation A | Spanish Colonial



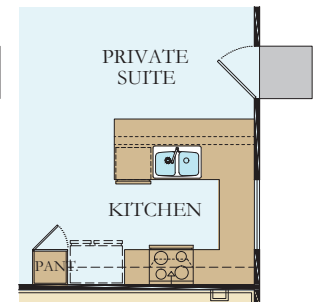
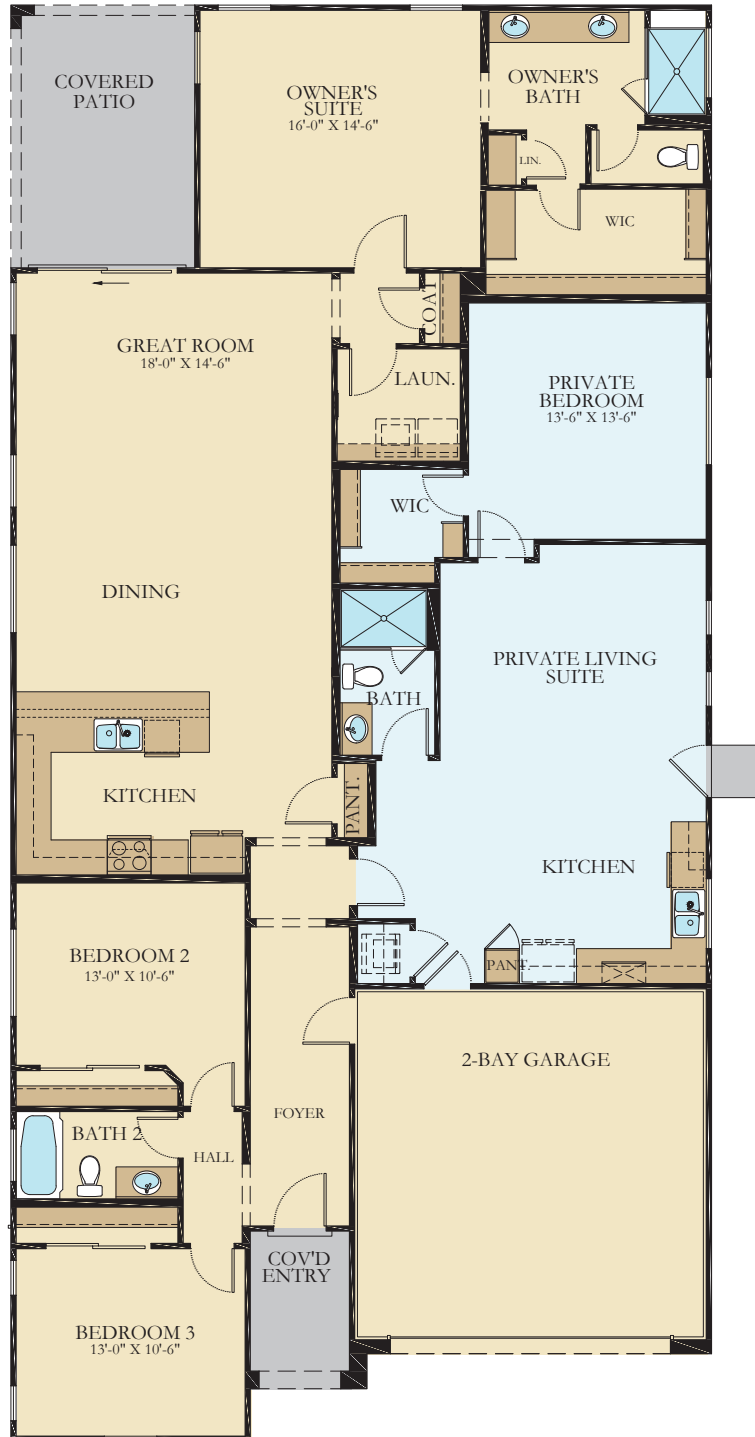
Elevation M | Cottage



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Revolution | Plan 4083 | Approx. 2,524 sq. ft.
4 Bedrooms | 3 Baths | 2-Bay Garage
Main Home 1,753 sq. ft. | Private Living Suite 771 sq. ft.



PLATINUM OPTION
PRIVATE SUITE KITCHEN

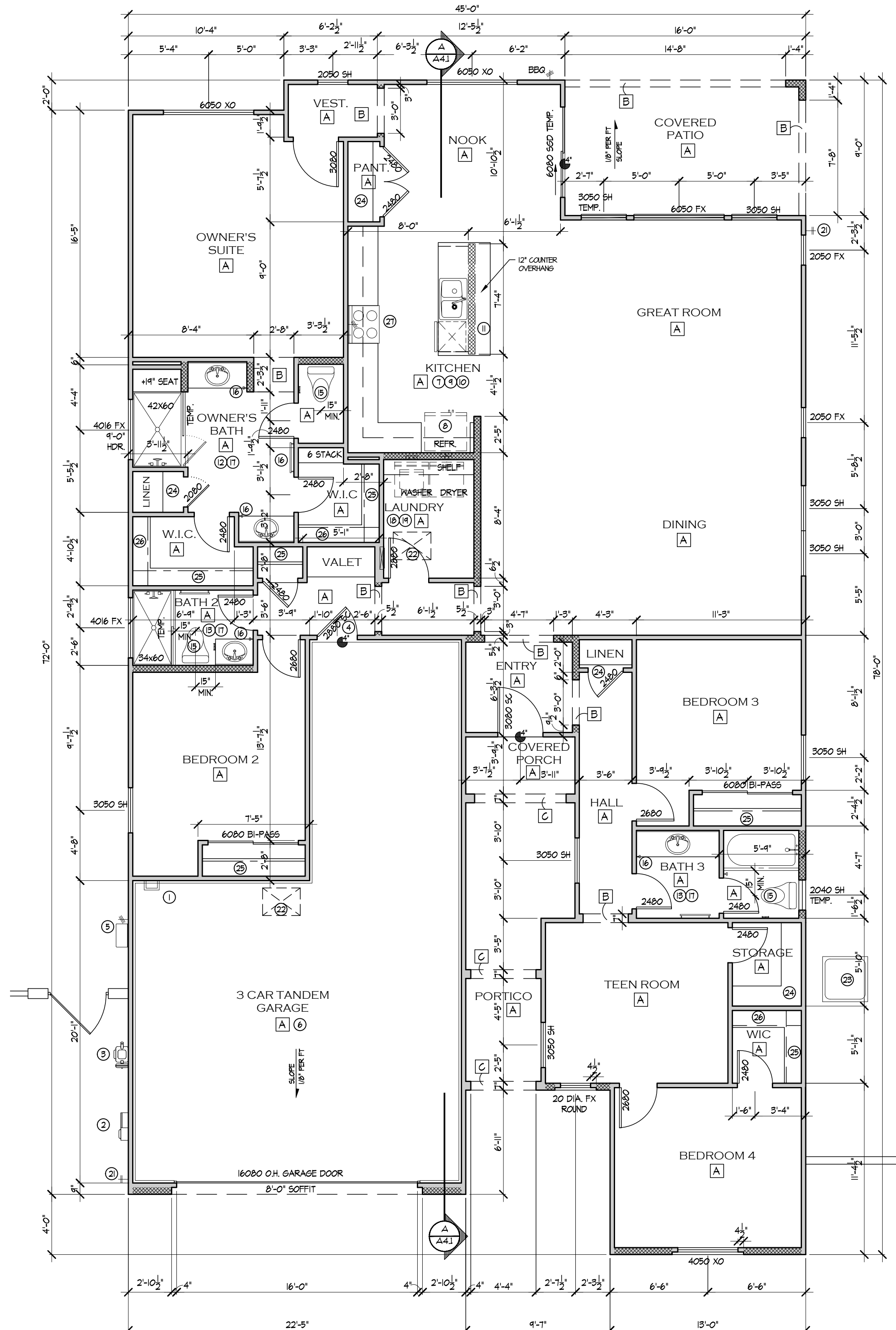


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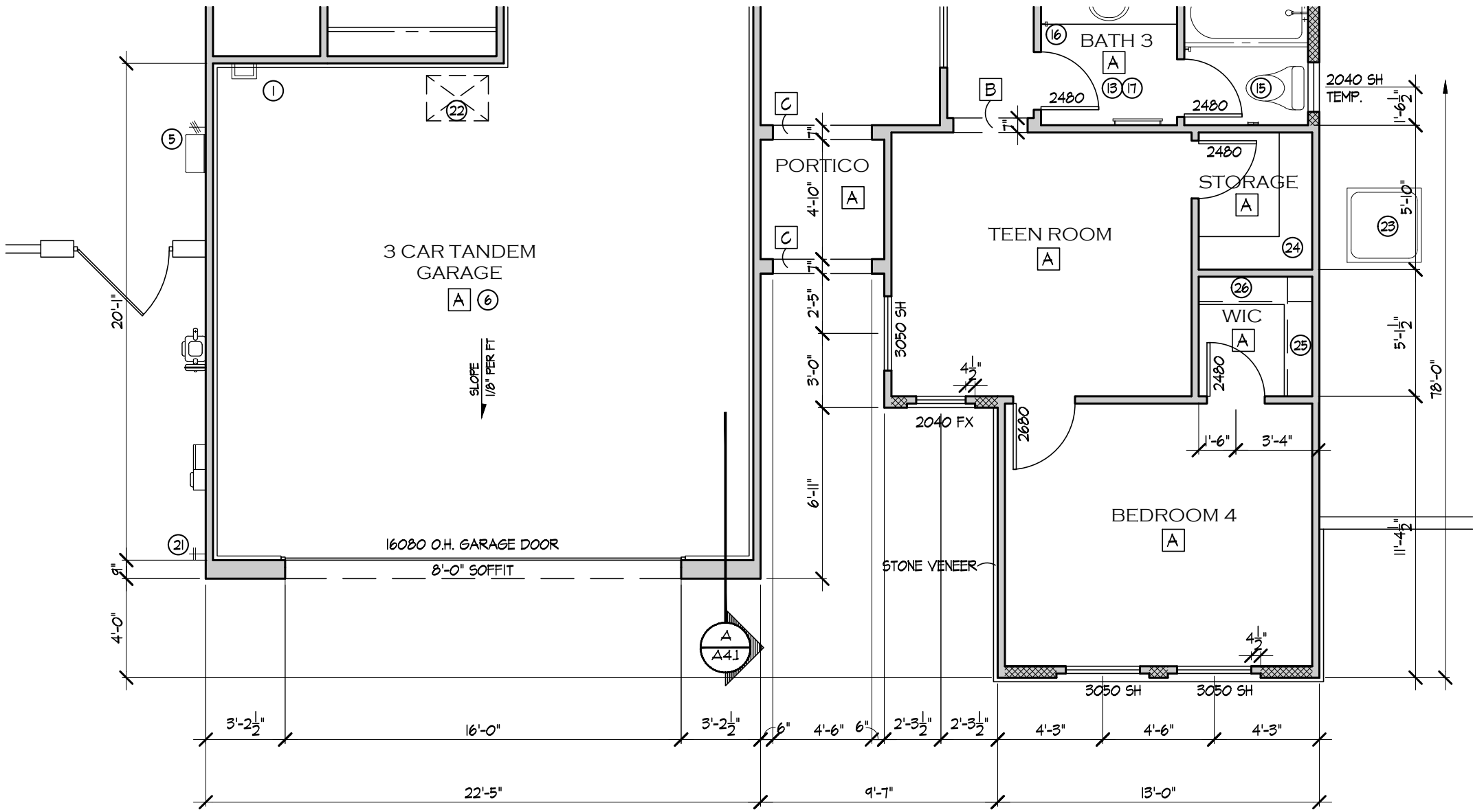
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Architecture Plans

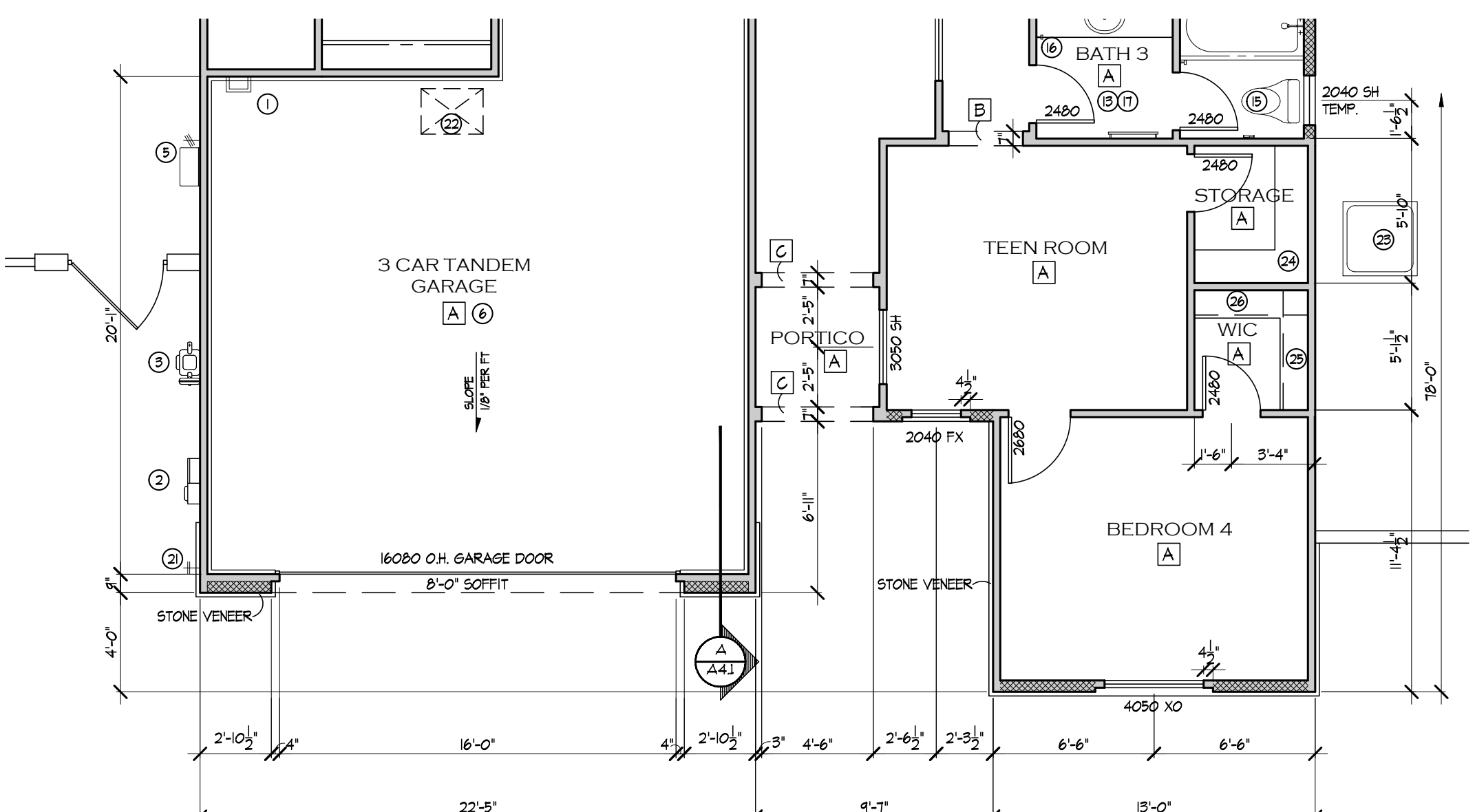
Plan 4578



FLOOR PLAN ELEVATION 'A'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'H'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'F'
SCALE: 3/16" = 1'-0"

CEILING HEIGHTS	
A	10'-0" CEILING
B	9'-0" SOFFIT
C	8'-6" SOFFIT
D	SEE ELEV. FOR SOFFIT HT.
MEASURED ABOVE FINISHED FLOOR	
LEGEND	
	2x6 WALL

GENERAL NOTES

- DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
- CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
- VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
- ALL EGRESS WINDOWS SHALL MEET 2018 IRC MIN. EGRESS REQUIREMENTS: 20" MIN. CLEAR WIDTH 24" MIN. CLEAR HEIGHT - 5.7 SQ. FT. MIN. AREA - MAX. SILL HEIGHT 44".
- PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
- EXTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
- 2x4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
- 2x4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
- UNRACED 4 SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2x6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
- LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- ALL PLUMBING & MECHANICAL ROOF JACKS TO BE LOCATED ON REAR OF HOME & NOT SEEN FROM FRONT ELEVATION.
- ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
- SMYTH #25 OR #35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
- PROVIDE ADEQUATE BRACINGS FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & FAMILY ROOM.
- ALL PLATES (INTERIOR & EXTERIOR), LOAD BEARING & NON LOAD BEARING SHALL BE PRESURE TREATED OR FOUNDATION GRADE REDWOOD.
- PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 1" O.C.
- PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER 2018 IRC.
- WINDOWS TO BE INSTALLED PER MANUFACTURERS SPECS - SEALING AND FLASHING.
- DRAFT STOP IS REQUIRED AT CONCEALED SPACE-LEAVES 10 FEET ON CENTER PER 2018 IRC.
- SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER 2018 IRC.

FLOOR PLAN NOTES

- SOFT WATER LOOP.
- 22"x35" PANEL BACKING FOR THE ELECTRICAL PANEL.
- GAS METER LOCATION. PROVIDE MIN. 36" SEPARATION BETWEEN GAS METER AND ELECTRICAL PANEL.
- 3" SOLID CORE SELF-CLOSING SELF-LATCHING, 20 MINUTE RATED DOOR, TIGHT FITTING.
- NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 6" CLEARANCE ON TOP AND SIDES WITH 12" CLEARANCE AT THE BOTTOM FROM ALL COMBUSTIBLES. REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION AND PROPER VENTING GUIDELINES.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GNB APPLIED TO THE GARAGE SIDE. GARAGE BENEATH LIVABLE SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT, WHERE THE SEPARATION IS NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT.
- BASE CABINETS WITH TOP PER OWNER & 30" WALL MOUNT UPPER CABINETS.
- REFRIGERATOR SPACE: PROVIDE 1/4" WATER LINE FOR ICE MAKER.
- SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. A VENT ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKINGS ON THE UNIT.
- DBL. SINK W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
- 2x6x34.5" HIGH WALL UNDER COUNTERTOP.
- OWNER'S BATH: BASE CABINETS W/ CULTURED MARBLE TOP, DECK MOUNT TUB, RECESSED TILE FLOOR IN SHOWER, SHOWER HEAD AT 80" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY. SHOWER DOOR TO BE TEMPERED GLASS.
- SECONDARY BATH: BASE CABINETS W/ CULTURED MARBLE TOP, FIBERGLASS TUB/SHOWER, NO MARBLE PANELS, SHOWER HEAD AT 80" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY.
- BOWEN: BASE CABINET SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST.
- WATER CLOSET TO HAVE 15" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN).
- TOWEL BAR / TOWEL HOOK.
- CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC 702.4.2.
- WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF EXHAUST FAN (5 AIR CHANGES PER HOUR MIN) SUELF TOP AT 603". PROVIDE WATER AND WASTE FOR WASHER. CONTROL VALVES RECESSED IN WALL.
- DRYER VENT NOT TO EXCEED THE LIMITS OF 2018 SEC. P2801.5. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 2.5' FOR EACH 45° BEND & 3' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
- SMOKE DETECTORS PERMANENTLY WIRED AND INTER-CONNECTED WITH BATTERY BACK-UP. MIN. 3" FROM DUCT OPENING. LOCATE IN REAR CENTER OF BEDROOMS AND MINIMUM ONE PER FLOOR. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. SEE ELECTRICAL SHEETS FOR LOCATIONS.
- HOSE-BIB W/ BACKFLOW PREVENTER.
- 22"x30" MIN. ATTIC ACCESS PER 2018 IRC SEC. R801. PROVIDE SWITCH LIGHT, OUTLET, PASSAGEWAY & PLATFORM PER IRC SEC. M1001.5. SEE STRUCTURAL FOR EXACT LOCATION. ATTIC ACCESS IN GARAGE MUST ALSO BE 1/4" GNB SCREENED & GULLED TO 3/4" PLYWOOD.
- AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1403.2.
- PANTRY/LINEN: 5 FRAMED SHELVES.
- CLOSET: PROVIDE 1 ROD AND 1 SHELF.
- CLOSET: PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW.
- A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKINGS ON THE UNIT.
- FURR-DOWN FROM TRUSSES 3 1/4" (STD. STUD DEPTH) TO ALLOW FOR J-BOX ANCHORAGE @ CENTER OF CIRCULAR TURRET.
- 3" GYP. BD. TYP. (PROVIDE W.R. GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, ICB0 #2240).

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4578 PLAN
ASHER POINTE
CHANDLER, ARIZONA
FLOOR PLANS

Job No.:	--
Drawn By:	--
Checked By:	--
Scale:	AS NOTED
Date:	7/24/20

A1.1

Aspen | Plan 4578 | Approx. 2,375 sq. ft.
4 Bedrooms | 3 Baths | Teen Room | 3-Bay Tandem Garage



Elevation F | French Country



Elevation A | Spanish Colonial



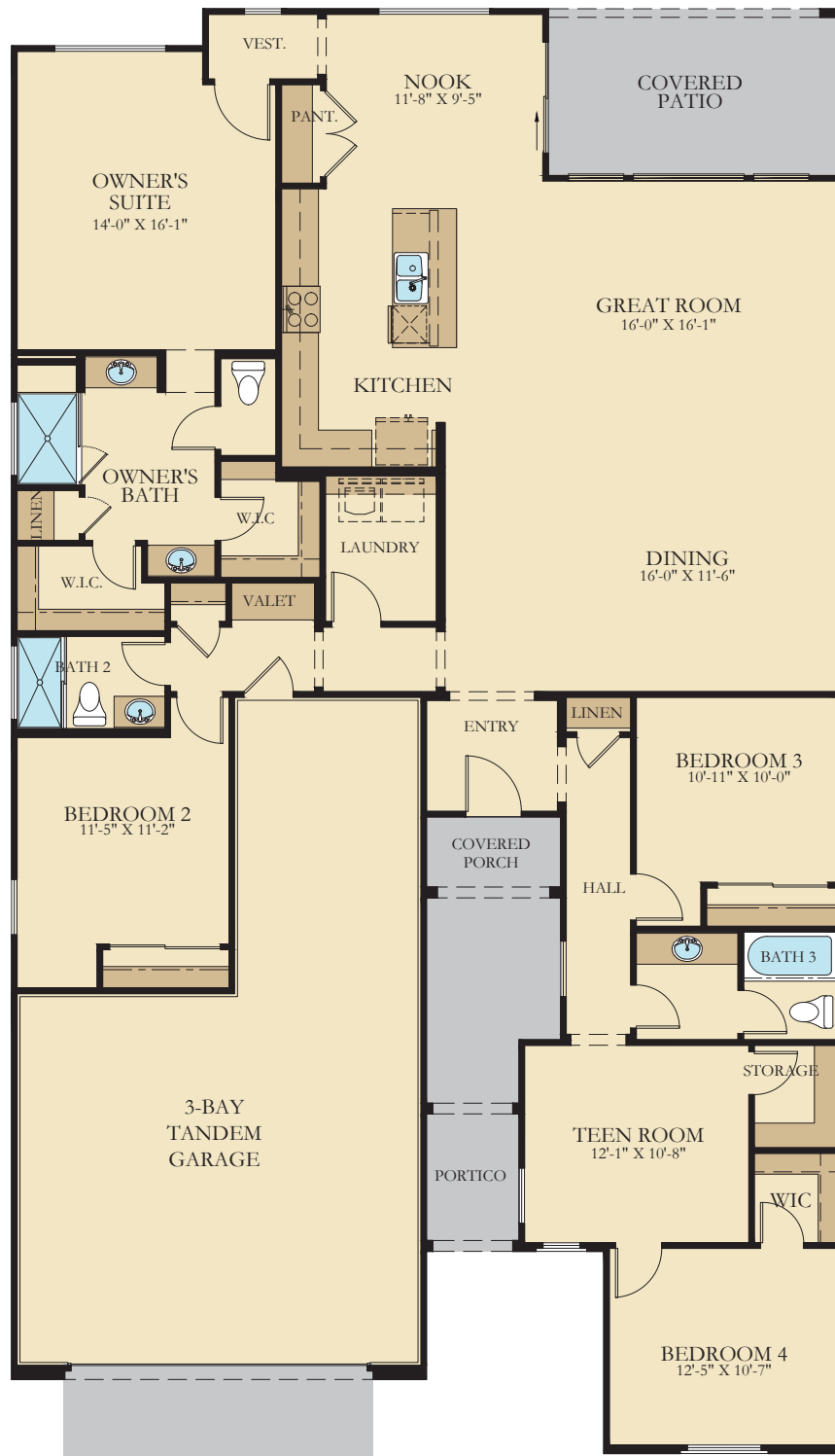
Elevation H | Ranch Hacienda



EVERYTHING'S
INCLUDED®

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Aspen | Plan 4578 | Approx. 2,375 sq. ft.
4 Bedrooms | 3 Baths | Teen Room | 3-Bay Tandem Garage



EVERYTHING'S
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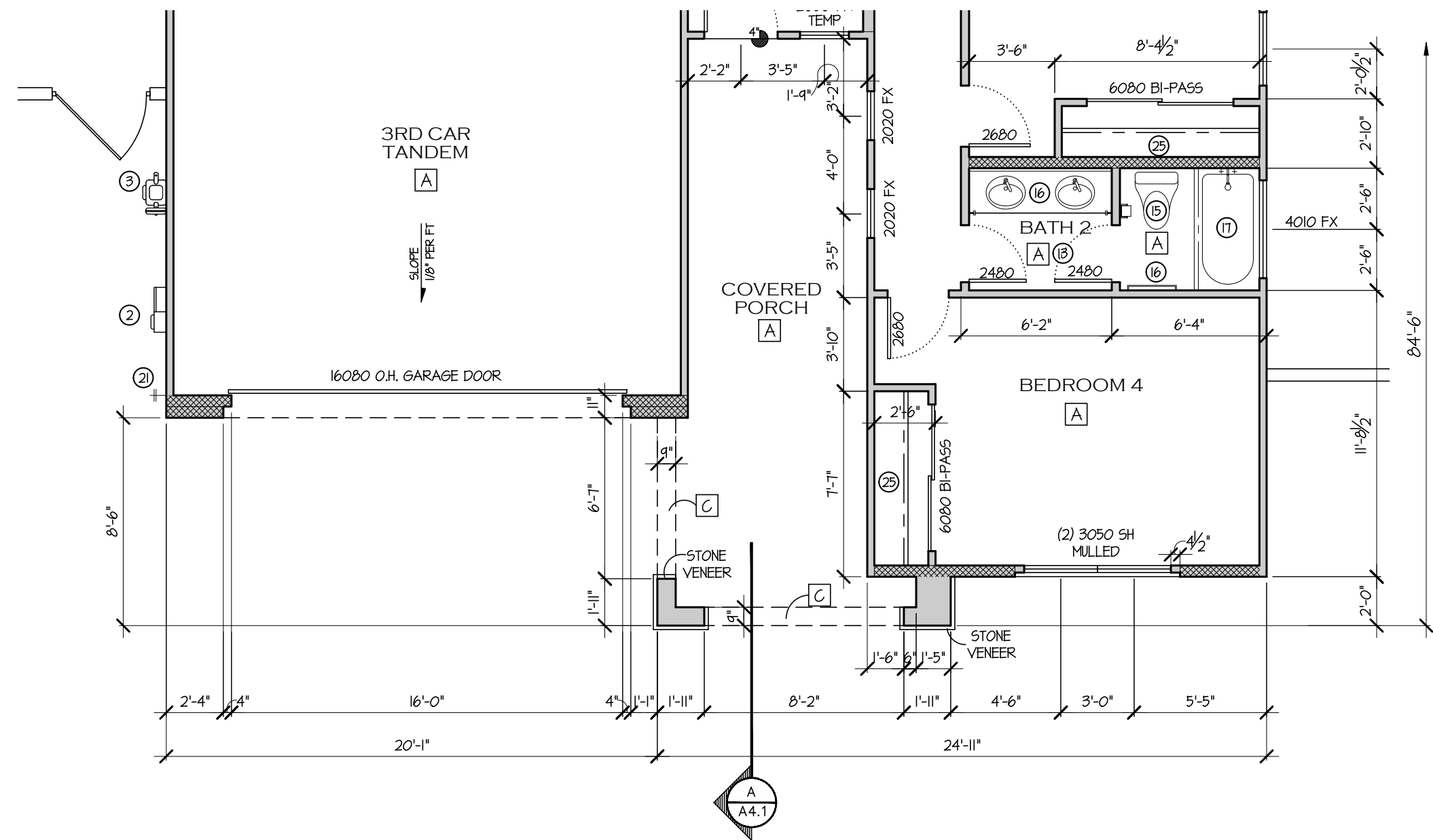
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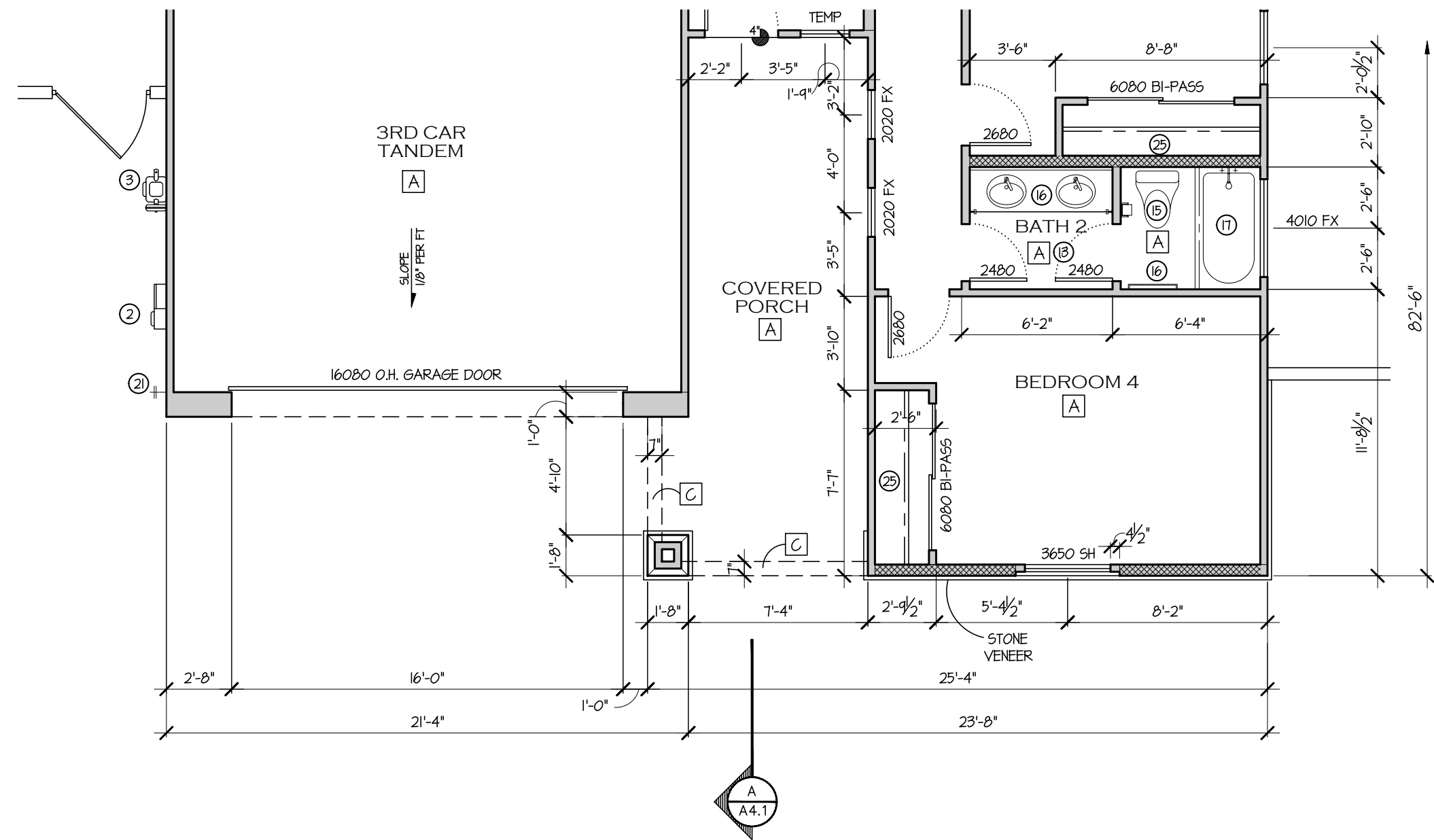


Architecture Plans

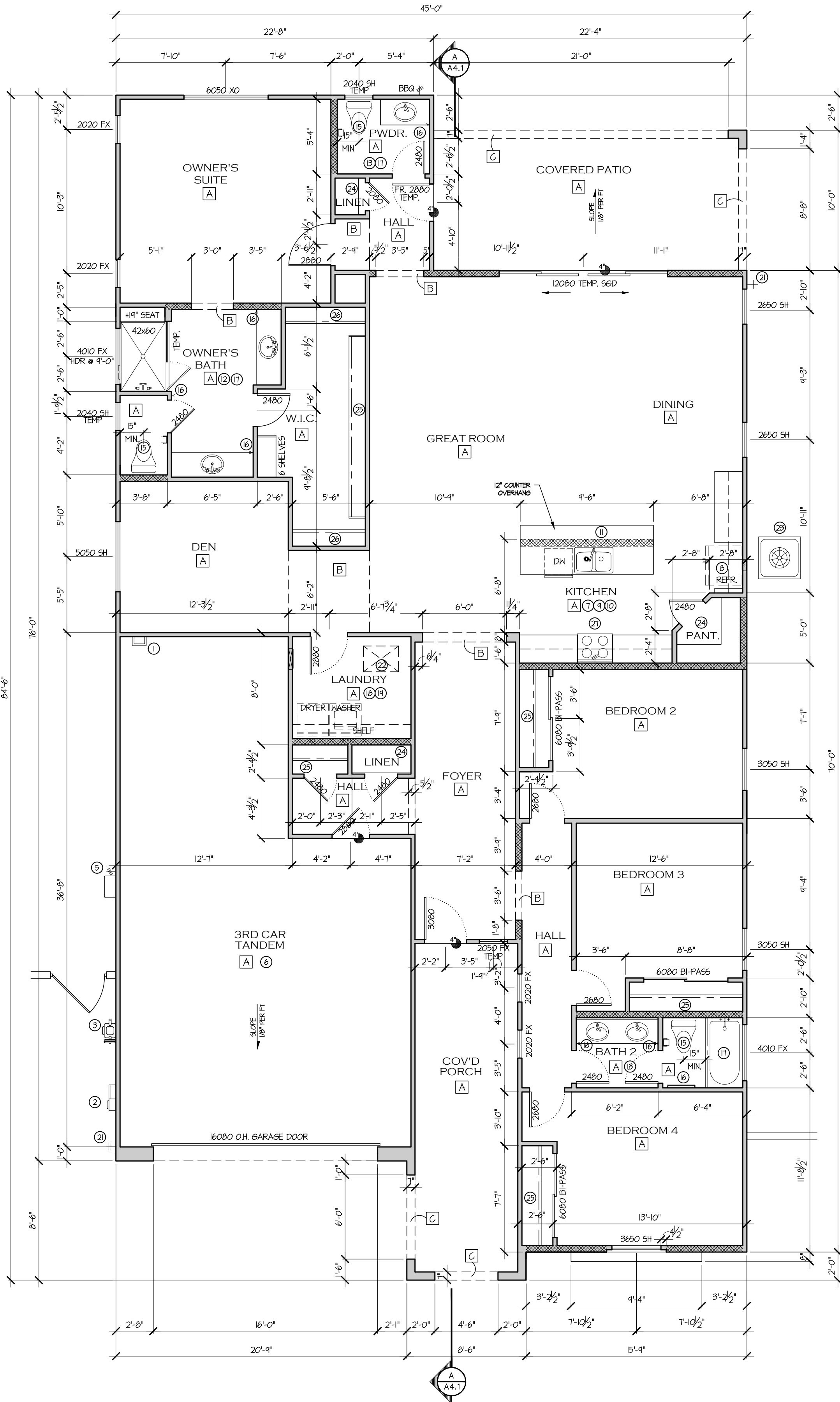
Plan 4584



FLOOR PLAN ELEVATION 'L'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'C'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'A'
SCALE: 3/16" = 1'-0"

CEILING HEIGHTS	
A	10'-0" CEILING
B	9'-0" SOFFIT
C	8'-6" SOFFIT
D	12'-0" CEILING
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
	2X6 WALL

GENERAL NOTES

- DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
- CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
- VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
- ALL EGRESS WINDOWS SHALL MEET 2018 IRC MIN. EGRESS REQUIREMENTS: 20" MIN. CLEAR WIDTH 24" MIN. CLEAR HEIGHT - 5.7 SQ. FT. MIN. AREA - MAX. BILL HEIGHT 44".
- PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
- EXTERIOR WALLS TO BE 2X4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
- 2X4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
- 2X4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
- UNRACED & SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2X6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
- LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- ALL PLUMBING & MECHANICAL ROOF JACKS TO BE LOCATED ON REAR OF HOME & NOT SEEN FROM FRONT ELEVATION.
- ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
- SIMPSON H25 OR A35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
- PROVIDE ADEQUATE BRACINGS FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & FAMILY ROOM.
- ALL PLATES (INTERIOR & EXTERIOR), LOAD BEARING & NON LOAD BEARING SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 1" O.C.
- PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER 2018 IRC.
- WINDOWS TO BE INSTALLED PER MANUFACTURER'S SPECS - SEALING AND FLASHING.
- DRAFT STOP IS REQUIRED AT CONCEALED SPACE-EAVES, 10 FEET ON CENTER PER 2018 IRC.
- SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER 2018 IRC.

FLOOR PLAN NOTES -

- SOFT WATER LOOP.
- 22"x39" PANEL BACKING FOR THE ELECTRICAL PANEL.
- GAS METER LOCATION.
- 1/2" SOLID CORE SELF-CLOSING, SELF-LATCHING, 20 MINUTE RATED DOOR TIGHT FITTING.
- NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 6" CLEARANCE ON TOP AND BOTTOM FROM ALL COMBUSTIBLES. REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION AND PROPER VENTING GUIDELINES.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GNB APPLIED TO THE GARAGE SIDE. GARAGE BENEATH LIVABLE SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GNB OR EQUIVALENT.
- BASE CABINETS WITH TOP PER OWNER & 30" HALL MOUNT UPPER CABINETS.
- REFRIGERATOR SPACE. PROVIDE 1/2" WATER LINE FOR ICE MAKER.
- SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
- DBL. SINK W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
- 2x6 PONY HALL TO 134 1/2".
- OWNER'S BATH. BASE CABINETS & COUNTERTOPS AND SHOWER SPECIFICATIONS PER STANDARD FEATURES LIST. SHOWER HEAD AND VANITY MIRROR HEIGHTS PER SPECIFICATIONS. SHOWER DOOR TO BE TEMPERED GLASS.
- SECONDARY BATH. BASE CABINETS & COUNTERTOPS AND SHOWER SPECIFICATIONS PER STANDARD FEATURES LIST. RIBBON GLASS TUB-SHOWER NO MARBLE PANELS. SHOWER HEAD AND VANITY MIRROR HEIGHTS PER SPECIFICATIONS.
- OWNER'S BATH. CABINET SINK. WALL MOUNTED MIRROR HEIGHT PER STANDARD FEATURES LIST.
- WATER CLOSET TO HAVE 18" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN).
- TOWEL BAR/ TOWEL HOOK.
- CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC 102.2.
- WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF EXHAUST FAN. SHELF TOP AT 68"; PROVIDE WATER AND WASTE FOR WASHER CONTROL VALVES RECESSED IN WALL.
- DRYER VENT NOT TO EXCEED THE LIMITS OF 2016 SEC. M502. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 1' FOR EACH 45° BEND & 1/2' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
- SMOKE DETECTORS PERMANENTLY WIRED AND INTER-CONNECTED WITH BATTERY BACK-UP. MIN. 5' FROM DUST OPENING LOCATE NEAR CENTER OF ALL BEDROOMS AND MINIMUM ONE PER FLOOR. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. SEE ELECTRICAL SHEETS FOR LOCATIONS.
- HOSE-BIB W/ BACKFLOW PREVENTER.
- 22"x30" MIN. ATTIC ACCESS PER 2018 IRC SEC. R801. PROVIDE SWITCH LIGHT. OUTLET RAINWATERWAY & PL. ATTORY PER IRC SEC. M1309.1.3 SEE STRUCTURAL FOR EXACT LOCATION. ATTIC ACCESS IN GARAGE MUST ALSO BE 1/2" GNB SCREWED / GLUED TO 1/2".
- AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M480.2.
- PANTRY/LINEN: 5 FRAMED SHELVES.
- CLOSET: PROVIDE 1 SHELF AND 1 ROD.
- CLOSET: PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW. SEE.
- A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
- 1/2" GYP. BD. TYP. (PROVIDE WR. GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, CBO #2242).

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ROC 225125

PLAN 4584
ASHER POINTE
CHANDLER, ARIZONA
FLOOR PLANS

Job No.:	--
Drawn By:	--
Checked By:	--
Scale:	AS NOTED
Date:	7/24/20

A1.1

Juniper | Plan 4584 | Approx. 2,468 sq. ft.
4 Bedrooms | Den | 2.5 Baths | 3-Bay Tandem Garage



Elevation C | Craftsman



Elevation A | Spanish Colonial



Elevation L | Desert Prairie



Juniper | Plan 4584 | Approx. 2,468 sq. ft.
4 Bedrooms | Den | 2.5 Baths | 3-Bay Tandem Garage



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Architecture Plans

Plan 4585



GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (N.O.)
- B. CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR AND WINDOWS.
- C. VERIFY ALL EXTERIOR DOOR AND WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
- D. ALL EXTERIOR WINDOWS SHALL MEET 2010 IRC MIN. EGRESS REQUIREMENTS PER 2010 IRC MIN. CLEARANCE 24" MIN. CLEAR HEIGHT 55 5/8" MIN. AREA - SILL HEIGHT OR NOT MORE THAN 44" MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING.
- E. PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
- F. EXTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. (N.O.) PROVIDE R-13 BATT INSULATION AT ALL EXTERIOR LIVING WALLS.
- G. 2x4 STUDS AT 16" O.C. INTERIOR BEARING WALLS FULL HEIGHT.
- H. 2x4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
- I. UNBRACED AND SHEAR WALLS ABOVE 10'-0" IN HEIGHT TO BE 2x6 STUDS AT 16" O.C. PROVIDE R-13 BATT INSULATION BETWEEN GARAGE AND MAIN SPACE.
- J. LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- K. ALL PLUMBING AND MECHANICAL ROOF JACKS TO BE LOCATED ON REAR OF HOME AND NOT SEEN FROM FRONT ELEVATION.
- L. ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
- M. SIMPSON LUGS OR ASD CONNECTORS ARE REQUIRED AT EVERY OTHER JOINT TOP AND BOTTOM.
- N. PROVIDE ADHESIVE BRACING FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM AND FAMILY ROOM.
- O. ALL PLATES (INTERIOR AND EXTERIOR, LOAD-BEARING AND NON-LOAD-BEARING) SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- P. PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- Q. GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 1' O.C.
- R. PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER 2010 IRC R313.
- S. WINDOWS TO BE INSTALLED PER MANUFACTURERS SPEC- SEALING AND FLASHING TO BE DONE BY THE MANUFACTURER.
- T. DRAFT STOP IS REQUIRED AT CONCEALED SPACE-RAVES, 10 FEET ON CENTER PER IRC SEC. R602.8.

FLOOR PLAN NOTES -

1. SOFT WATER LOOP.
2. 22"x35" PANEL BACKING FOR THE ELECTRICAL PANEL.
3. GAS METER LOCATION.
4. 1/8" SOLID CORE SELF-CLOSING SELF-LATCHING, 20 MINUTE RATED DOOR, TIGHT FITTING.
5. NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR WALL, MIN. 1" CLEARANCE ON TOP AND SIDES WITH 12" CLEARANCE AT THE BOTTOM FROM ALL WALLS. SEE RELEVANT MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION AND PROPER VENTING GUIDELINES.
6. THE GARAGE SHALL BE SEPARATED FROM THE ADJACENT AREAS BY A 12' MIN. HIGH 1/2" GSB APPLIED TO THE GARAGE SIDE. GARAGE BENEATH HABITABLE ROOMS ABOVE BY NOT LESS THAN 3" TYPE 'X' GSB OR EQUIVALENT. WHERE THE SEPARATION IS A 12' MIN. HIGH 1/2" GSB, THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" MIN. THICK Gypsum Board.

- | | | |
|---------|-----|--|
| KITCHEN | 7. | BASE CABINETS WITH TOP PER OWNER & 30" WALL MOUNT UPPER CABINETS. |
| | 8. | REFRIGERATOR SPACE: PROVIDE 1/4" WATER LINE FOR ICE MAKER. |
| | 9. | SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNOBSTRUCTED SPACE TO FREESTAND AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT. |
| | 10. | DBL. SINK W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP. |
| | 11. | 24x34 1/2" HIGH WALL UNDER COUPTOP. |
| | | |

- | | | |
|------|-----|---|
| BATH | 12. | MASTER BATH, BASE CABINETS w/ CULTURED MARBLE TOP, DECK MOUNT TUB, RECESSED TILE FLOOR IN SHOWER. SHOWER HEAD AT 80" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY. SHOWER DOOR TO BE TEMPERED GLASS. SEE DETAIL 14/D-2. |
| | 13. | SECONDARY BATH, BASE CABINETS w/ CULTURED MARBLE TOP, DECK MOUNT TUB, RECESSED TILE FLOOR IN SHOWER. SHOWER HEAD AT 80" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY. |
| | 14. | POUNDER, PEDestal SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST. |
| | 15. | WATER CLOSET TO HAVE 18" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN & AIR CHANGES PER HOUR MIN. |
| | 16. | TOWEL BAR / TOWEL HOOK. |
| | | |

18. WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF EXHAUST FAN (5 AIR CHANGES PER HOUR MIN.) SHELFF TOP AT 68%. PROVIDE WATER AND WASTE FOR WASHER CONTROL VALVES RECESSED IN WALL

14. DRYER VENT NOT TO EXCEED THE LIMITS OF 2018 SEC P2208.15, THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE EXTERIOR TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 25' FOR EACH 45° BEND & 5' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
20. SMOKE DETECTORS PERMANENTLY WIRED AND INTER-CONNECTED WITH BATTERY BACK-UP, MIN. 3' FROM DUCT OPENING. LOCATE NEAR CENTER OF ALL BEDROOMS AND MINIMUM ONE IN EACH BATH. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS, SEE ELECTRICAL SCHEDULES FOR LOCATIONS.
21. HOSE-BIB W/ BACKFLOW PREVENTER.

22. 22"x30" MIN. ATTIC ACCESS PER 2018 IRC SEC. R807, PROVIDE SWITCH, LIGHT, OUTLET, PASSAGEWAY & PLATFORM PER IRC SEC. M1003.1.3. SEE STRUCTURAL FOR DETAILS. GASKETING SHALL BE 1/2" MIN. THICK. ALSO BE 3/8" GNS SCREENED & GULLED TO 3/4" PLYWOOD. SEE DETAIL 5/D-2. ATTIC ACCESS POINTS IN CONDITIONED SPACES REQUIRE INSULATION EQUAL TO SURROUNDING AREAS AND WEATHERSTRIP/GASKET SEALS PER N102.2.4.
23. AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT. EQUIPMENT SHALL BE 12" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1403.2.

- | | |
|-----|--|
| 24. | PANTRY/LINEN: 6 FRAMED SHELVES.
65" CLOSET; TOP OF SHELF AT 68 3/4" A.F.F. TOP OF ROD AT 65" A.F.F. |
| 26. | CLOSET; PROVIDE 2 SHELVES 4 2 RODS, 1 HIGH AND 1 LOW. |
| 27. | A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT. |

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4585 PLAN
WESTERN ENCLAVE 2
PHOENIX, ARIZONA

FLOOR PLANS 'A' (SPANISH)

Job No.:	--
Drawn By:	--
Checked By:	--
Scale:	AS NOTED
Date:	12/20/18

A1.1

Trillium | Plan 4585 | Approx. 2,649 sq. ft.
4 Bedrooms | 3 Baths | 3-Bay Garage
Main Home 1,967 sq. ft. | Private Living Suite 682 sq. ft.



Elevation H | Ranch Hacienda



Elevation A | Spanish Colonial



Elevation C | Craftsman



EVERYTHING'S
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Trillium | Plan 4585 | Approx. 2,649 sq. ft.
 4 Bedrooms | 3 Baths | 3-Bay Garage
 Main Home 1,967 sq. ft. | Private Living Suite 682 sq. ft.



EVERYTHING'S
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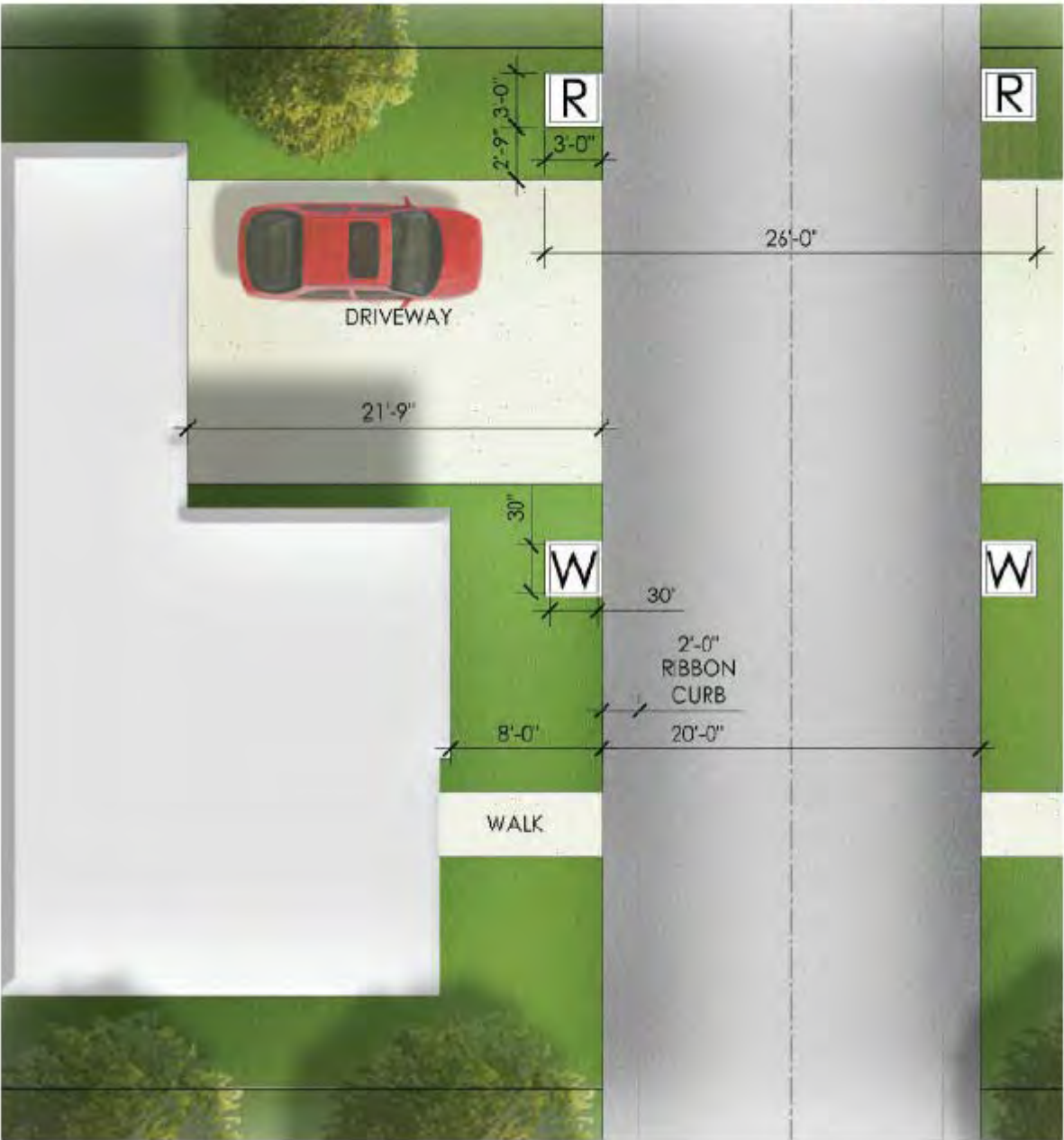
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Motor Court - Lot Enlargement



Motor Court "Pod" Enlargement

30" x 30" RECYCLE BIN
ON 3' x 3' PAD (TYP.)

30" x 30" WASTE BIN
ON 3' x 3' PAD (TYP.)

SIDEWALK (TYP.)

63'-0"

16'-0"

R-35'-0"

(10) 9.5' x 19'
PARKING STALL (TYP.)

26'-3"

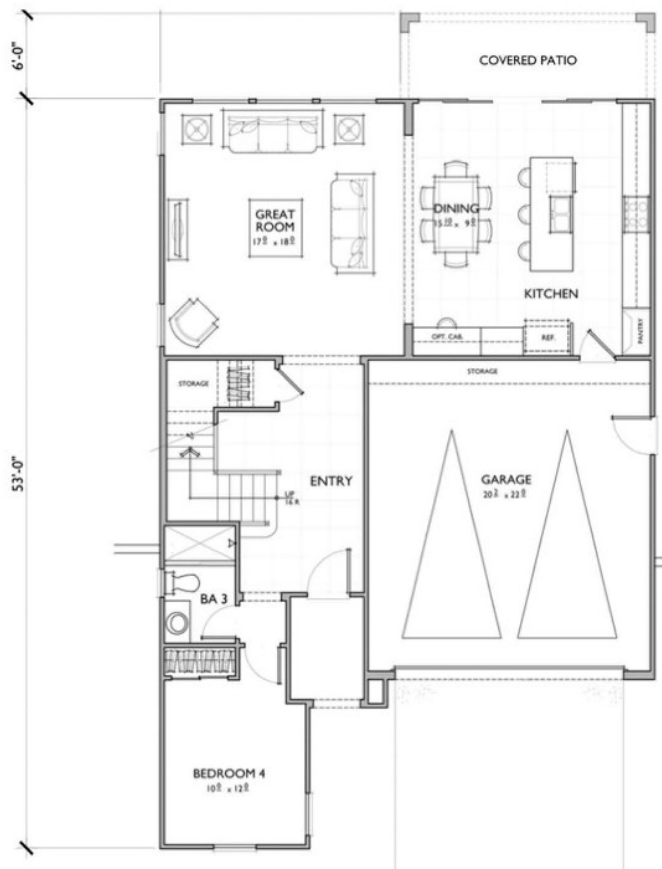
73'-0"

73'-0"

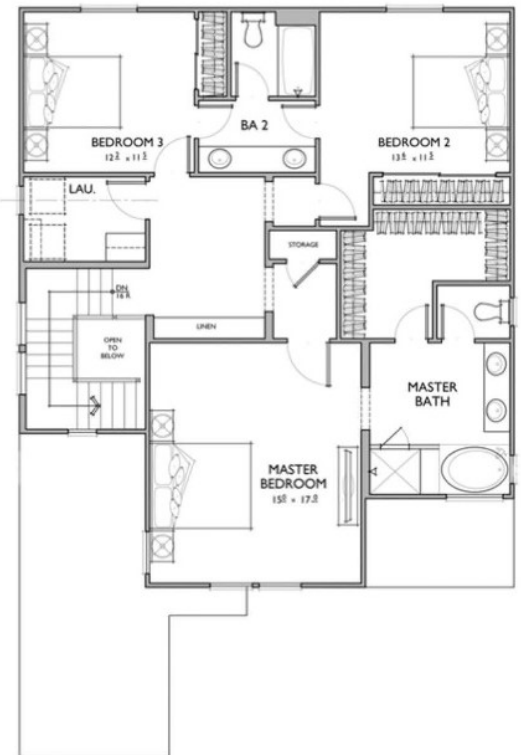


Casita Series

Floor Plan 3522 (2,246 sq. ft.)



FIRST FLOOR



SECOND FLOOR

LENNAR®

Casita Series

Floor Plan 3522 (2,246 sq. ft.)



ELEVATION G - ITALIANATE



ELEVATION F - FRENCH COUNTRY

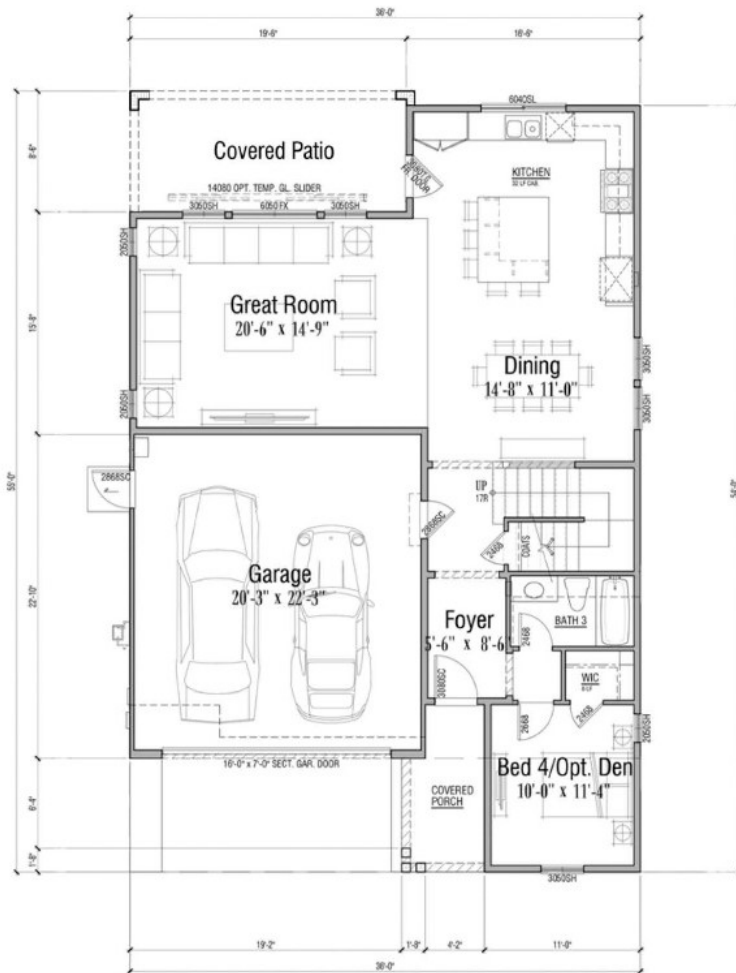


ELEVATION E - TUSCAN

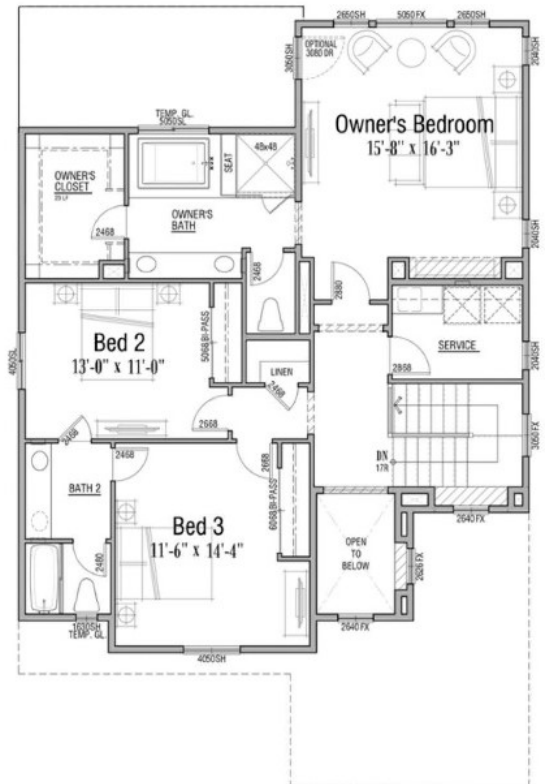
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Casita Series

Floor Plan 3623 (2,311 sq. ft.)



FIRST FLOOR



SECOND FLOOR

LENNAR®

Casita Series

Floor Plan 3623 (2,311 sq. ft.)



ELEVATION K - FARMHOUSE



ELEVATION F - FRENCH COUNTRY

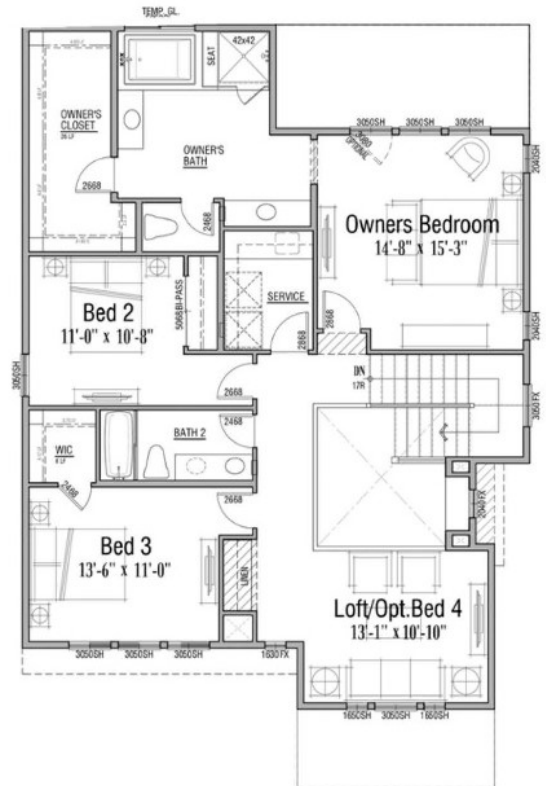
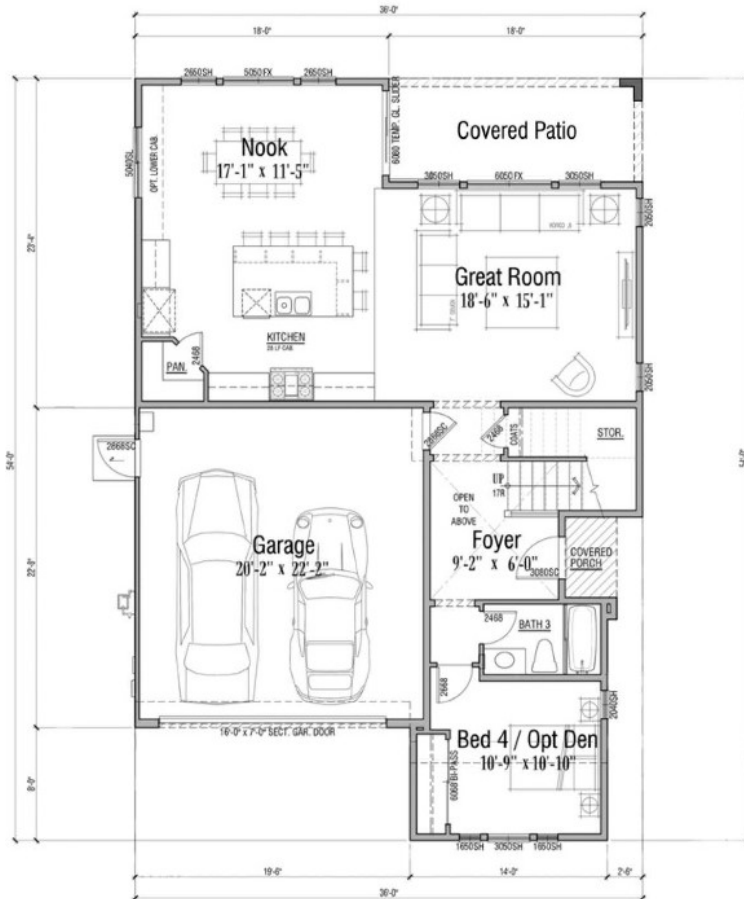


ELEVATION C - CRAFTSMAN

LENNAR®

Casita Series

Floor Plan 3624 (2,428 sq. ft.)



LENNAR®

Casita Series

Floor Plan 3624 (2,428 sq. ft.)



ELEVATION D - MONTEREY



ELEVATION F - FRENCH COUNTRY

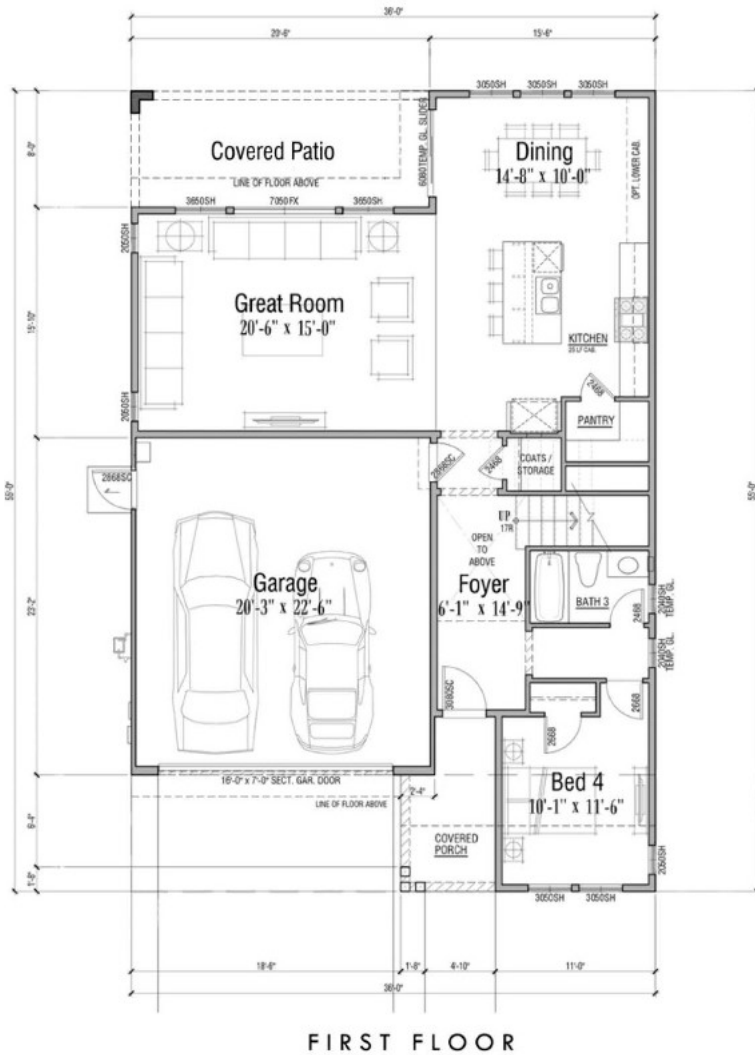


ELEVATION C - CRAFTSMAN

LENNAR®

Casita Series

Floor Plan 3626 (2,659 sq. ft.)



LENNAR®

Casita Series

Floor Plan 3626 (2,659 sq. ft.)



ELEVATION K - FARMHOUSE



ELEVATION F - FRENCH COUNTRY



ELEVATION C - CRAFTSMAN

LENNAR®

Motor Court

Floor Plan 4521 (2,101 sq. ft.)



LENNAR®

Motor Court

Floor Plan 4521 (2,101 sq. ft.)



LENNAR®

Motor Court

Floor Plan 4522 (2,233 sq. ft.)



LENNAR®

Motor Court

Floor Plan 4522 (2,233 sq. ft.)



LENNAR®

Motor Court

Floor Plan 4527 (2,593 sq. ft.)



LENNAR®

Motor Court

Floor Plan 4527 (2,593 sq. ft.)



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EXHIBIT H

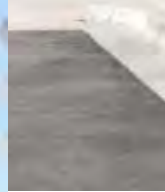




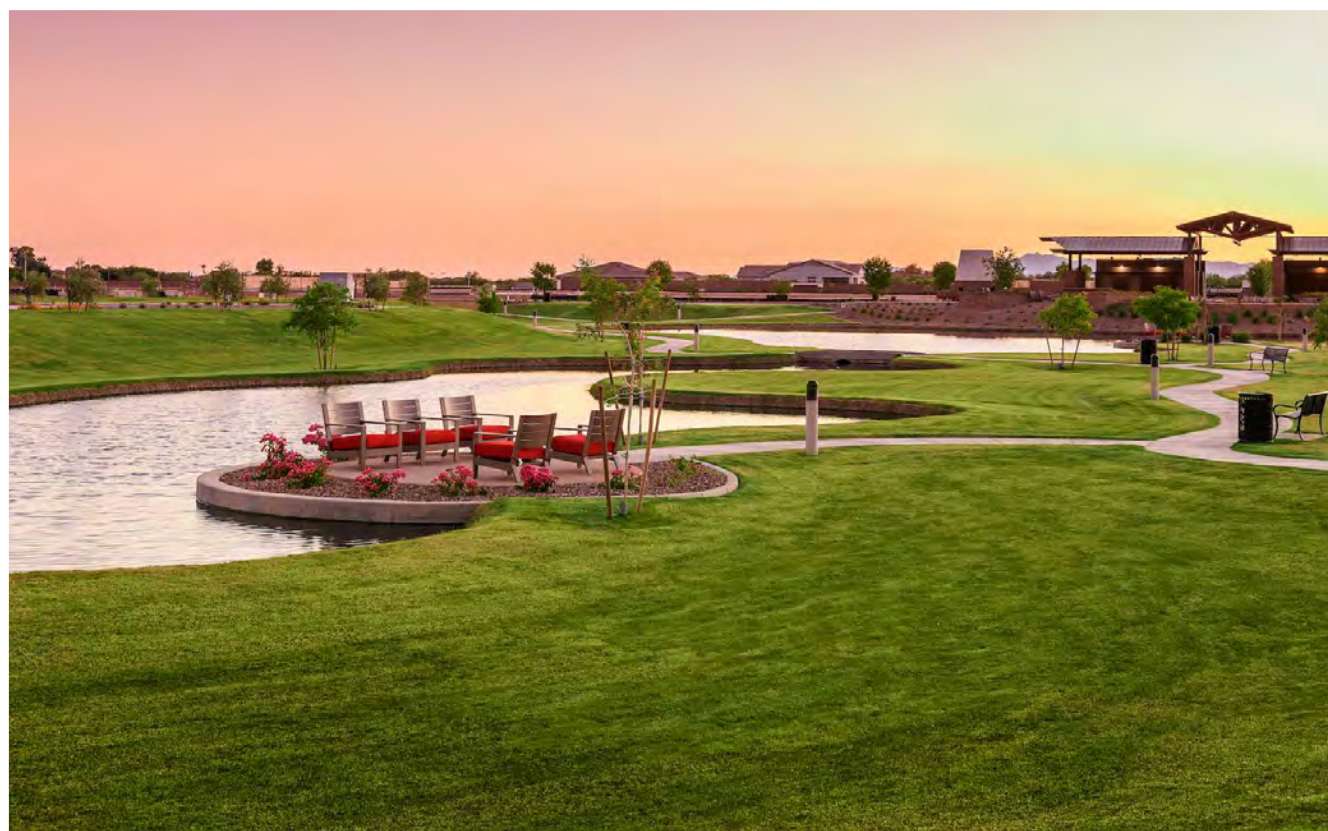
EXHIBIT I



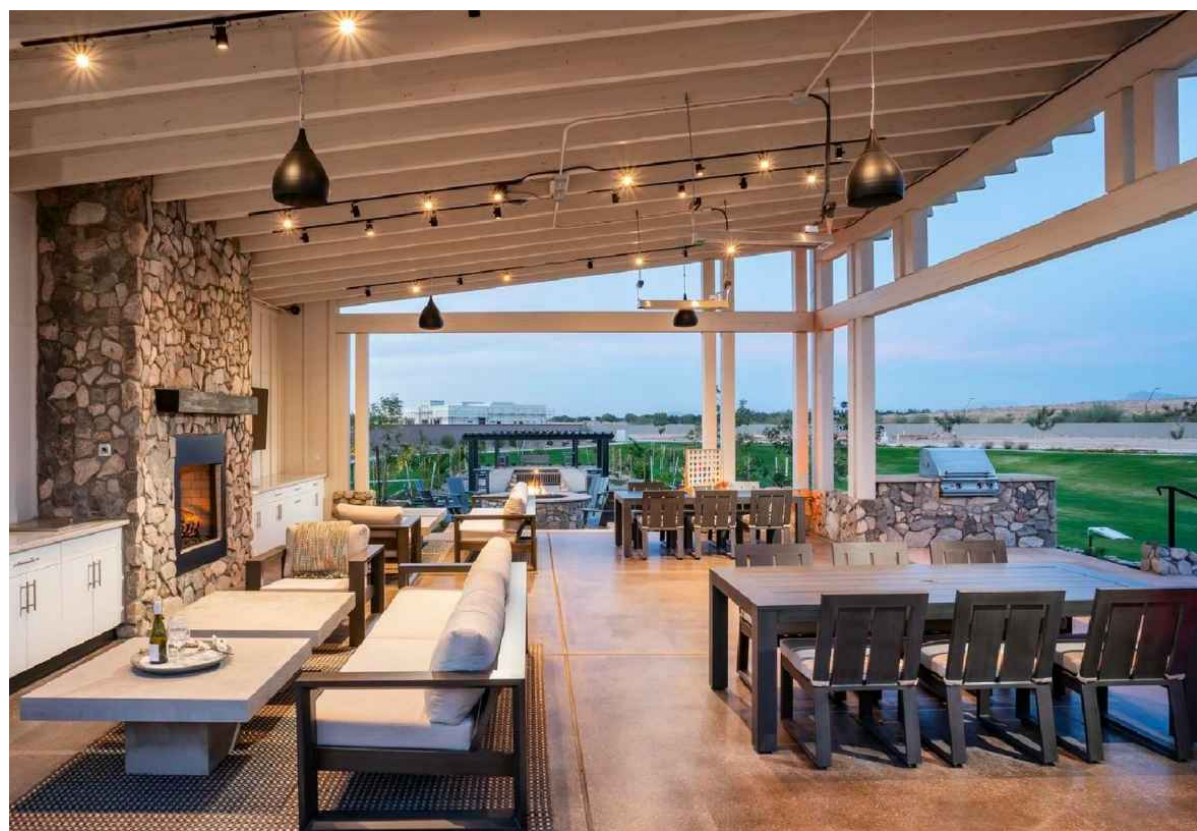
AMENITY BUILDING STYLE



GATHERING LOUNGE



LAKE EDGE PLAZA



OPEN AIR AMENITY



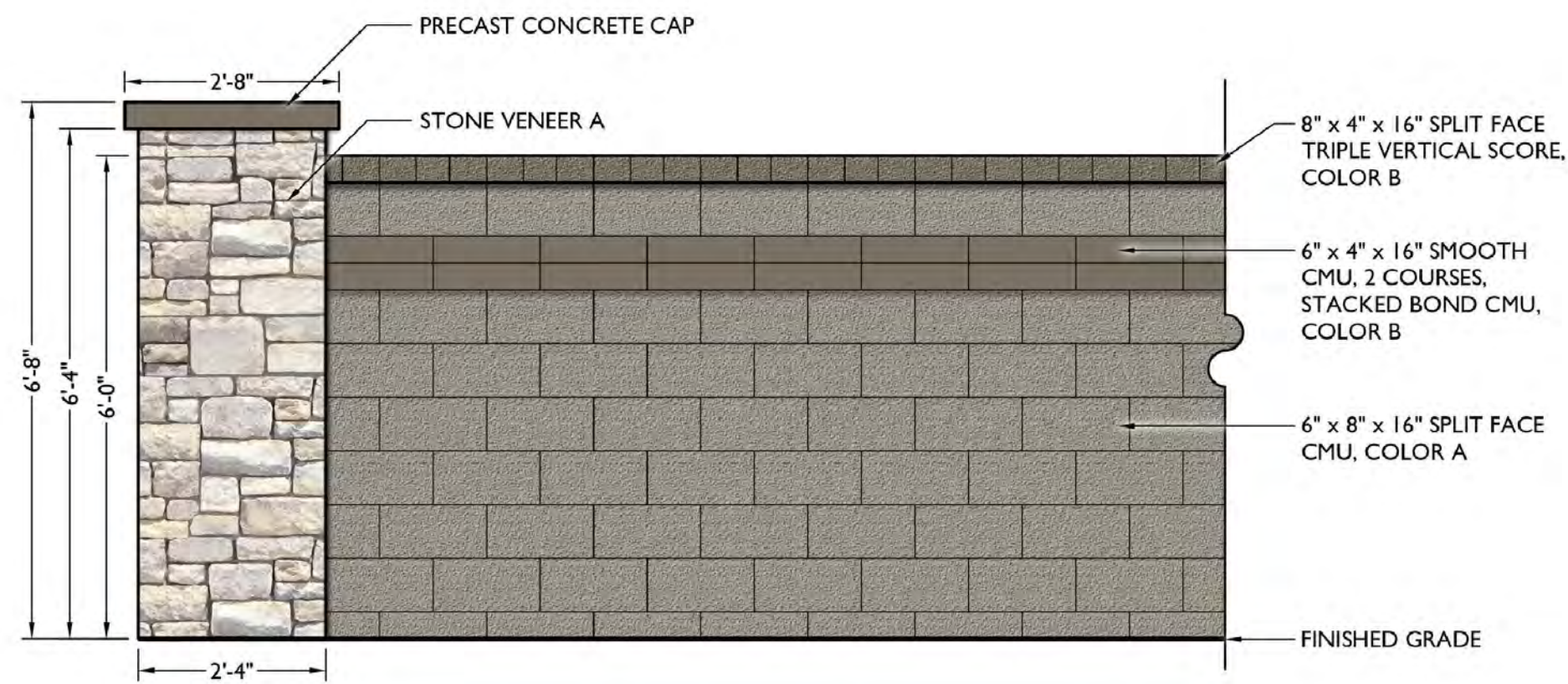
WALKING PATHS



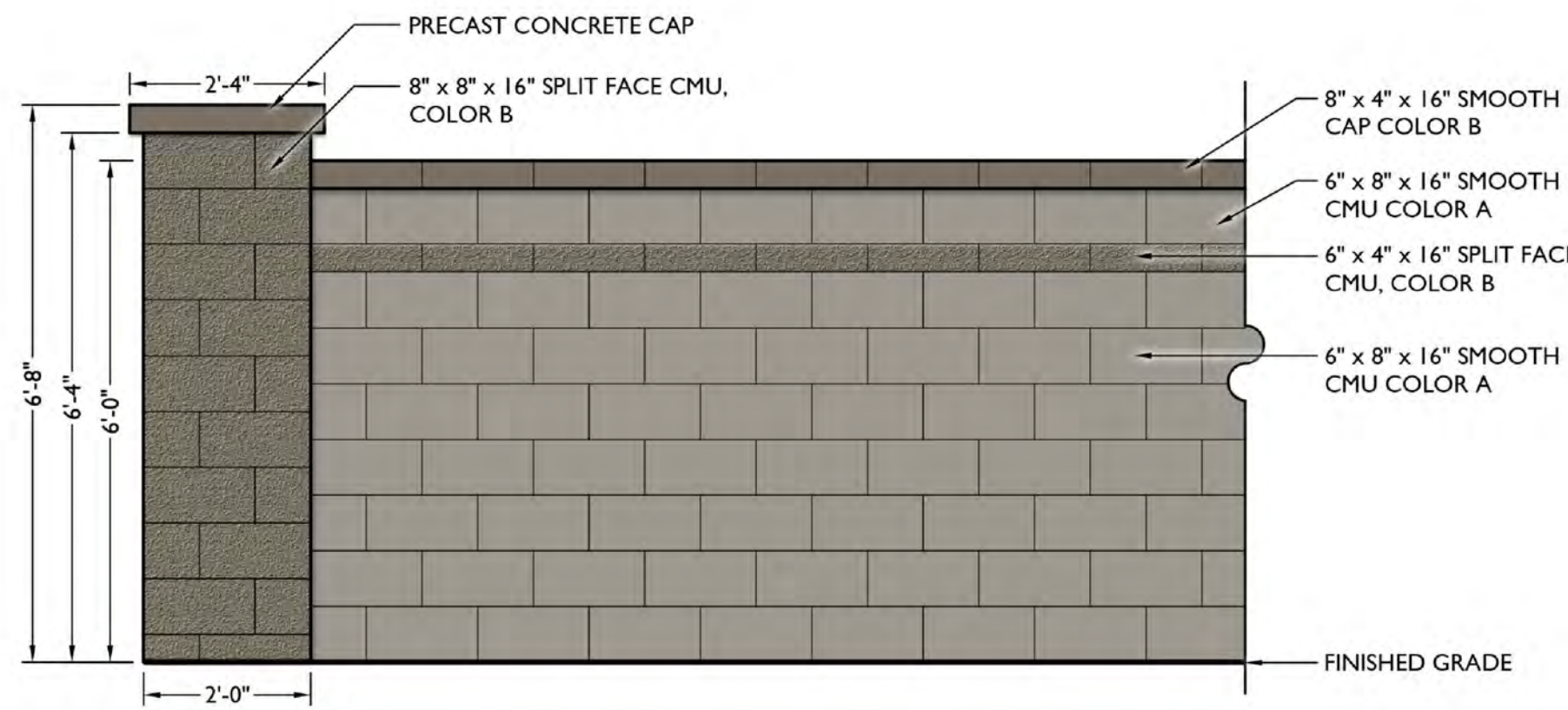
POOL COMPLEX



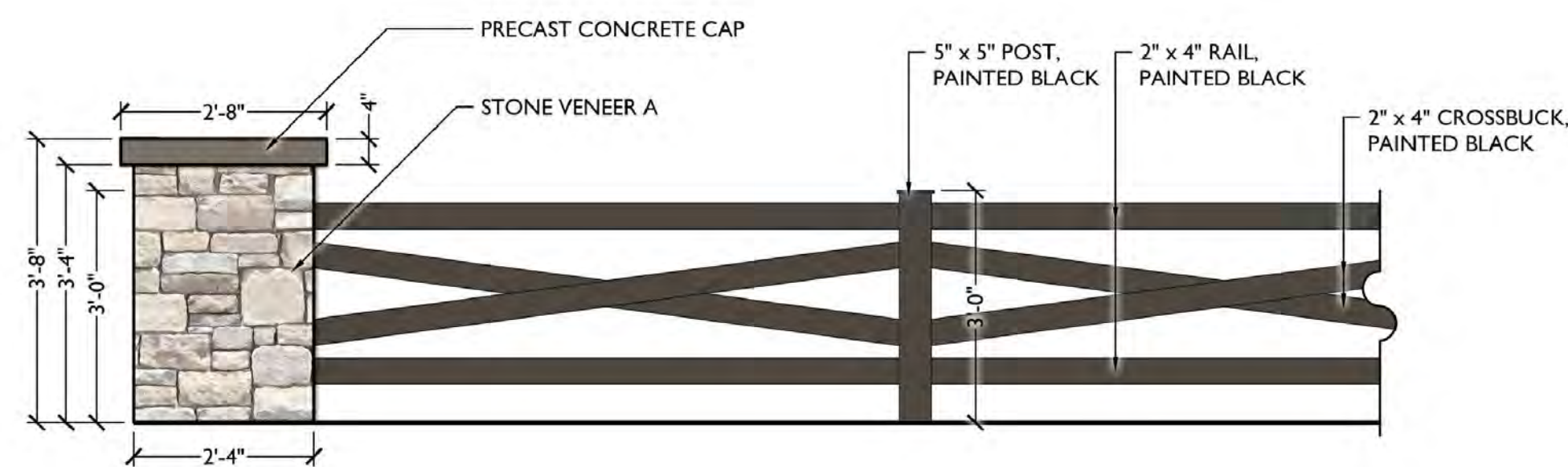
TOT LOT



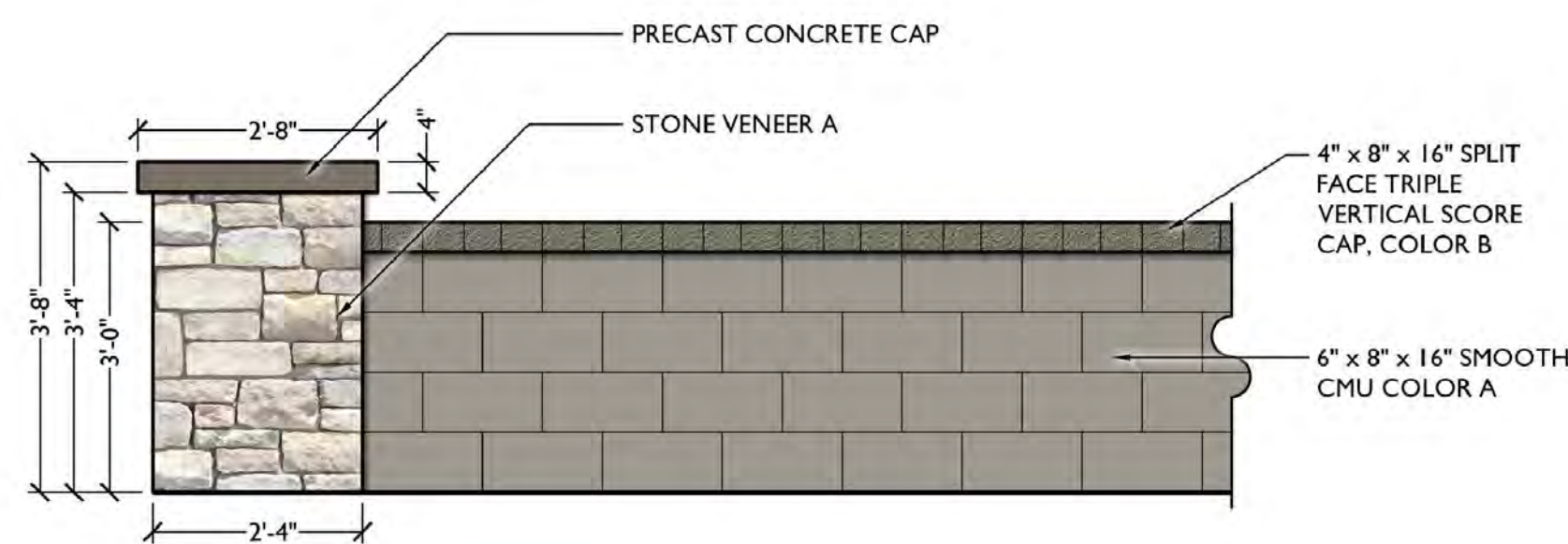
1 PRIMARY THEME WALL
Scale: 1/2" = 1'-0"



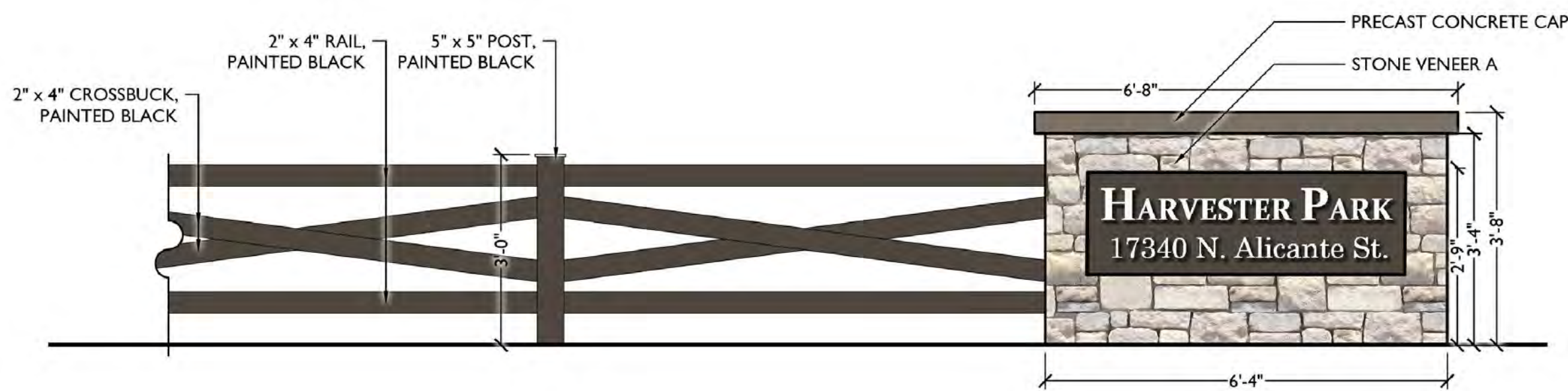
2 SECONDARY THEME WALL
Scale: 1/2" = 1'-0"



3 CROSSBUCK STYLE RAIL FENCE
Scale: 1/2" = 1'-0"



4 DECORATIVE LOW WALL
Scale: 1/2" = 1'-0"



5 PARK SIGNAGE
Scale: 1/2" = 1'-0"



COLOR A
Color: Sherwin Williams
SW9170 Acier OAE



COLOR B
Color: Sherwin Williams
SW9614 Carriage Stone OAE



COLOR C
Color: Sherwin Williams
SW7020 Black Fox OAE



CONCRETE CAP
Color: Ostrich by Mesa Precast OAE



STONE VENEER
Rough Cut, Color Casa Blanca
by Eldorado Stone OAE

EXHIBIT J

KEYNOTES

- 1 MAIN PARK AMENITY
- 2 NEIGHBORHOOD PARK
- 3 PEDESTRIAN PASEO



1 PEDESTRIAN PASEO ILLUSTRATIVE CROSS SECTION

- NOTES:
- 1. SEATING NODES AND TRASH RECEPTACLES WILL BE LOCATED PERIODICALLY ALONG THE PASEO BETWEEN NEIGHBORHOOD PARKS.
 - 2. BOLLARD LIGHT SPACING TO ACCOMMODATE WAYFINDING. FINAL LOCATIONS TO BE DETERMINED BY ELECTRICAL ENGINEER.



LANDSCAPE BENCH
Model: Rendezvous
Color: Grey, By Anova, OAE



TRASH RECEPTACLE
Model: Rendezvous
Color: Grey, By Anova, OAE



BOLLARD LIGHT
Exact fixture to be determined at final design.

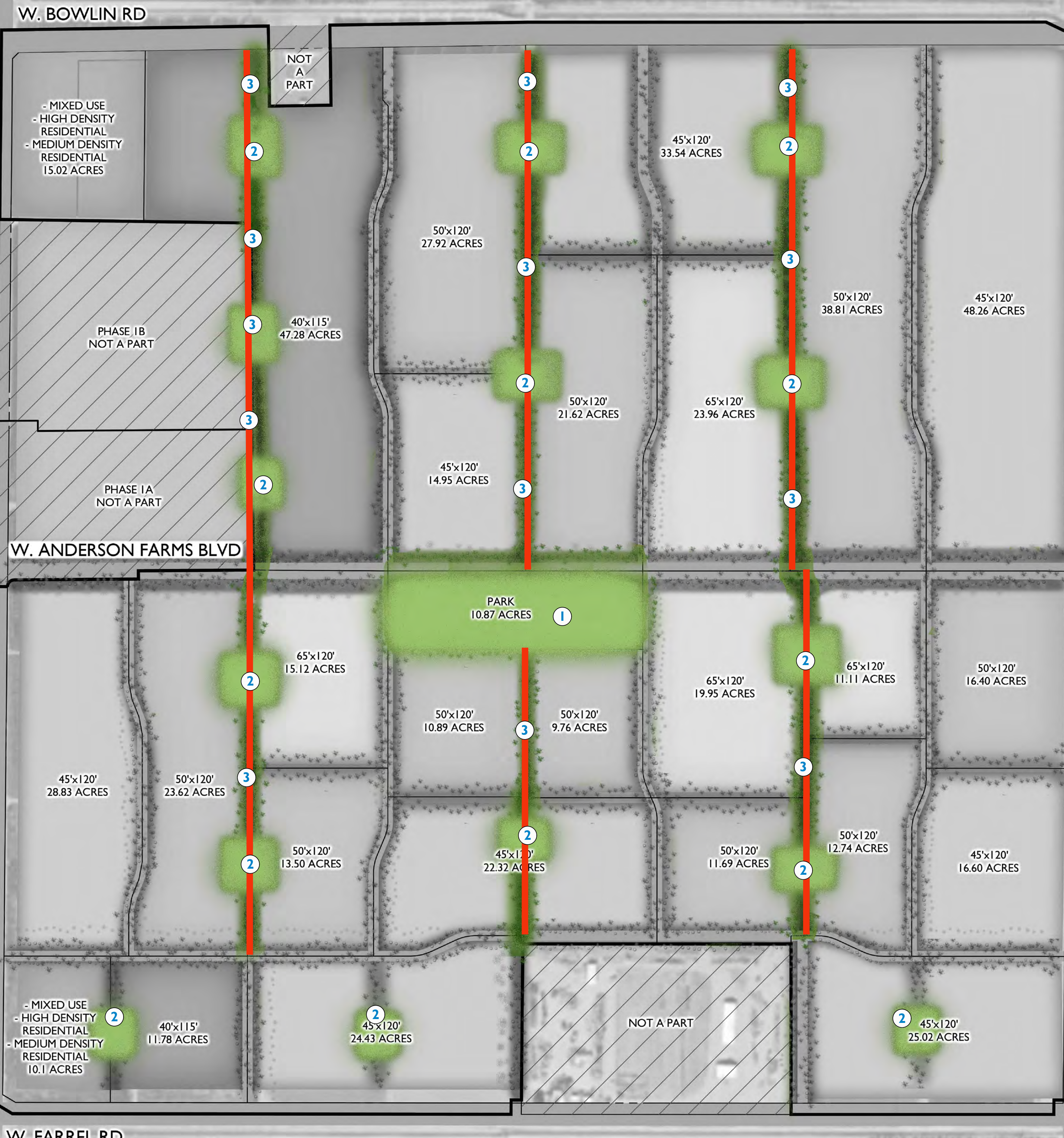


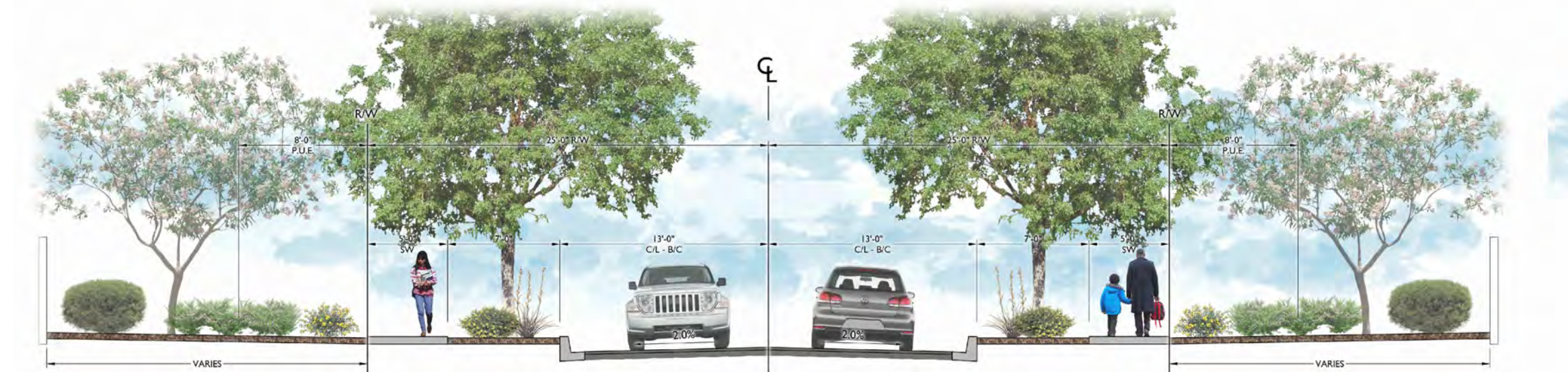
EXHIBIT K

LEGEND

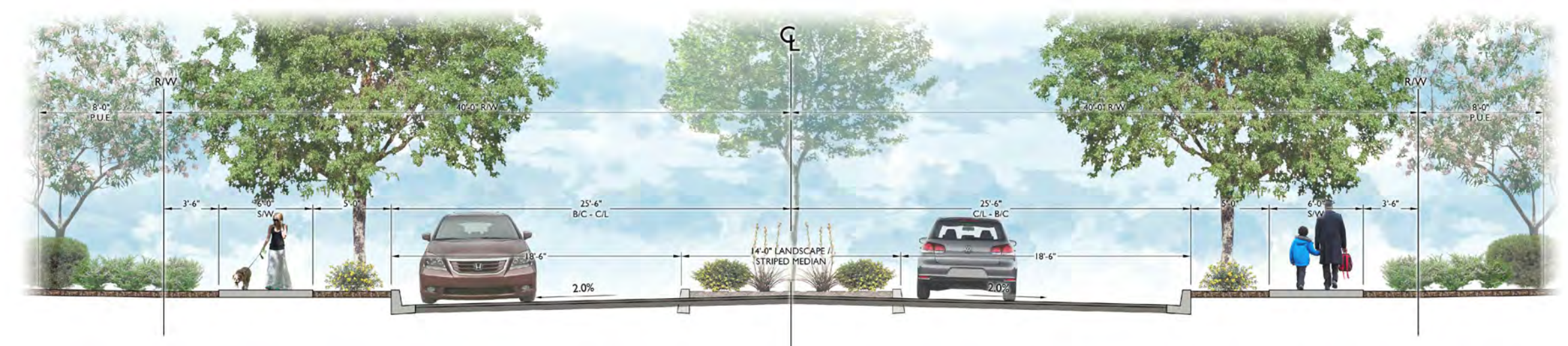
SYMBOL	ITEM
	PEDESTRIAN PASEO
	ENHANCED LOCAL (DETACHED SIDEWALK)
	COLLECTOR (DETACHED SIDEWALK)



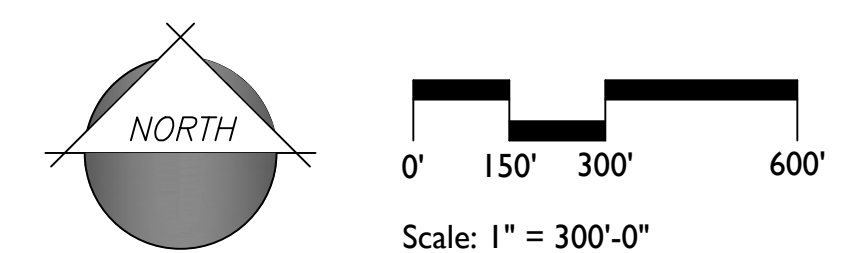
1 PEDESTRIAN PASEO



2 ENHANCED LOCAL STREET (DETACHED SIDEWALK)



3 COLLECTOR STREET (WITH MEDIAN)



W. BOWLIN RD

NOT
A
PART

- MIXED USE
- HIGH DENSITY
RESIDENTIAL
- MEDIUM DENSITY
RESIDENTIAL
15.02 ACRES

PHASE 1B
NOT A PART

PHASE 1A
NOT A PART

W. ANDERSON FARMS BLVD

PARK
10.87 ACRES

N. HARTMAN RD

W. FARREL RD

- MIXED USE
- HIGH DENSITY
RESIDENTIAL
- MEDIUM DENSITY
RESIDENTIAL
10.1 ACRES

40'x115'
11.78 ACRES

45'x120'
24.43 ACRES

NOT A PART

N. MURPHY RD

45'x120'
33.54 ACRES

50'x120'
27.92 ACRES

40'x115'
47.28 ACRES

50'x120'
38.81 ACRES

45'x120'
48.26 ACRES

50'x120'
21.62 ACRES

65'x120'
23.96 ACRES

45'x120'
14.95 ACRES

65'x120'
11.11 ACRES

50'x120'
16.40 ACRES

65'x120'
19.95 ACRES

50'x120'
10.89 ACRES

50'x120'
9.76 ACRES

50'x120'
11.69 ACRES

50'x120'
12.74 ACRES

45'x120'
16.60 ACRES

50'x120'
13.50 ACRES

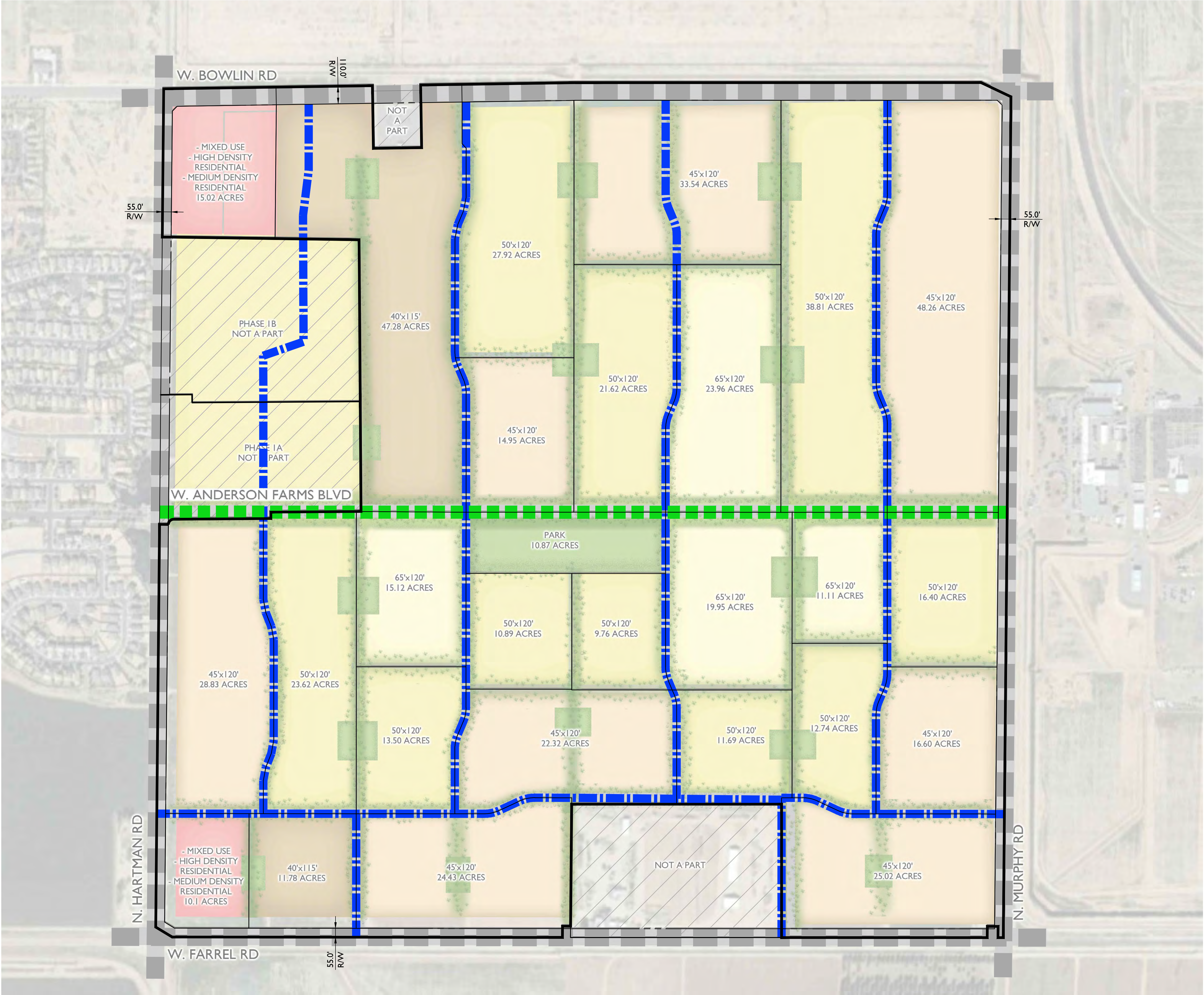
65'x120'
15.12 ACRES

45'x120'
28.83 ACRES

50'x120'
23.62 ACRES

45'x120'
22.32 ACRES

45'x120'
25.02 ACRES



LEGEND

- ARTERIAL (DETACHED SIDEWALK)
- ENHANCED LOCAL (DETACHED SIDEWALK)
- COLLECTOR (DETACHED SIDEWALK)
- PROPERTY BOUNDARY

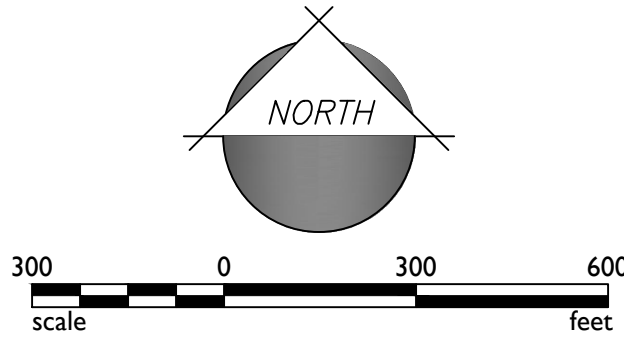
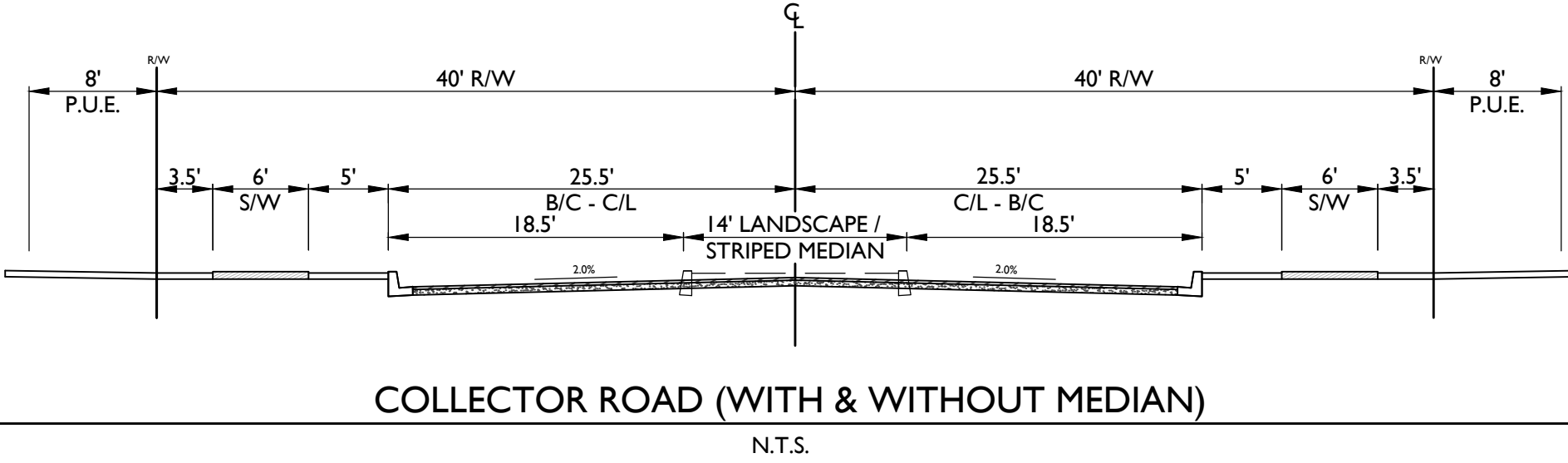
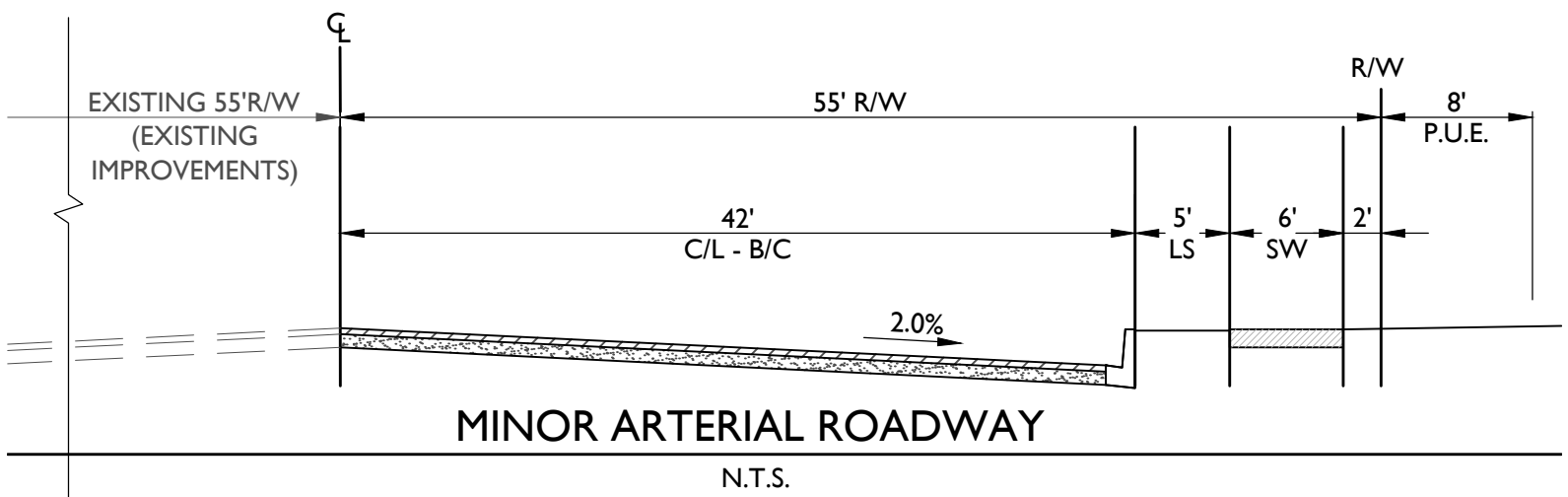
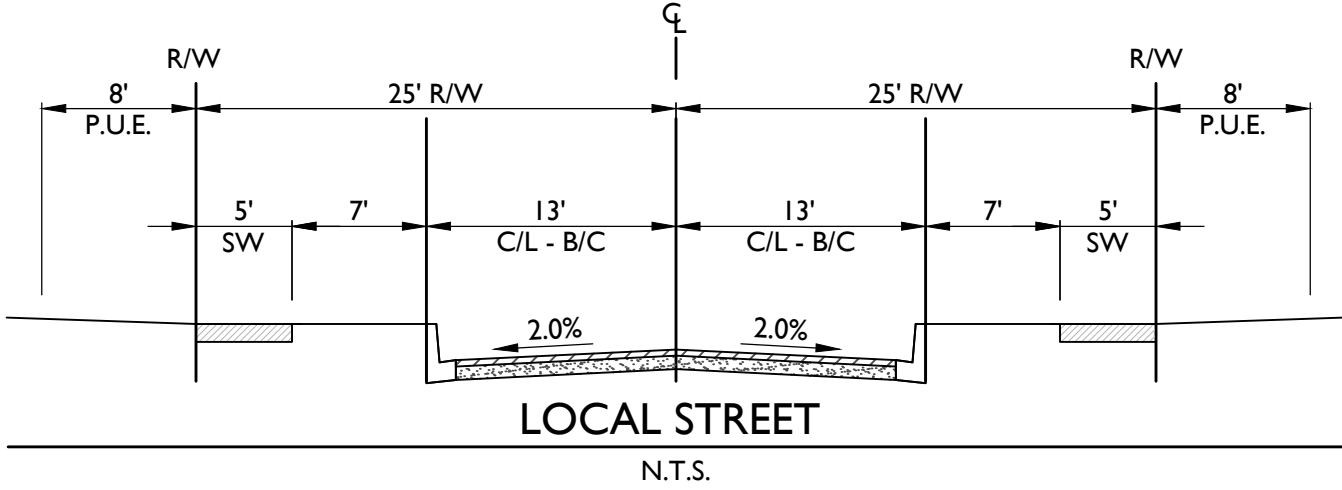
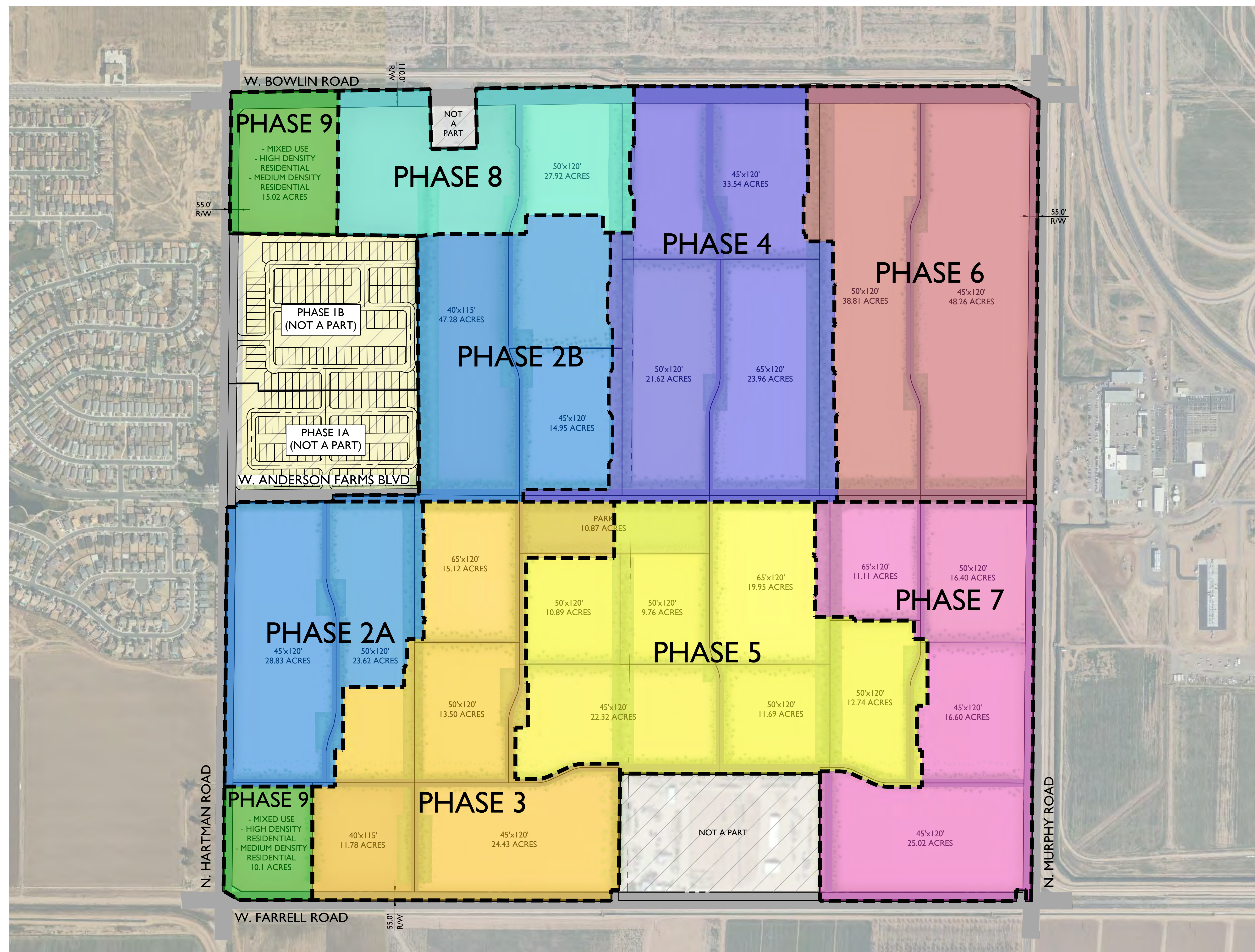


EXHIBIT L



PHASING SUMMARY	
PHASE 2A	46.13 ACRES
PHASE 2B	51.21 ACRES
PHASE 3	77.83 ACRES
PHASE 4	84.88 ACRES
PHASE 5	89.09 ACRES
PHASE 6	86.44 ACRES
PHASE 7	67.69 ACRES
PHASE 8	38.06 ACRES
PHASE 9	24.80 ACRES
TOTAL	566.13 ACRES

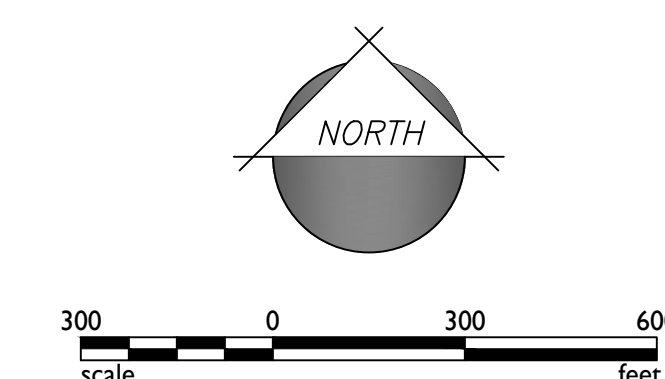
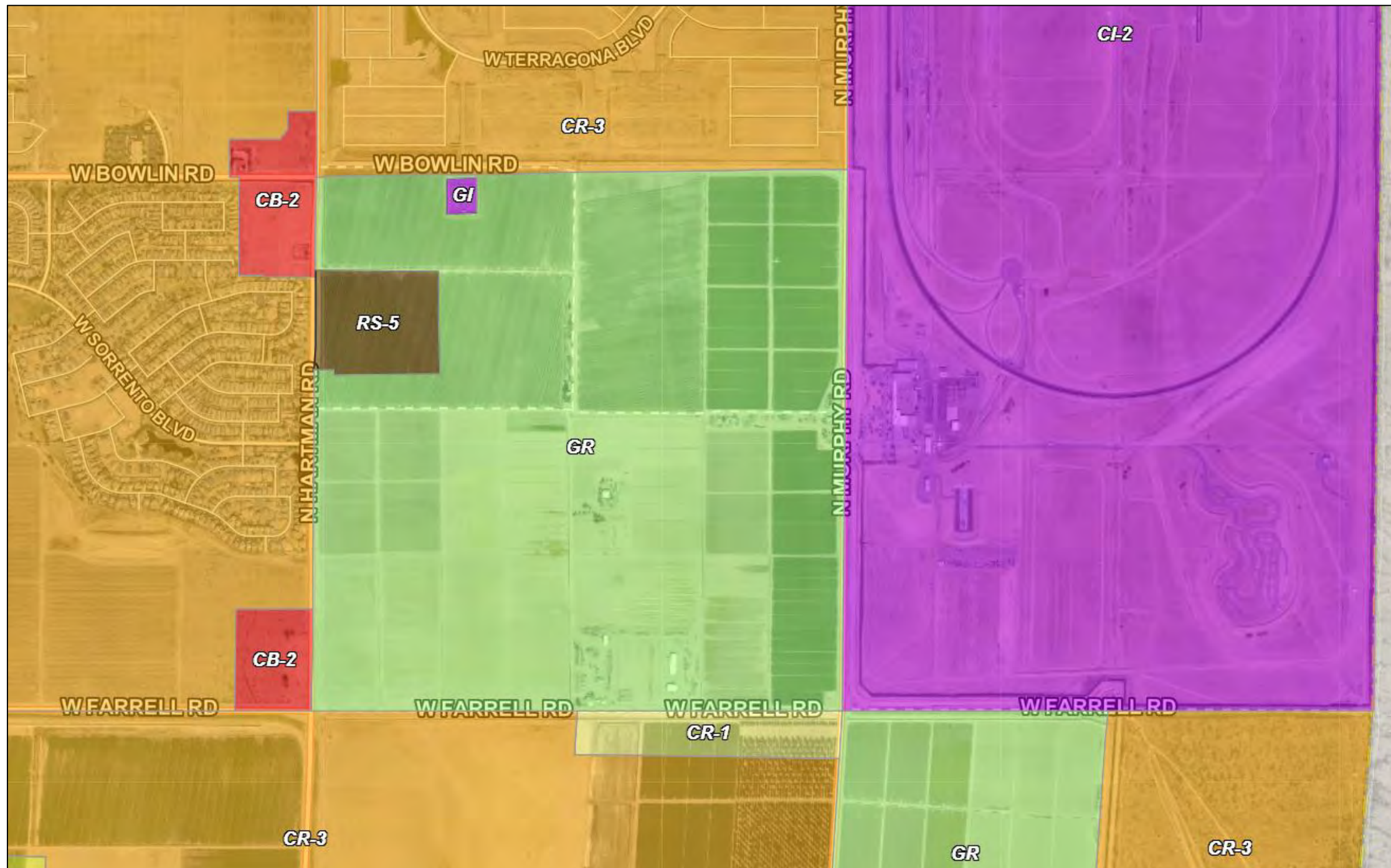


Exhibit B

City
Zoning
Map



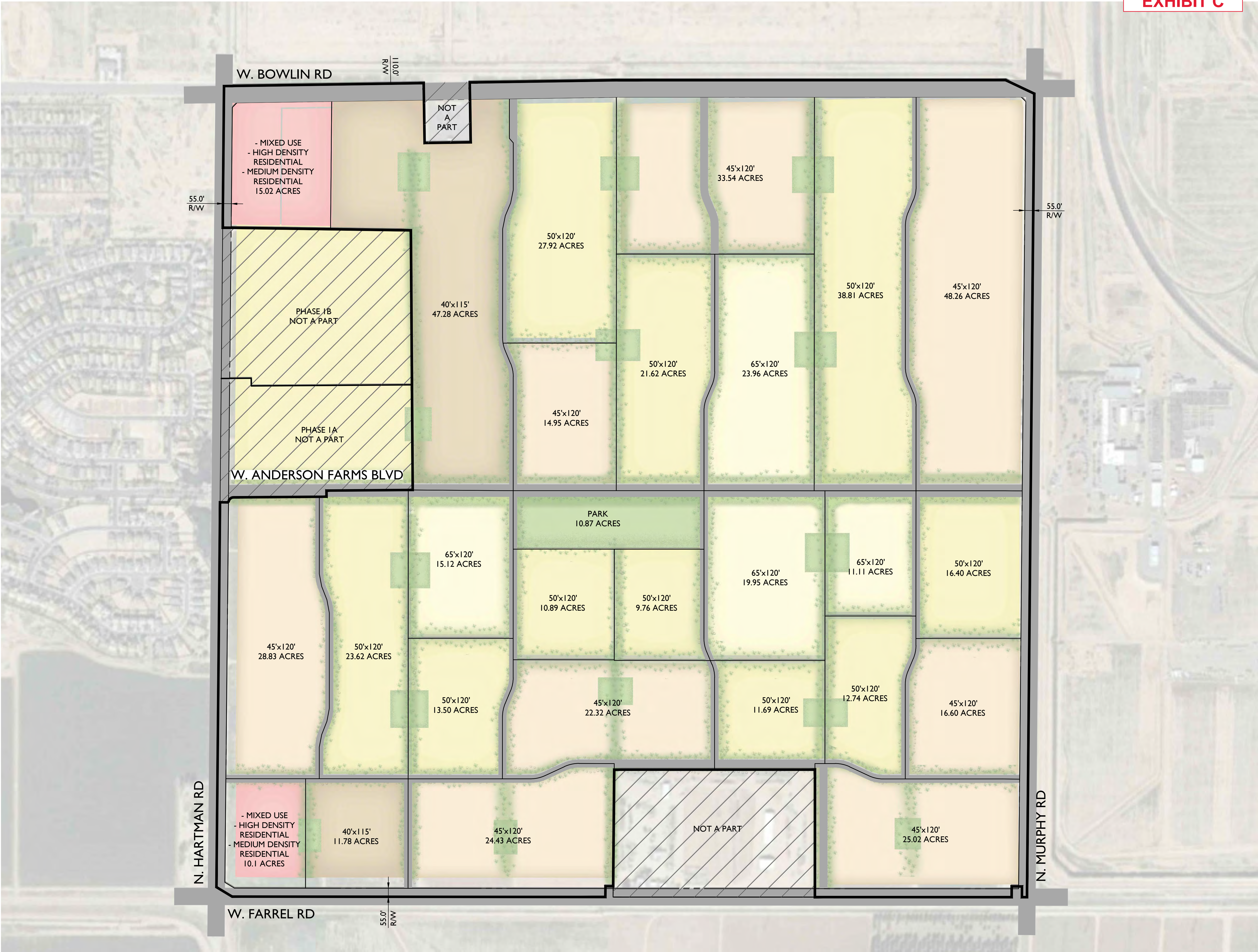
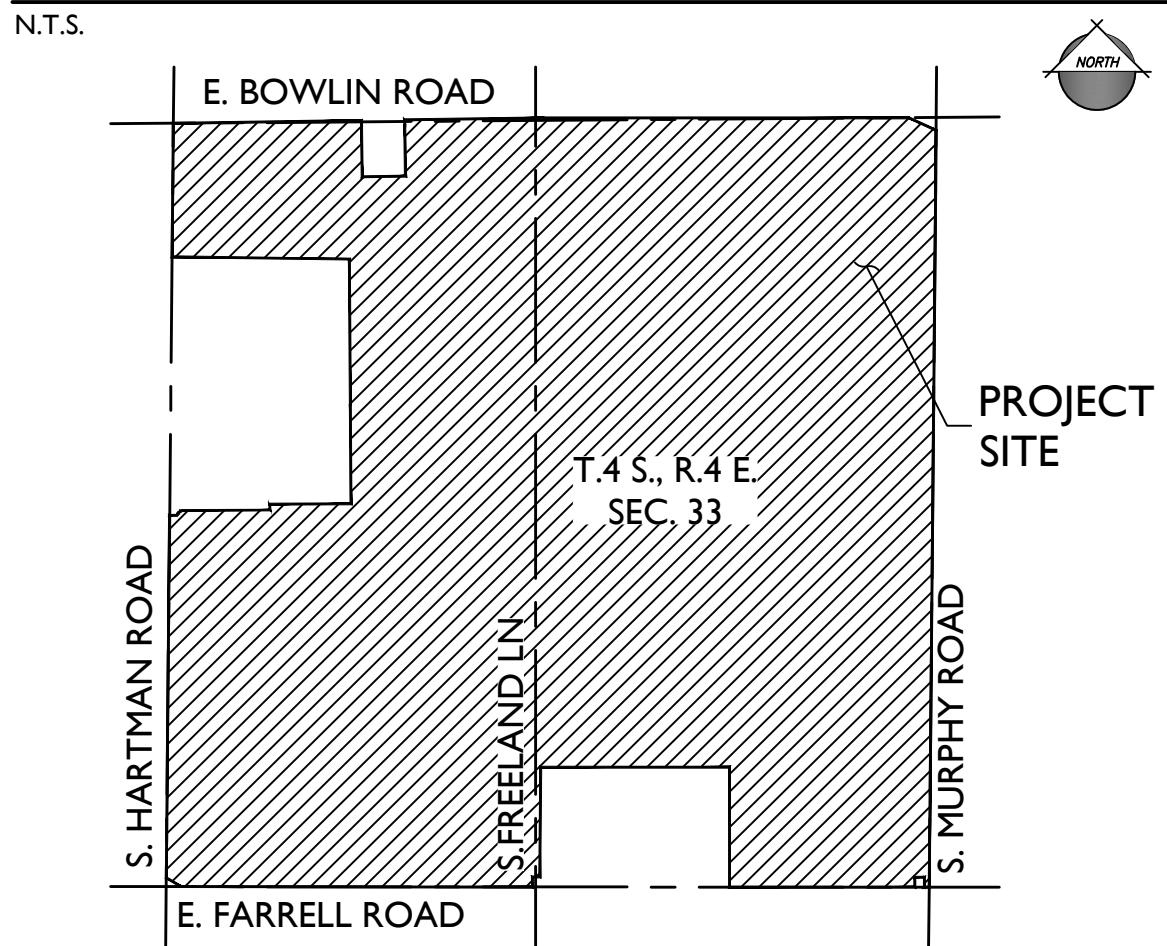


EXHIBIT C

VICINITY MAP

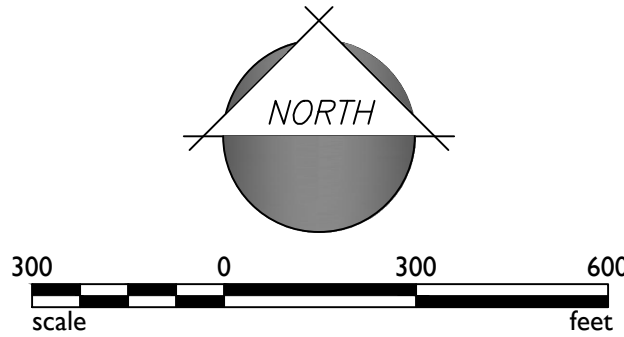


PROJECT TEAM

DEVELOPER: LENNAR ARIZONA INC 1665 WY. ALAMEDA DR, SUITE 130 TEMPE, AZ 85282 TEL: (602)-921-6520 CONTACT: TODD SKORO Todd.Skoro@lennar.com	ENGINEER: EPS GROUP, INC. 1130 N ALMA SCHOOL RD., SUITE 120 MESA, AZ 85201 TEL: (480)-503-2250 CONTACT: ERIC WINTERS, PE Eric.Winters@epsgruoinc.com
LANDSCAPE ARCHITECT: EPS GROUP, INC. 1130 N ALMA SCHOOL RD., SUITE 120 MESA, AZ 85201 TEL: (480)-503-2250 CONTACT: ALIZA SABIN, RLA Aliza.Sabin@epsgruoinc.com	PLANNER: EPS GROUP, INC. 1130 N ALMA SCHOOL RD., SUITE 120 MESA, AZ 85201 TEL: (480)-503-2250 CONTACT: JOSH HANNON Josh.Hannon@epsgruoinc.com
ATTORNEY: TIFFANY & BOSCO, P.A. 2525 E. CAMELBACK RD., SEVENTH FLOOR PHOENIX, AZ 85016 TEL: (602)-452-2712 CONTACT: WILLIAM E. LALLY, ESQ.	TRAFFIC ENGINEER: CIVTECH 10605 N. HAYDEN RD., SUITE 140 SCOTTSDALE, AZ 85260 CONTACT: DAWN CARTIER, P.E. PTOE

PROJECT DATA

A.P.N.	A PORTION OF 502-03-015H, 502-03-015F
CURRENT USE:	AGRICULTURAL
GENERAL PLAN LAND USE:	MASTER PLANNED COMMUNITY
EXISTING ZONING:	RS-5
PROPOSED ZONING:	PAD
GROSS AREA:	± 566.13 ACRES
NET AREA:	± 538.22 ACRES (EXCLUDES ARTERIAL R/W)
ARTERIAL & COLLECTOR:	± 27.91 ACRES
NO. OF LOTS:	%
40' x 115'	292 14.1 %
45' x 120'	821 39.7 %
50' x 120'	728 35.2 %
65' x 120'	226 10.9 %
TOTAL	2067 100 %
GROSS DENSITY:	± 3.63 DU/AC
OPEN SPACE TRACT AREA:	± 177.75 ACRES (33% OF NET)



KEYNOTES

- 1 MAIN PARK AMENITY
- 2 NEIGHBORHOOD PARK
- 3 PEDESTRIAN PASEO



1 PEDESTRIAN PASEO ILLUSTRATIVE CROSS SECTION

- NOTES:
- 1. SEATING NODES AND TRASH RECEPTACLES WILL BE LOCATED PERIODICALLY ALONG THE PASEO BETWEEN NEIGHBORHOOD PARKS.
 - 2. BOLLARD LIGHT SPACING TO ACCOMMODATE WAYFINDING. FINAL LOCATIONS TO BE DETERMINED BY ELECTRICAL ENGINEER.



LANDSCAPE BENCH
Model: Rendezvous
Color: Grey, By Anova, OAE



TRASH RECEPTACLE
Model: Rendezvous
Color: Grey, By Anova, OAE



BOLLARD LIGHT
Exact fixture to be determined at final design.

W. BOWLIN RD

W. ANDERSON FARMS BLVD

W. FARREL RD

N. HARTMAN RD

N. MURPHY RD

- MIXED USE
- HIGH DENSITY
RESIDENTIAL
- MEDIUM DENSITY
RESIDENTIAL
15.02 ACRES

PHASE 1B
NOT A PART

PHASE 1A
NOT A PART

NOT
A
PART

PARK
10.87 ACRES

NOT A PART

50'x120'
27.92 ACRES

45'x120'
33.54 ACRES

50'x120'
38.81 ACRES

45'x120'
48.26 ACRES

40'x115'
47.28 ACRES

50'x120'
21.62 ACRES

65'x120'
23.96 ACRES

45'x120'
14.95 ACRES

3

3

65'x120'
15.12 ACRES

50'x120'
10.89 ACRES

50'x120'
9.76 ACRES

65'x120'
19.95 ACRES

65'x120'
11.11 ACRES

50'x120'
16.40 ACRES

45'x120'
28.83 ACRES

50'x120'
23.62 ACRES

50'x120'
13.50 ACRES

45'x120'
22.32 ACRES

50'x120'
11.69 ACRES

50'x120'
12.74 ACRES

45'x120'
16.60 ACRES

40'x115'
11.78 ACRES

45'x120'
24.43 ACRES

45'x120'
25.02 ACRES

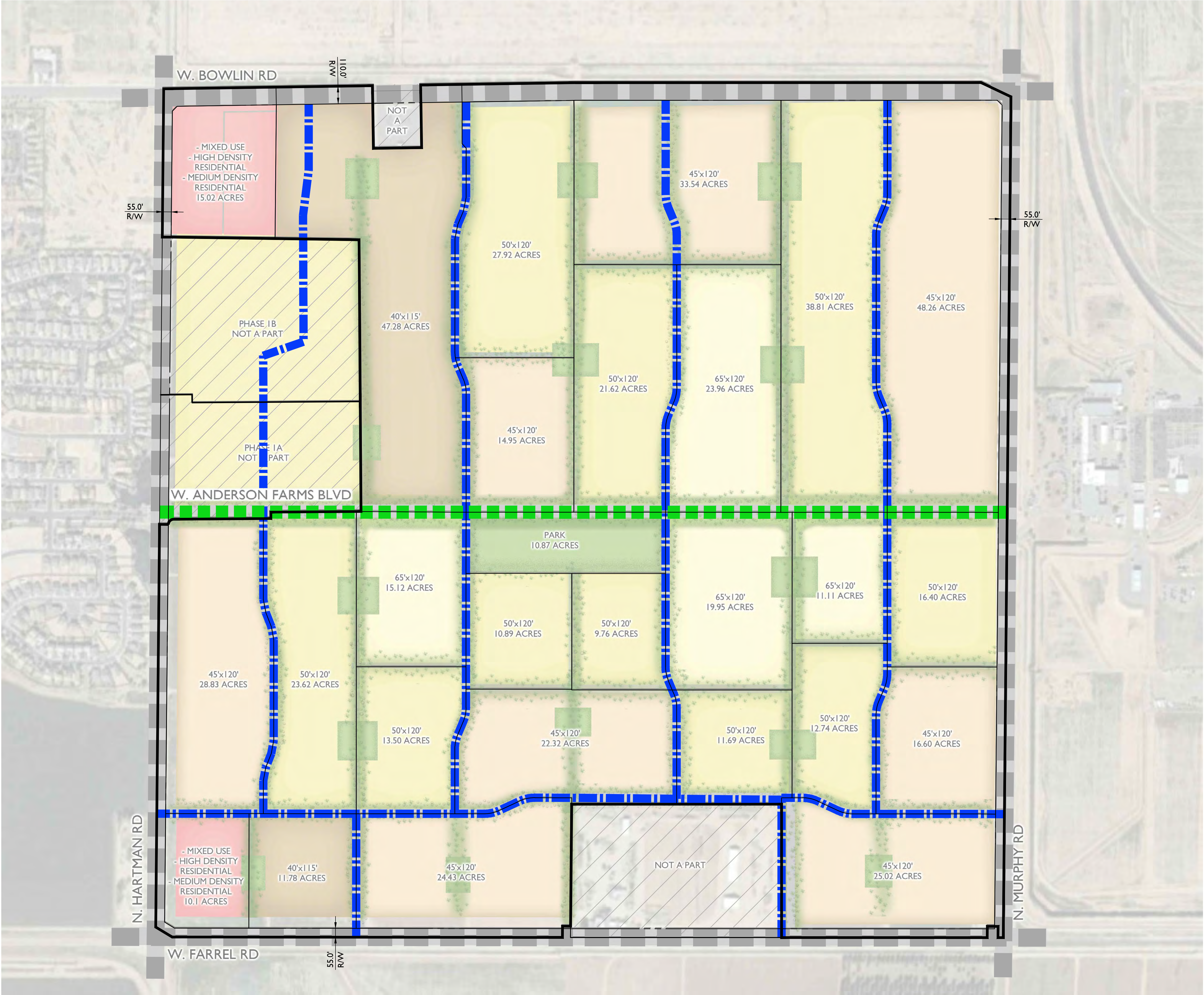


EXHIBIT E

LEGEND

- ARTERIAL (DETACHED SIDEWALK)
- ENHANCED LOCAL (DETACHED SIDEWALK)
- COLLECTOR (DETACHED SIDEWALK)
- PROPERTY BOUNDARY

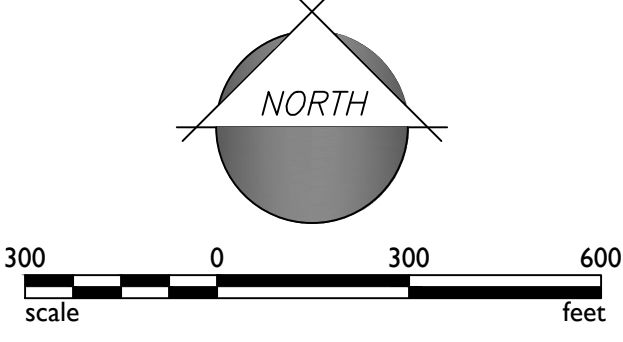
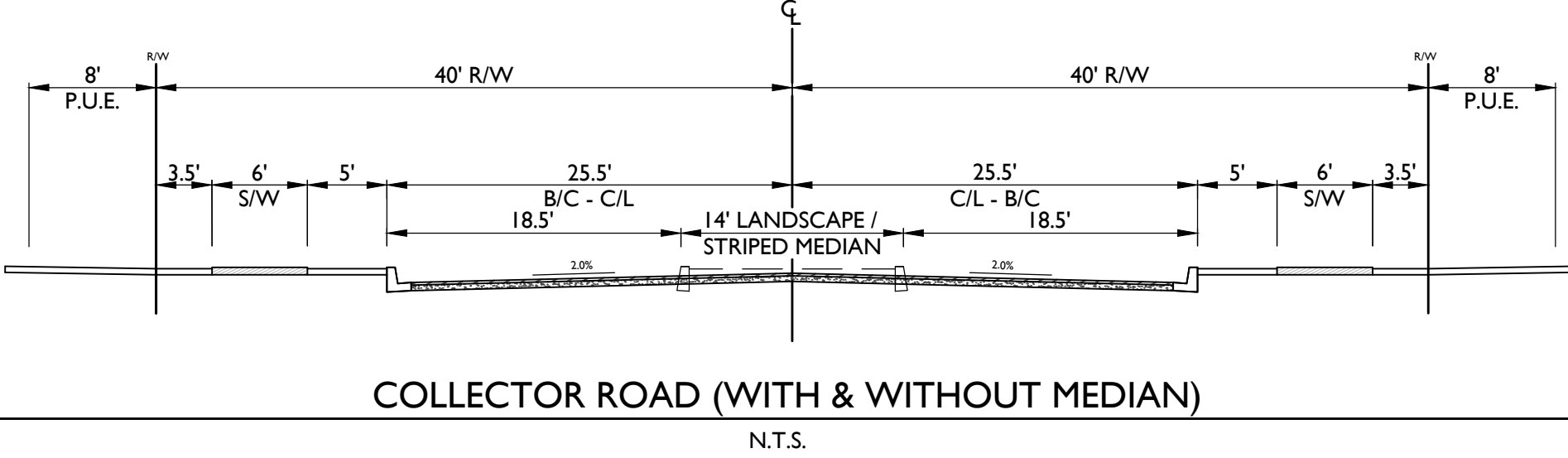
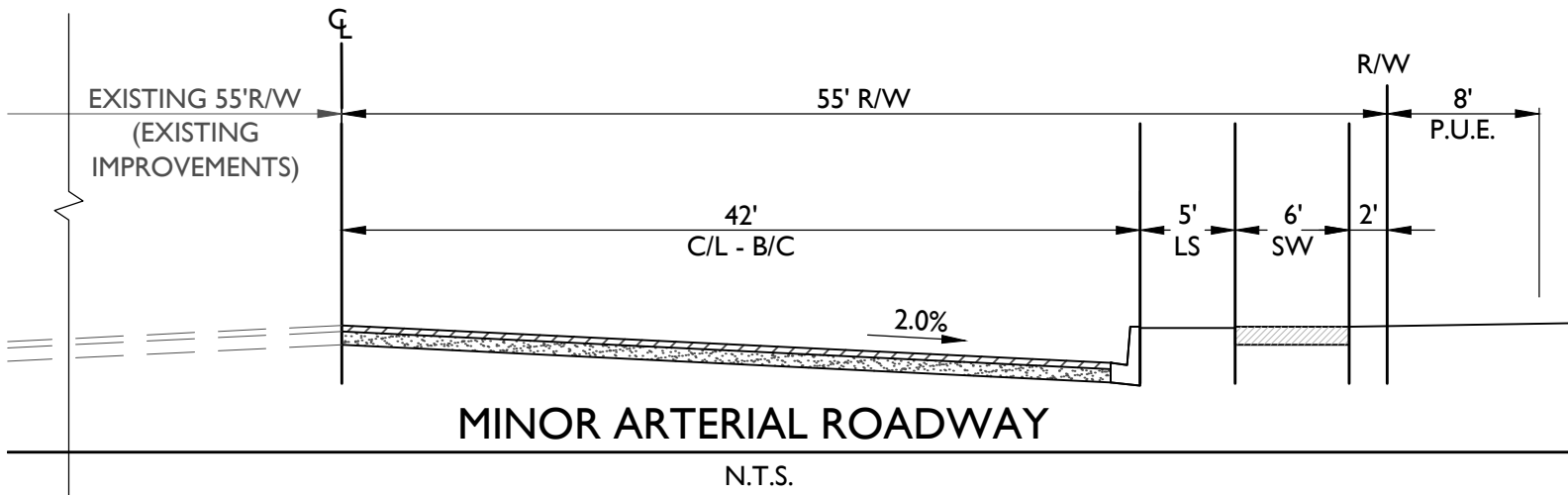
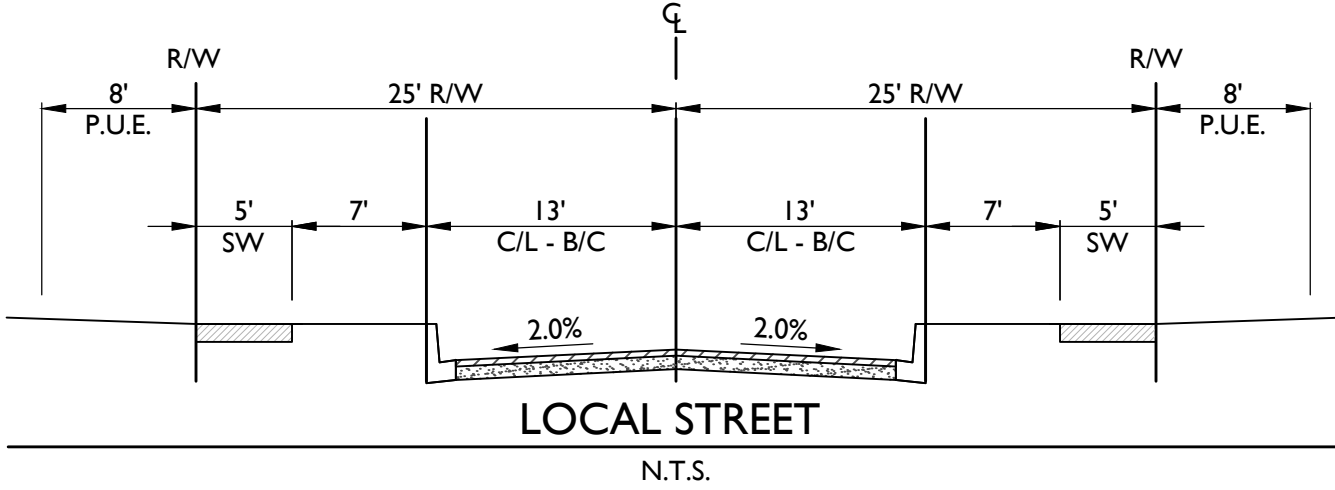
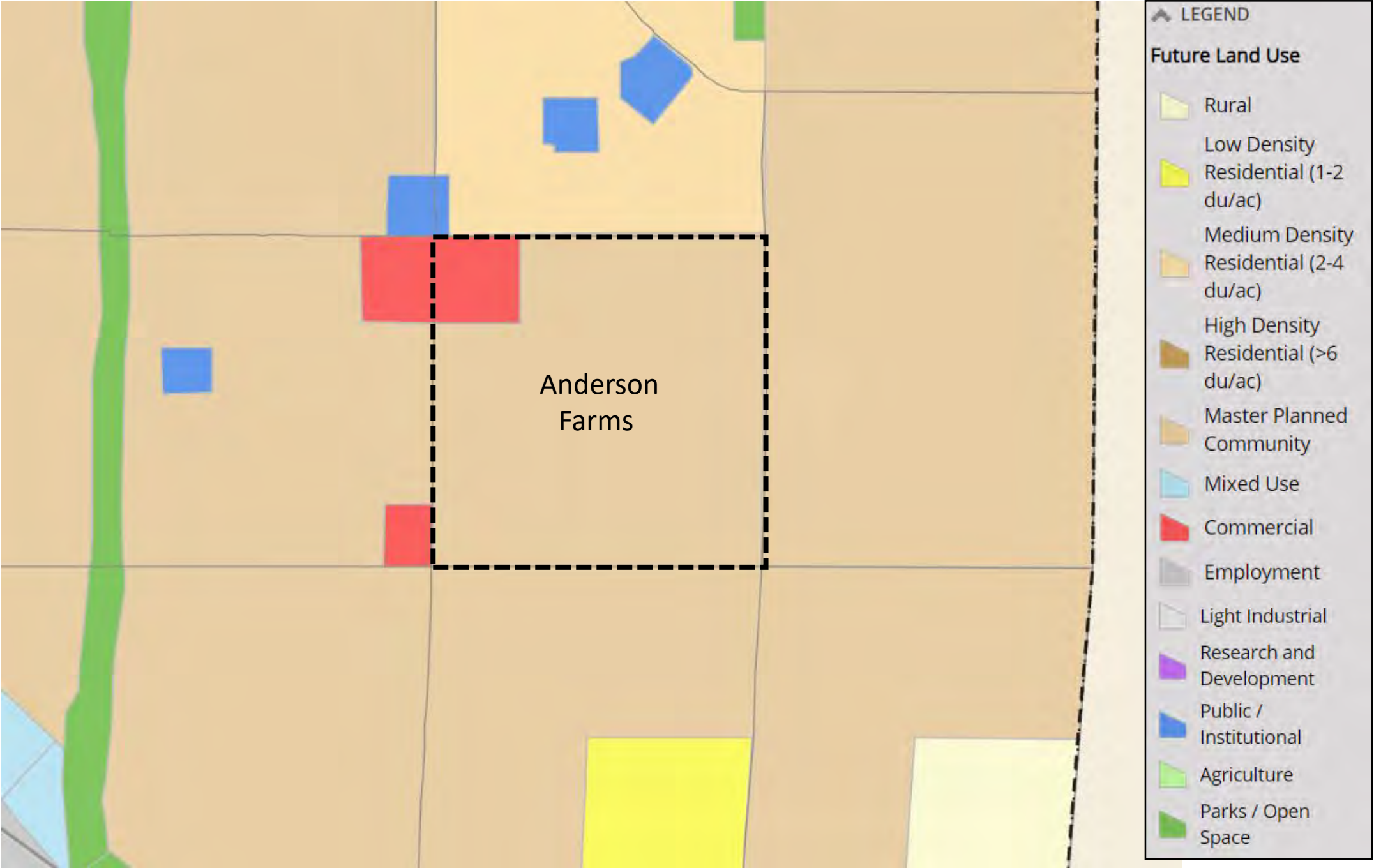
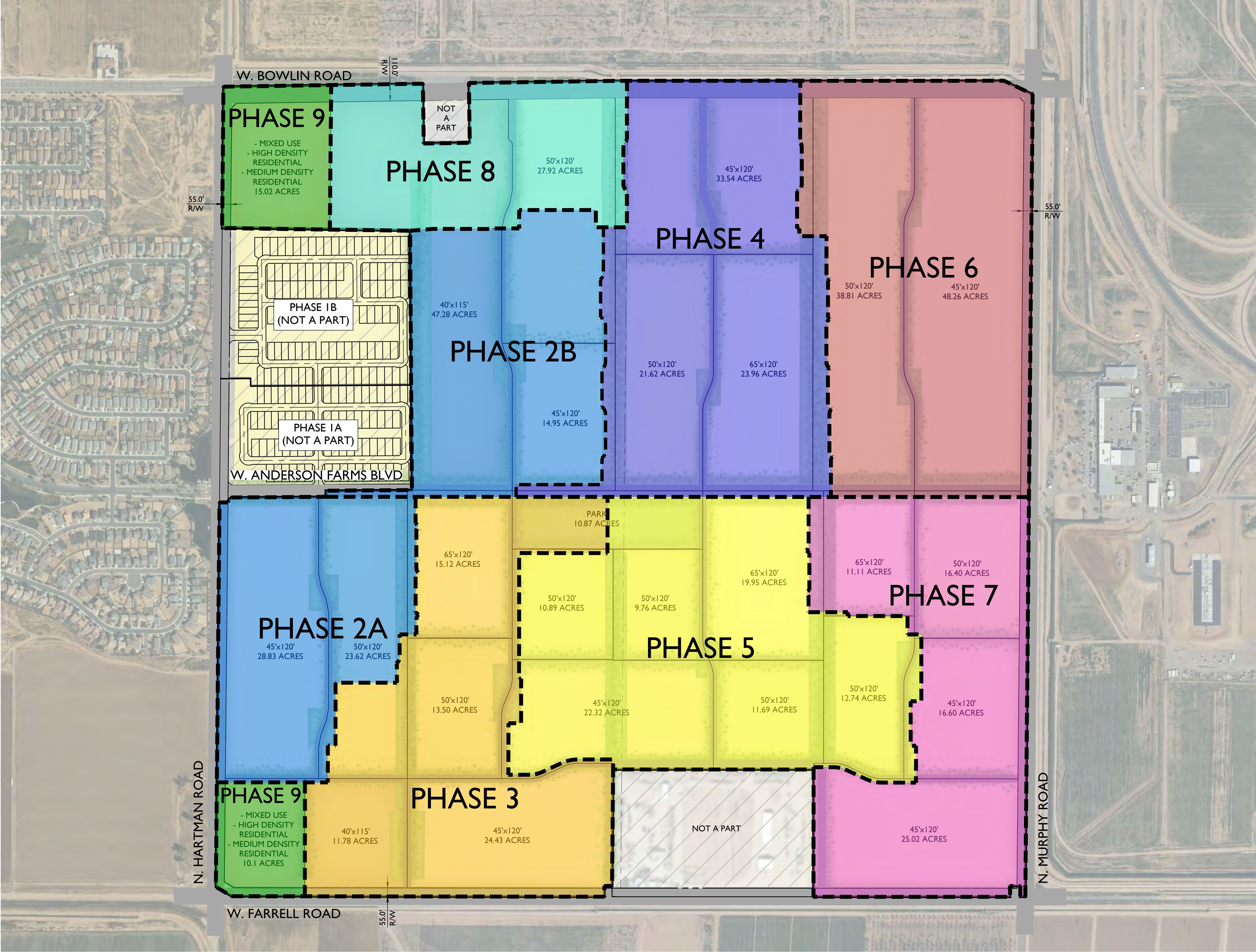


Exhibit F

City
General
Plan





PHASING SUMMARY	
PHASE 2A	46.13 ACRES
PHASE 2B	51.21 ACRES
PHASE 3	77.83 ACRES
PHASE 4	84.88 ACRES
PHASE 5	89.09 ACRES
PHASE 6	86.44 ACRES
PHASE 7	67.69 ACRES
PHASE 8	38.06 ACRES
PHASE 9	24.80 ACRES
TOTAL	566.13 ACRES



**TIFFANY
& BOSCO**
P.A.

Citizen Participation Plan & Citizen Participation Report

ANDERSON FARMS

*640 acres bounded by Bowlin Rd. to the north, Farrell Rd. to the south, Murphy Rd. to the east
and Hartman Rd. to the west*

Plan Submitted: November 5, 2021
Resubmitted: December 1, 2021





The Purpose of the Citizen Participation Plan (“CPP”) is to ensure that applicants pursue that early and effective citizen participation in conjunction with their land use applications. By doing so, this will allow residents and property owners the opportunity to understand and try to mitigate any real or perceived impacts the proposed land use application may have on the community. This will also ensure that the citizens and property owners of the City of Maricopa have an adequate opportunity to learn about applications that may affect them and to work with applicants to resolve concerns at an early stage of the process; and facilitate staff, and elected officials throughout the application review process.

Narrative

This CPP is for the proposed rezone of 569 acres of real property located between Bowlin Road to the north, Farrell Road to the south, Murphy Road to the east and Hartman Road to the west (“Property”), in the City of Maricopa, AZ (“City”). The request is to create a new Planned Area Development (“PAD”) zoning district. Refer to **Tab 1** for a review of the Project Narrative and the Aerial Vicinity Map.

Draft Notification Letters

As part of the required City notification process, we will draft notification letters to send to all property owners within 300 feet of the Property. We will also draft a legal advertisement to place in the local newspapers and send City staff drafts for review at the appropriate time. Finally, we will post the site with the required posting language and number of signs to alert stakeholders of the proposal. All of this information will be drafted and sent to the City for review after the City reviews and comments on our initial submittal.

Neighborhood Meeting

The applicant is required to hold one meeting prior to the first public hearing on an application for a specific site but may hold more if desired. The required meeting shall be held at least 15 days and not more than 90 days before the first public hearing on the application. Meetings held more than 90 days before the first public hearing shall be required to hold an additional neighborhood meeting. Neighborhood meetings shall not occur until after any required preliminary review meeting and consultation with the planning division staff.

The neighborhood notice and meeting materials must be submitted with the project application(s) to the development services department, unless otherwise deferred by the zoning administrator to a later date. At a minimum, the following materials must be submitted:



- a. A narrative discussing the proposed time, place, and location within the city of the neighborhood meeting;
- b. A list of names and addresses, labeled, stamped envelopes of all the property owners within the target area, and a notarized affidavit by the applicant that the list of names and addresses is accurate, current and complete;
- c. A list of names and addresses of all other interested parties who have requested that they be placed on a notification list maintained by the city clerk;
- d. A notification letter including a general explanation of the substance of the proposed application; the date, time and place within the city scheduled for a neighborhood meeting and for all other city meetings; and the city and applicant contacts;
- e. An eight-and-one-half-inch by 11-inch reduction of the proposed neighborhood sign; and
- f. The applicant's schedule for completion of the neighborhood meeting.

Our intent is to comply with the requirements set forth in the Zoning Code regarding the neighborhood meeting requirement by providing the zoning administrator or their designee an opportunity to (a) to review and approve all notification materials, neighborhood meeting location, a brief description of the property change and a land map; (b) to notify the applicant to proceed with the neighborhood meeting; and (c) for mailing the property owner notifications provided by the applicant.

In addition to the above, we intend to meet the remainder of the citizen involvement requirements by:



Notification Requirements

Notice of the neighborhood meeting shall be provided at least 15 calendar days prior to the neighborhood meeting by the applicant in the following manner:

1. Mailed Notice. Written notice shall be mailed to all owners and occupants within 300 feet of the subject property, or a larger area as determined by the zoning administrator, and to such other persons as the development services department, or authorized designee, determines to be other potentially affected citizens.
2. Posted Notice. Notice shall be provided on the proposed site. The sign shall be waterproof and have a minimum size of 24 inches by 36 inches (36 inches by 48 inches for planned area developments, zoning code amendments and general plan amendments) with all information evenly spaced and organized in a readable manner. The sign shall be placed on the property in a location determined by the zoning administrator or authorized designee.
3. Electronic Notice. Where applicable and not in violation of state law, notice may be provided by electronic means such as emailed notice, posted notice on the city's website, or other means determined by the zoning administrator. This type of notice may be substituted for advertised notice. Any persons or organizations may request that electronic notice be substituted for mailed notice through a request to the zoning administrator. Electronic notice cannot be substituted for certain legislative actions, such as rezoning.
4. Contents of Notices. All notices shall contain information about the proposal, project description, time, date, location of neighborhood meeting and subsequent city meetings for review and approval (if available), the names and telephone numbers of citizens may call with questions and issues, and applicant and city of Maricopa contacts, including name and telephone number.
5. Meeting Summary. The applicant shall submit to the development services department 10 calendar days before the first public hearing on the matter a written summary of the issues and discussions from the meeting and the meeting notes. This report will be



attached to the development services department's public hearing report and, at a minimum, include the following information:

6. Details of techniques the applicant used to involve the public, including:
 - a. Date(s) and location of meeting;
 - b. Content, dates mailed, and numbers of mailings, including letters, meeting notices, newsletters, maps and other publications;
 - c. A copy of the sign-in sheet from the neighborhood meeting which shall include attendee signatures, physical property address, date and the following language: "This sign-in sheet is intended to serve as proof that public input was pursued. Your personal information will not be used for solicitation purposes."
 - d. A photograph of the posted neighborhood meeting sign showing the date and time at which the photo was taken; and
 - e. A newspaper clipping of the legal advertisement as published in the newspaper of general circulation in the city or the electronic notice if allowed as set forth in subsection (F)(4) of this section.
7. A summary of concerns, issues and problems expressed during the process, including:
 - a. The substance of the concerns, issues, and problems;
 - b. How the applicant has addressed or intends to address concerns, issues and problems expressed during the process; and
 - c. Concerns, issues, and problems the applicant is unwilling or unable to address and why.

Once we conclude our public participation, we will meet all of the City's public hearing notification requirements per Section 18.140.060, Public hearing notification of the City's Zoning Code.



If requested, we will meet individually with anyone who contacts us for more information. We will detail our discussions in our final Citizen Participation Results Report.

Response Procedures

We will respond to all input and comments we receive from parties affected by our application. We will also provide our responses to City Staff for their records. We will follow-up as necessary to ensure proper responses are provided, and information is shared regarding the status of the request to interested stakeholders. We will provide the City with copies of our correspondence, letters, and information shared with stakeholders. In addition, maps and lists of stakeholders and property owners will be included in our final Citizen Participation Results Report.

Schedule of Completion

We are submitting the PAD Rezoning request for the Property with this Citizen Participation Plan in July 2021. We will be prepared to meet with any other stakeholder, if requested, after sending the notification letter posting notification signs on the Property. We will provide City Staff with a completed Citizen Participation Results Report with the details and techniques used to involve the public and provide a summary of concerns, issues, and resolutions to these issues. We anticipate our public outreach to occur throughout the rezoning process.

Status Procedure

We will update the City staff via email and telephone calls of important issues that come about as the result of our public outreach. The entire report will be completed prior to the time the City informs us of the pending City Planning Commission hearing date. If additional public outreach occurs after the submittal of the Citizen Participation Results Report, we will provide updates to inform City Staff and board members.



CITIZEN PARTICIPATION PLAN UPDATE/RESULTS REPORT

The following is the final Citizen Review Report (“CRR”) regarding our outreach and the interactions we had within neighbors and stakeholders.

Details and Techniques Used to Involve the Public

Include all dates and locations of all meetings where citizens were invited to discuss the owner or authorized agent’s proposal.

Response: A public neighborhood meeting was held on November 1, 2021 from 6:00PM – 7:00PM at Desert Wind Middle School.

Provide the content, dates mailed, and number of mailings, including letters, meeting notices, Newsletters and other publications.

Response: Notification letters were mailed out to all homeowners within 600ft of the property. Please refer to **Tab 2** for a copy of the notification letters regarding neighborhood meeting and hearing updates. We also placed a legal ad in Casa Grande Dispatch October 12th edition and November 27th. Please refer to **Tab 3** for a copy of the legal ads. Two signs were also placed on the property on October 15, 2021 and November 23rd. Please refer to **Tab 4** for a copy of the site postings and affidavits.

Indicate the location of residents, property owners, and interested parties receiving notices, Newsletters or other written materials.

Response: All property owners within 600 feet were notified.

Indicate the number of people that participated in the process.

Response: We had two (2) neighbors attend our neighborhood meeting on November 1, 2021. Please refer to **Tab 5** for a copy of the sign-in sheet.



Summary of Concerns, Issues and Problems

Describe the substance of concerns, issues, and problems.

Summary: One (1) neighbor was not in favor of multi-family uses or gas stations within the proposed PAD. We had a cordial discussion about our proposal and issues he was having with his homeowners association in the Sorrento community.

Describe how the owner or authorized agent has addressed or intends to address perceived or real concerns, issues, and problems expressed during the process.

Summary: Only one (1) of the attendees had concerns regarding our proposal. His concerns included homeowner's association issues with his current association, did not want a gas station or apartments in the mixed-use areas of Anderson Farms.

Describe perceived or real concerns, issues, and problems with which the owner or authorized agent disagrees, which the owner or authorized agent cannot address, or which the owner or authorized agent chooses not to address, including an explanation of the owner or authorized agent's reasoning.

Response: We discussed with the resident on ways to stay informed with new development proposals on the City's website. The potential for a gas station may require a conditional use permit and apartments will require some sort of site plan review. We had a good discussion with both open house meeting attendees.

We will continue to provide Staff with updates throughout the entitlement process.

TAB 1



Anderson Farms

Planned Area Development (PAD)

PROJECT NARRATIVE

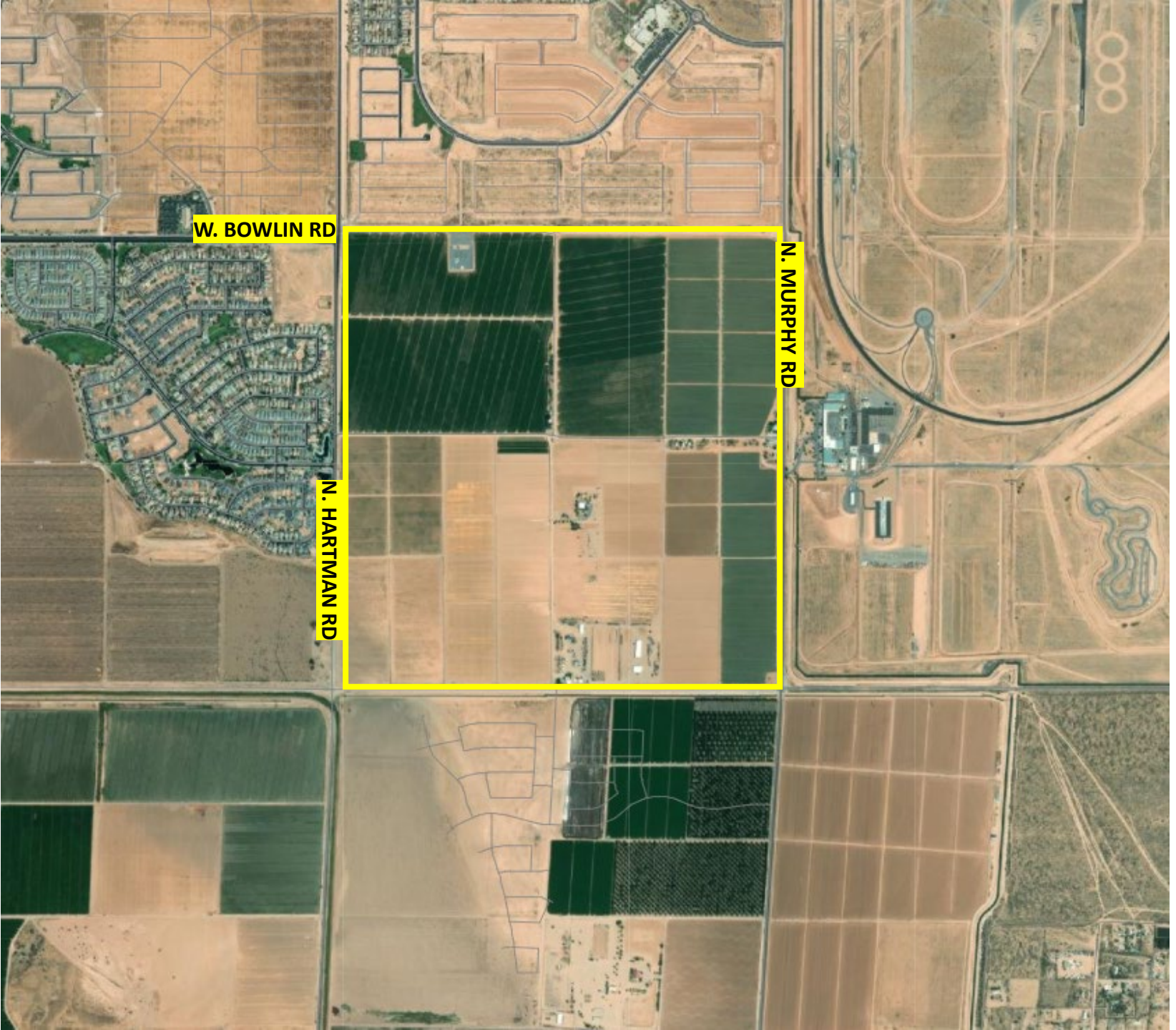
August 26, 2021

We represent Lennar (“Applicant”), one of America’s leading homebuilders and a Fortune 500 company, who desires to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road (“Property”) immediately west of the current Volkswagen proving grounds, in the City of Maricopa, AZ (“City”). The request is to create a new Planned Area Development (“PAD”) zoning district of several different types of residential neighborhoods with a plethora of integrated open space and mixed-use areas.

The purpose of the request is to create a new unique and cohesively planned area to suit the ever-growing need for local single family residential homes. The Property currently consists of two (2) parcels that will eventually make up one individual PAD that proposes several integrated residential neighborhoods with active and passive open spaces and trail connections. Additionally, the design concept of the neighborhoods will pay homage to the essence of the region’s agricultural composition.

The request is to rezone parcels 502-03-015F and 502-03-015H from existing RA - Agricultural zoning to the City’s PAD zoning to allow for an innovative set of single-family subdivisions and neighborhoods that are planned as part of a larger master plan. The proposed PAD will work with the City to construct a solution to handle the major wash corridor and development of public streets, along with private passive and active open spaces for the future residents of the community. In addition to the planned residential enclaves within the PAD, the proposal is to provide for two (2) mixed-use areas at the northwest and southwest corners of the Property. This land planning will enable the potential for community and neighborhood uses that provide for the goods and services necessary to support the planned residential community and surrounding communities. The mixed-use designation will provide for a number of commercial, employment and multi-family and dense single family residential uses. Refer to Exhibit C for the proposed conceptual PAD land use plan.

The proposed PAD zoning is in conformance with the City’s General Plan land use designation of ‘Master Planned Community.’ The PAD will use the City’s RS-5 (Medium Density Residential) zoning district for the proposed single family residential neighborhoods and the City’s MU-G (Mixed-Use General) zoning district for the proposed mixed-use corners within the proposed development. The PAD proposed an intricate internal public streets system, paths, trails and parks to create a self-sustaining community for the eastern end of the City.



TAB 2



**TIFFANY
& BOSCO**
P.A.

October 15, 2021

RE: PAD21-09 – Planned Area Development for Anderson Farms – Northwest corner of Murphy Road and Farrell Road.

Dear neighbor, homeowners' associations, and stakeholders:

Lennar ("Applicant") owns and is seeking input for a proposed development of approximately 569 acres of land located at the northwest corner of Murphy Road and Farrell Road immediately west of the current Volkswagen proving grounds, and identified by Pinal County Assessor Parcel Numbers APN-502-03-015F and 502-03-015H (the "Property"). The Applicant has filed an application with the City of Maricopa for a proposed Planned Area Development (PAD) to develop what will eventually be a mixed-use development of primarily single-family homes with varying lot sizes and designs. With the provision for mixed-use areas at the northwest and southwest corners of the property, the proposed land plan will allow for a residential community to develop with land reserved for future retail and service uses. Open space corridors, trails, parks, and necessary drainage improvements are also a part of the proposal.

We invite you to join us for an open house meeting to discuss this proposal and learn more about the Applicant and the development proposal for the Property.

<p>Neighborhood Meeting Date: November 1, 2021 Time: 6:00 – 7:00 P.M. Location: Desert Wind Middle School – Library 35565 Honeycutt Road Maricopa, AZ 85138</p>	
<p>Planning & Zoning Commission: Date: TBD Time: 6:00 P.M. Location: City Hall – 39700 W. Civic Center Plaza Maricopa, AZ 85138</p>	<p>City Council: Date: TBD Time: 7:00 P.M. Location: City Hall – 39700 W. Civic Center Plaza Maricopa, AZ 85138</p>

According to the Pinal County Assessor records, you are a property owner within 600 feet of the property under consideration. To better inform you of the public meeting scheduled for this matter, this notice is being sent to you via first class mail.

If you wish to provide input on this matter, you may attend each of the meetings listed above or submit written comment before or at the meeting. If you have any questions concerning this matter, please contact Kurt Jones, Senior Planner at Tiffany & Bosco representing the Applicant at kajones@tblaw.com or 602-452-2729. You may also contact the assigned City Senior Planner, Byron Easton, at 520-568-9098 or by email at Byron.Easton@maricopa-az.gov subject Anderson Farms, case # PAD21-09.

Please see additional pages for project narrative and PAD exhibit.

Sincerely,

Kurt Jones



Anderson Farms

Planned Area Development (PAD)

PROJECT NARRATIVE

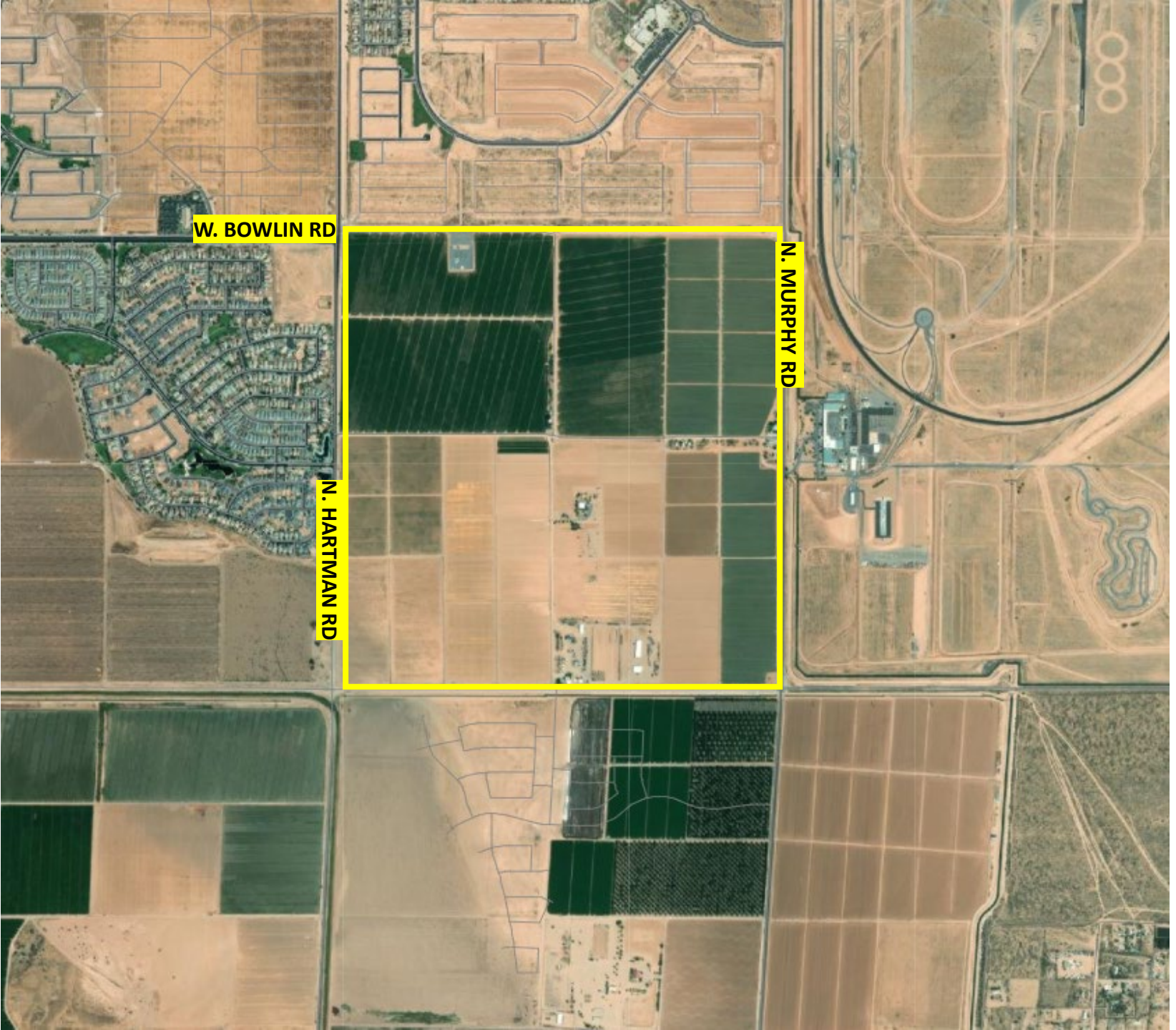
August 26, 2021

We represent Lennar (“Applicant”), one of America’s leading homebuilders and a Fortune 500 company, who desires to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road (“Property”) immediately west of the current Volkswagen proving grounds, in the City of Maricopa, AZ (“City”). The request is to create a new Planned Area Development (“PAD”) zoning district of several different types of residential neighborhoods with a plethora of integrated open space and mixed-use areas.

The purpose of the request is to create a new unique and cohesively planned area to suit the ever-growing need for local single family residential homes. The Property currently consists of two (2) parcels that will eventually make up one individual PAD that proposes several integrated residential neighborhoods with active and passive open spaces and trail connections. Additionally, the design concept of the neighborhoods will pay homage to the essence of the region’s agricultural composition.

The request is to rezone parcels 502-03-015F and 502-03-015H from existing RA - Agricultural zoning to the City’s PAD zoning to allow for an innovative set of single-family subdivisions and neighborhoods that are planned as part of a larger master plan. The proposed PAD will work with the City to construct a solution to handle the major wash corridor and development of public streets, along with private passive and active open spaces for the future residents of the community. In addition to the planned residential enclaves within the PAD, the proposal is to provide for two (2) mixed-use areas at the northwest and southwest corners of the Property. This land planning will enable the potential for community and neighborhood uses that provide for the goods and services necessary to support the planned residential community and surrounding communities. The mixed-use designation will provide for a number of commercial, employment and multi-family and dense single family residential uses. Refer to Exhibit C for the proposed conceptual PAD land use plan.

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W. BOWLIN RD

N. MURPHY RD

N. HARTMAN RD



**TIFFANY
& BOSCO**
P.A.

November 23, 2021

***HEARING UPDATE**

RE: PAD21-09 – Planned Area Development for Anderson Farms – Northwest corner of Murphy Road and Farrell Road.

Dear neighbor, homeowners' associations, and stakeholders:

Lennar ("Applicant") owns and is seeking input for a proposed development of approximately 569 acres of land located at the northwest corner of Murphy Road and Farrell Road immediately west of the current Volkswagen proving grounds, and identified by Pinal County Assessor Parcel Numbers APN-502-03-015F and 502-03-015H (the "Property"). The Applicant has filed an application with the City of Maricopa for a proposed Planned Area Development (PAD) to develop what will eventually be a mixed-use development of primarily single-family homes with varying lot sizes and designs. With the provision for mixed-use areas at the northwest and southwest corners of the property, the proposed land plan will allow for a residential community to develop with land reserved for future retail and service uses. Open space corridors, trails, parks, and necessary drainage improvements are also a part of the proposal.

We invite you to join us for an open house meeting to discuss this proposal and learn more about the Applicant and the development proposal for the Property.

<p>Neighborhood Meeting Date: November 1, 2021 Time: 6:00 – 7:00 P.M. Location: Desert Wind Middle School – Library 35565 Honeycutt Road Maricopa, AZ 85138</p>	
<p>Planning & Zoning Commission: Date: December 13, 2021 Time: 6:00 P.M. Location: City Hall – 39700 W. Civic Center Plaza Maricopa, AZ 85138</p>	<p>City Council: Date: January 18, 2022 Time: 7:00 P.M. Location: City Hall – 39700 W. Civic Center Plaza Maricopa, AZ 85138</p>

According to the Pinal County Assessor records, you are a property owner within 600 feet of the property under consideration. To better inform you of the public meeting scheduled for this matter, this notice is being sent to you via first class mail.

If you wish to provide input on this matter, you may attend each of the meetings listed above or submit written comment before or at the meeting. If you have any questions concerning this matter, please contact Kurt Jones, Senior Planner at Tiffany & Bosco representing the Applicant at kajones@tblaw.com or 602-452-2729. You may also contact the assigned City Senior Planner, Byron Easton, at 520-568-9098 or by email at Byron.Easton@maricopa-az.gov subject Anderson Farms, case # PAD21-09.

Please see additional pages for project narrative and PAD exhibit.

Sincerely,


Kurt Jones



Anderson Farms

Planned Area Development (PAD)

PROJECT NARRATIVE

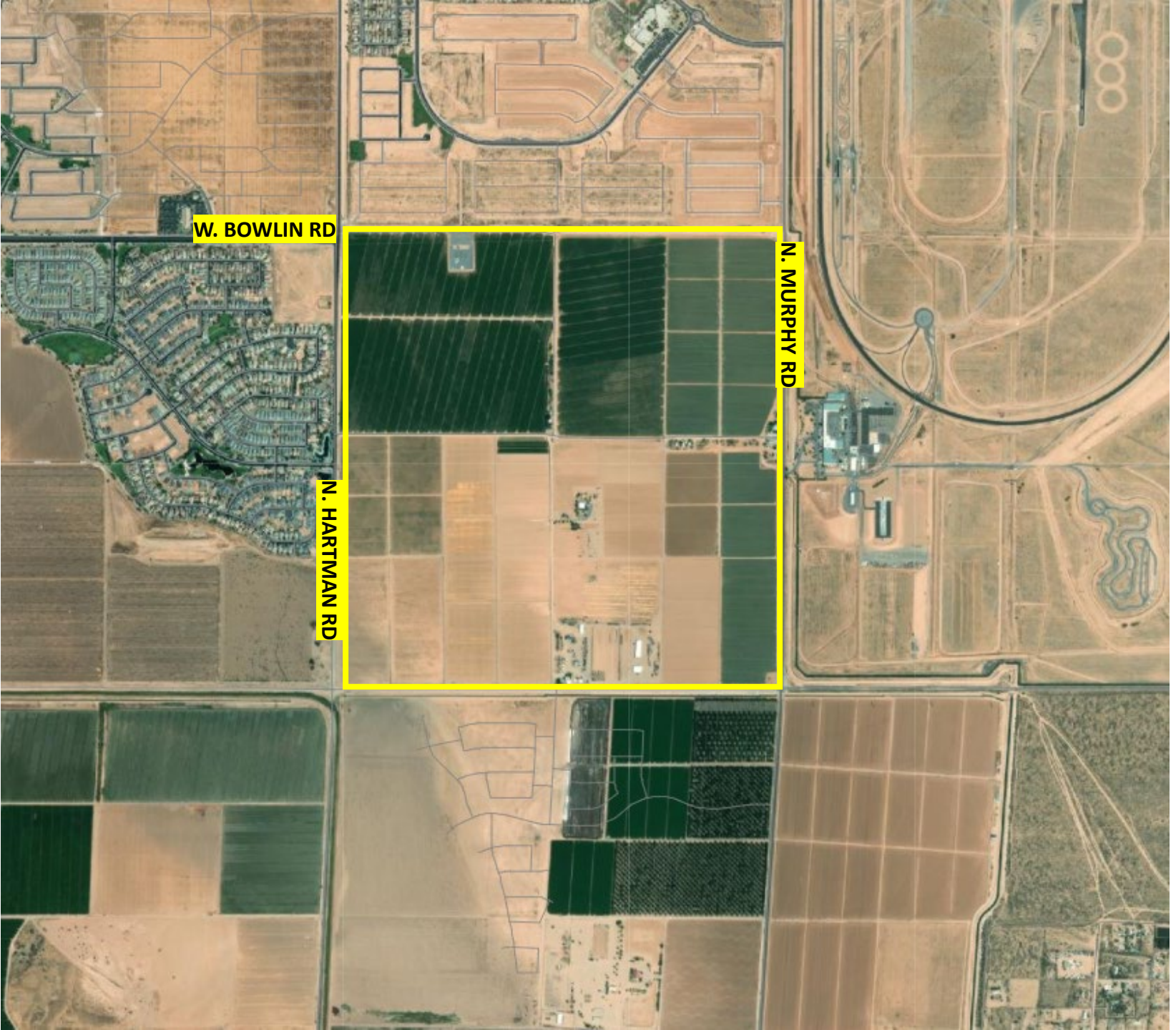
August 26, 2021

We represent Lennar (“Applicant”), one of America’s leading homebuilders and a Fortune 500 company, who desires to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road (“Property”) immediately west of the current Volkswagen proving grounds, in the City of Maricopa, AZ (“City”). The request is to create a new Planned Area Development (“PAD”) zoning district of several different types of residential neighborhoods with a plethora of integrated open space and mixed-use areas.

The purpose of the request is to create a new unique and cohesively planned area to suit the ever-growing need for local single family residential homes. The Property currently consists of two (2) parcels that will eventually make up one individual PAD that proposes several integrated residential neighborhoods with active and passive open spaces and trail connections. Additionally, the design concept of the neighborhoods will pay homage to the essence of the region’s agricultural composition.

The request is to rezone parcels 502-03-015F and 502-03-015H from existing RA - Agricultural zoning to the City’s PAD zoning to allow for an innovative set of single-family subdivisions and neighborhoods that are planned as part of a larger master plan. The proposed PAD will work with the City to construct a solution to handle the major wash corridor and development of public streets, along with private passive and active open spaces for the future residents of the community. In addition to the planned residential enclaves within the PAD, the proposal is to provide for two (2) mixed-use areas at the northwest and southwest corners of the Property. This land planning will enable the potential for community and neighborhood uses that provide for the goods and services necessary to support the planned residential community and surrounding communities. The mixed-use designation will provide for a number of commercial, employment and multi-family and dense single family residential uses. Refer to Exhibit C for the proposed conceptual PAD land use plan.

The proposed PAD zoning is in conformance with the City’s General Plan land use designation of ‘Master Planned Community.’ The PAD will use the City’s RS-5 (Medium Density Residential) zoning district for the proposed single family residential neighborhoods and the City’s MU-G (Mixed-Use General) zoning district for the proposed mixed-use corners within the proposed development. The PAD proposed an intricate internal public streets system, paths, trails and parks to create a self-sustaining community for the eastern end of the City.



W. BOWLIN RD

N. MURPHY RD

N. HARTMAN RD

TAB 3

WE THE PEOPLE ...

have the right to know what's happening in our cities, towns and neighborhoods.

All across America, Public Notices are your 'Right to Know.' A single database of Public Notices has been created by newspapers in thirteen states.

Legislatures require many kinds of public notices so you stay informed about government, corporate and private activities that touch your world. Newspapers have enhanced the legislative intent and made them available in one place, any time you need them.

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You can view all current and archived notices on this site.



Public Notices	Public Notices	Public Notices	Public Notices	Public Notices	Public Notices
<p>"NOTICE (for publication) ARTICLES OF ORGANIZATION HAVE BEEN FILED IN THE OFFICE OF THE ARIZONA CORPORATION COMMISSION FOR I. Name: BLUE GROUSE, LLC II. The address of the known place of business is: 730 N MULESHOE RD, APACHE JUNCTION, AZ 85119 III. The name and street address of the Statutory Agent is: MATTHEW D. JALLO, 730 N MULESHOE RD, APACHE JUNCTION, AZ 85119 B. Management of the limited liability company is reserved to the members. The names and addresses of each person who is a member are: MATTHEW D. JALLO, 730 N MULESHOE RD, APACHE JUNCTION, AZ 85119, member" No. of publications: 3; dates of publication: Oct. 12, 14, 16, 2021.</p> <p>IN THE COURT OF COMMON PLEAS JEFFERSON COUNTY, OHIO CASE NO. 21DR246 REQUEST, AFFIDAVIT & ORDER FOR SERVICE BY PUBLICATION Danielle McCullough 133 Woodmont Ave. Stuebenville, OH 43952 PLAINTIFF/PETITIONER VS Keith McCullough 9949 W Copper Kettle Dr. Casa Grande, AZ 85193 DEFENDANT/ RESPONDENT Pursuant to Ohio Civil Rule 4.4(A) (2), the undersigned Danielle McCullough (affiant) being duly sworn according to law hereby requests service by posting and states as follows: 1. Keith McCullough (name of party) is the moving party in this request for service by posting in the county in which the action is filed. 2. I am proceeding in forma pauperis as indicated by the application and affidavit of indigency that has been filed. I do not know the address of the non-moving party. I cannot obtain it through the use of reasonable diligence. 3. The last known address of Keith McCullough, the person to be served, was PO Box 292, Arizona City, AZ 85123. 4. The following efforts have been made to find the current residence of the person to be served: [x] sent mail to the last known address [x] other efforts to locate the person to be served: Talked to Keith McCullough, he gave address 5. After doing all of above I have not been able to locate the current address of the person to be served. Service of summons cannot be made by other means because the current residence of the person to be served is unknown to the undersigned. I have personally prepared and</p>	<p>Signed and sworn to be before me on this 5 day of October, 2021. (seal) Donna Straney Notary Public, State of Ohio My Commission Expires 12/4/2023 /s/Donna Straney Notary No. of publications: 6; dates of publication: Oct. 16, 23, 30, Nov 06, 13, 20, 2021.</p> <p>City of Casa Grande, Arizona Notice of Public Hearing City Council Meeting Notice is hereby given that the Casa Grande City Council will hold a public hearing at its regularly scheduled meeting Monday, November 1, 2021 at 7:00 P.M. in the City Council Chambers at City Hall, located at 510 E. Florence Blvd. to consider the following: 1. Hold public hearing and consider approval of a request by EPS Group, INC for DSA-21-00156 for a Zone Change from a portion of Sonoran Heights PAD (Planned Area Development) to R-2 for +/- 242.5 acres of land generally located at the northeast corner of Earley Rd. and Henness Rd. (Planner James Gagliardi) 2. Hold public hearing and consider approval of a request by Pew & Lake, PLC for DSA-21-00060 for a Major PAD Amendment to a portion of the G-Diamond Ranch PAD (Planned Area Development) for +/- 30.89 acres of land generally located at the northwest corner of Cottonwood Ln. and Pearl Rd., the amendment consist of removing commercial and single-family residential land use, and revising an area of multi-family land use to allow single and two-family build to rent at 12 dwelling units per acre. (Planner James Gagliardi) By: Natalie Stephens, Administrative Assistant City of Casa Grande. No. of publications: 1; date of publication: Oct. 16, 2021.</p> <p>NOTICE OF PUBLIC HEARING MAJOR GENERAL PLAN AMENDMENT CASE GPA21-03 REQUEST TO AMEND THE GENERAL PLAN LAND USE DESIGNATION FOR THE +/- .995 ACRE SITE LOCATED AT THE SOUTHWEST CORNER OF THE MURPHY AND VAL VISTA ROAD ALIGNMENTS FROM A MIX OF MASTER PLANNED COMMUNITY (MPC), LOW DENSITY RESIDENTIAL (LDR) TO MASTER PLANNED COMMUNITY (MPC). City Council Meeting November 16, 2021 @ 7:00pm City Hall 39700 W. Civic Center Plaza Maricopa, AZ 85138 Anyone wishing to appear and make comment is encouraged to</p>	<p>Division, Attn: Rodolfo Lopez at 39700 W Civic Center Plaza, Maricopa, AZ 85138 or email him at rodolfo.lopez@maricopa-az.gov. Please include name, address, telephone number and signature. For questions, contact the Planning and Zoning Division at (520) 568-9098. Published in: the Casa Grande Dispatch Date Published: October 16, 2021 No. of publications: 1; date of publication: Oct. 16, 2021.</p> <p>THE NEXT CHAPTER FAMILY LAW CENTER 1 South Church Avenue, Suite 1200 Tucson, Arizona 85701 (520) 448.5051 Richard M. Wintory State Bar No. 002768/PAN 65696 Richard.Wintory@nextchapter-law.net Attorney for Applicant IN THE SUPERIOR COURT OF THE STATE OF ARIZONA IN AND FOR THE COUNTY OF PINAL NO. 202100419 NOTICE TO CREDITORS (For Publication) In the Matter of the Estate of: CORINA GONZALEZ DIAZ DOB: May 23, 1927 Deceased. Notice is given that FRANK DIAZ was appointed personal representative of this estate on September 13, 2021. All persons having claims against the estate are required to present their claims within four (4) months after the date of the first publication of this notice or the claims will be forever barred. Claims must be presented by delivering or mailing a written statement of the claim to the personal representative in care if THE NEXT CHAPTER LAW CENTER, 1 South Church, #1200, Tucson, AZ. 85701. DATED: 9-16-2021 /s/Frank Diaz FRANK DIAZ PO Box 5672, Oracle, AZ. 85623 No. of publications: 3; dates of publication: Oct. 09, 16, 23, 2021.</p> <p>NEWSPAPER NOTICE NOTICE OF NEIGHBORHOOD MEETING, PUBLIC HEARING AND PUBLIC MEETING Rezoning Case PAD21-09 Neighborhood Meeting Desert Wind Middle School - Library Center; November 1, 2021 at 6:00 PM - 7:00 PM 35565 Honeycutt Road, Maricopa, AZ 85138 Planning & Zoning Commission Meeting (PUBLIC HEARING) TBD @ 6:00 p.m. City Hall 39700 W. Civic Center Plaza Maricopa, AZ 85138 City Council Meeting TBD @ 7:00 p.m.</p>	<p>42999 W SAMUEL DRIVE, MARICOPA, AZ 85138 PRINCIPALS Member: Nicholas Mckee, 42999 W Samuel Drive, MARICOPA, AZ 85138, USA, nmckee@paragonadornmentsllc.com, Date of Taking Office: 09/13/2021 Member: violet mckee, 42999 w samuel dr, MARICOPA, AZ 85138, USA, vmckee@paragonadornmentsllc.com, Date of Taking Office: 09/10/2021 ORGANIZERS violet mckee: 42999 W SAMUEL DRIVE, MARICOPA, AZ 85138, USA, vmckee@paragonadornmentsllc.com SIGNATURES Organizer: violet mckee, 09/28/2021 No. of publications: 3; dates of publication: Oct. 14, 16, 19, 2021.</p> <p>STEPHEN R. COOPER, State Bar No.: 009056 COOPER & RUETER, L.L.P. 221 N. Florence Street Casa Grande, Arizona 85122-4420 Telephone: (520) 836-8265 Facsimile: (520) 421-0916 Email: src@centralazlaw.com Attorney for Personal Representative IN THE SUPERIOR COURT OF THE STATE OF ARIZONA IN AND FOR THE COUNTY OF PINAL Case No.: PB 2021-00527 NOTICE TO CREDITORS In the matter of the Estate of: GLORIA KENWORTHY DAVIS, Deceased. NOTICE IS HEREBY GIVEN THAT DAWN E. URTON, has been appointed Personal Representative of this Estate. All persons having claims against the Estate are required to present their claims within four (4) months after the date of the first publication of this Notice or claims will be forever barred. Claims must be presented by delivering or mailing a written statement of the claim to DAWN E. URTON, c/o Stephen R. Cooper, COOPER & RUETER, L.L.P., 221 North Florence Street, Casa Grande, Arizona 85122-4420. DATED This 28 day of September, 2021. COOPER & RUETER, L.L.P. By: /s/Stephen R. Cooper STEPHEN R. COOPER Attorney for Personal Representative No. of publications: 3; dates of publication: Oct. 02, 09, 16, 2021.</p> <p>FITZGIBBONS LAW OFFICES, PLLC 1115 E. Cottonwood Lane, Suite 150 P.O. Box 11208 Casa Grande, AZ 85130-0148 Phone: (520) 426-3824 Fax: (520) 426-9355 calendarino@fitzibbonslaw.com</p>	<p>office required to be maintained by A.R.S. 29-604 is: 9227 W WEAVER CIRCLE CASA GRANDE, AZ 85194 ARTICLE THREE STATUTORY AGENT The name and address of the agent for service of process required to be maintained by A.R.S. Section 29-604 is: JOSE A SALCIDO 9227 W WEAVER CIRCLE CASA GRANDE, AZ 85194 ARTICLE FOUR MANAGEMENT There is (2) managers at the time this limited liability company is formed pursuant to the provisions of A.R.S. Section 29-632 A.3. The names and addresses are: JOSE A SALCIDO 9227 W WEAVER CIRCLE CASA GRANDE, AZ 85194 AND JENNIFER SALCIDO 9227 W WEAVER CIRCLE CASA GRANDE, AZ 85194 ARTICLE FIVE DURATION The duration of the limited liability company shall be perpetual. IN WITNESS WHEREOF, The undersigned has executed these Articles of Organization on the 1st day of OCTOBER, 2021. JOSE A SALCIDO, MANAGER JOSE A SALCIDO, MEMBER ARTICLE SIX DURATION The duration of the limited liability company shall be perpetual. No. of publications: 3; dates of publication: Oct. 14, 16, 19, 2021.</p> <p>DR. THOMAS MASTERS, D.O. This serves as public notice that DR. THOMAS MASTERS, D.O. announces his official retirement effective October 1, 2021. Patients will no longer be seen as of said date. Please address any questions or concerns to POB 11326, Casa Grande, AZ 85130.</p> <p>TOMAR PAIN CENTERS, PLLC This serves as public notice that TOMAR PAIN CENTERS, PLLC has ceased operations and is no longer seeing patients effective October 1, 2021. Please address any questions or concerns to POB 11326, Casa Grande, AZ 85130.</p> <p>PC PAIN DOCTORS, PLLC This serves as public notice that PC PAIN DOCTORS, PLLC has ceased operations and is no longer seeing patients effective October 1, 2021. Please address any questions or concerns to POB 11326, Casa Grande, AZ 85130. No. of publications: 2; dates of publication: Oct. 09, 16, 2021.</p> <p>Edwin M. van Vianen 1115 E. Cottonwood Lane Suite 150 Casa Grande, AZ 85122 (520) 426-3824</p>	<p>3. If this Summons and the other court papers were served on you within the State of Arizona, your Answer must be filed within TWENTY (20) CALENDAR DAYS from the date of service, not counting the day of service. If this Summons and the other court papers were served on you outside the State of Arizona, your Answer must be filed within THIRTY (30) CALENDAR DAYS from the date of service, not counting the day of service. Requests for reasonable accommodation for persons with disabilities must be made to the court by parties at least 3 working days in advance of a scheduled court proceeding. GIVEN under my hand and the Seal of the Superior Court of the State of Arizona in and for the County of PINAL SIGNED AND SEALED this date: August 13, 2021 Rebecca Padilla Clerk of Superior Court By:MMASTERS Deputy Clerk (seal) No. of publications: 3; dates of publication: Oct. 16, 23, 30, Nov. 06, 2021.</p> <p>Edwin M. van Vianen 1115 E. Cottonwood Lane Suite 150 Casa Grande, AZ 85122 (520) 426-3824 calendarino@fitzibbonslaw.com (if Attorney) State Bar Number: 018939, Issuing State: AZ IN THE SUPERIOR COURT OF THE STATE OF ARIZONA IN AND FOR THE COUNTY OF PINAL Case No. S1100CV202101623 SUMMONS Peacock Nuts, LLC Plaintiff(s), v. JM3 US Farm Services, LLC, et al. Defendant(s). To: Manuel Suenaga WARNING: THIS AN OFFICIAL DOCUMENT FROM THE COURT THAT AFFECTS YOUR RIGHTS. READ THIS SUMMONS CAREFULLY. IF YOU DO NOT UNDERSTAND IT, CONTACT AN ATTORNEY FOR LEGAL ADVICE. 1. A lawsuit has been filed against you. A copy of the lawsuit and other court papers were served on you with this Summons. 2. If you do not want a judgment taken against you without your input, you must file an Answer in writing with the Court, and you must pay the required filing fee. To file your Answer, take or send the papers to Clerk of the Superior Court, 971 Jason Lopez Circle</p>

o. I have separately prepared and am submitting the required Legal Notice for Publication.
Dated: 10/5/21
/s/Danielle McCullough
(name)
AFFIANT

make comment is encouraged to attend. Written comments are welcome and if received prior to the meeting, will be included in the record. All comments or appeals should be sent in a written form to the Planning and Zoning

City Hall
39700 W. Civic Center Plaza
Maricopa, AZ 85138
NOTICE IS HEREBY GIVEN THAT at the above listed meeting, a PUBLIC HEARING will be held at the above stated date, time, and location.

Lennar ("Applicant"), one of America's leading homebuilders and a Fortune 500 company, desires to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road ("Property") immediately west of the current Volkswagen proving grounds, in the City of Maricopa, AZ ("City"). The purpose of the request is to create a new unique and cohesively planned area to suit the ever-growing need for local single family residential homes. The Property currently consists of 2 parcels that will eventually make up one individual PAD that proposes several integrated residential neighborhoods with active and passive open spaces and trail connections. Additionally, the design concept of the neighborhoods will pay homage to the essence of the region's agricultural composition. Anyone wishing to appear and make comment is encouraged to attend. Written comments are welcome and if received prior to the public hearing meetings, will be included in the record. All comments or appeals should be sent in a written form to the Planning and Zoning Division, Attn: Byron Easton at 39700 W Civic Center Plaza, Maricopa, AZ 85138 or email at Byron.Easton@maricopa-az.gov. Please include name, address, telephone number and signature. For questions, contact the Planning and Zoning Division at (520) 568-9098.

October, 2021
Published in: Casa Grande Dispatch
Published on: October 16, 2021
No. of publications: 3; dates of publication: Oct. 16, 2021.

ARTICLES OF ORGANIZATION OF LIMITED LIABILITY COMPANY
ENTITY INFORMATION
ENTITY NAME: PARAGON ADORNMENTS LLC
ENTITY ID: 23271742
EFFECTIVE DATE: 09/14/2021
MANAGEMENT STRUCTURE: Member-Managed
STATUTORY AGENT INFORMATION
STATUTORY AGENT NAME: greg edgemon
PHYSICAL ADDRESS: 42999 W SAMUEL DRIVE, MARICOPA, AZ 85138
PRINCIPAL ADDRESS

Denis M. Fitzgibbons, SBN 012708
denis@fitzgibbonslaw.com
Ann F. Schrooten, SBN 013088
ann@fitzgibbonslaw.com
Attorneys for Personal Representative
IN THE SUPERIOR COURT OF THE STATE OF ARIZONA
IN AND FOR THE COUNTY OF PINAL
Case No.: PB-202100493
NOTICE TO CREDITORS
In the Matter of the Estate of: CYNTHIA KAYE BROCK, Deceased.

NOTICE IS HEREBY GIVEN that Daniel Benjamin Brock has been appointed Personal Representative of the above-captioned Estate. All creditors having claims against the Estate are required to present their claims within four months after the date of the first publication of this notice if notice is given by publication or, if the creditor is known to the Personal Representative, within sixty (60) days after the mailing or delivery of the notice whichever is later, or the claim will be forever barred. Claims must be presented by delivering or mailing a written statement of the claim to the Personal Representative at the following address: Daniel Benjamin Brock, c/o FITZGIBBONS LAW OFFICES, P.L.C., 1115 E. Cottonwood Lane, Suite 150, P.O. Box 11208, Casa Grande, AZ 85130-0148, or by commencing a proceeding against the Personal Representative in the above entitled court within the time limited for presenting the claim.

DATED this 29th day of September, 2021.
FITZGIBBONS LAW OFFICE, P.L.C.

By /s/Ann F. Schrooten
Ann F. Schrooten
Attorneys for Personal Representative
No. of publications: 3; dates of publication: Oct. 02, 09, 16, 2021.

ARTICLES OF ORGANIZATION OF PC ICE HOUSE, LLC
KNOW ALL MEN BY THESE PRESENTS:
That the undersigned have presented themselves here for the purpose of forming an Arizona limited liability company, and to that end pursuant to A.R.S. Section 29-632, do hereby adopt these Articles of Organization.
ARTICLE ONE
NAME
The name of limited liability company is: PC ICE HOUSE
ARTICLE TWO
REGISTERED OFFICE
The address of the registered of-

calendaring@fitzgibbonslaw.com
(If Attorney) State Bar Number: 018939, Issuing State: AZ
IN THE SUPERIOR COURT OF THE STATE OF ARIZONA
IN AND FOR THE COUNTY OF PINAL
Case No. S1100CV202101623
SUMMONS
Peacock Nuts, LLC
Plaintiff(s),
v.
JM3 US Farm Services, LLC, et al.

Defendant(s).
To: JM3 US Farm Services, LLC
WARNING: THIS AN OFFICIAL DOCUMENT FROM THE COURT THAT AFFECTS YOUR RIGHTS. READ THIS SUMMONS CAREFULLY. IF YOU DO NOT UNDERSTAND IT, CONTACT AN ATTORNEY FOR LEGAL ADVICE.

1. A lawsuit has been filed against you. A copy of the lawsuit and other court papers were served on you with this Summons.

2. If you do not want a judgment taken against you without your input, you must file an Answer in writing with the Court, and you must pay the required filing fee. To file your Answer, take or send the papers to Clerk of the Superior Court, 971 Jason Lopez Circle Building A, Florence, Arizona 85132 or electronically file your Answer through one of Arizona's approved electronic filing systems at <http://www.azcourts.gov/efiling>. Mail a copy of the Answer to the other party, the Plaintiff, at the address listed on the top of this Summons.

Note: If you do not file electronically you will not have electronic access to the documents in this case.

Building A, Florence, Arizona 85132 or electronically file your Answer through one of Arizona's approved electronic filing systems at <http://www.azcourts.gov/efiling>. Mail a copy of the Answer to the other party, the Plaintiff, at the address listed on the top of this Summons.

Note: If you do not file electronically you will not have electronic access to the documents in this case.

3. If this Summons and the other court papers were served on you within the State of Arizona, your Answer must be filed within TWENTY (20) CALENDAR DAYS from the date of service, not counting the day of service. If this Summons and the other court papers were served on you outside the State of Arizona, your Answer must be filed within THIRTY (30) CALENDAR DAYS from the date of service, not counting the day of service.

Requests for reasonable accommodation for persons with disabilities must be made to the court by parties at least 3 working days in advance of a scheduled court proceeding.

GIVEN under my hand and the Seal of the Superior Court of the State of Arizona in and for the County of PINAL
SIGNED AND SEALED this date:

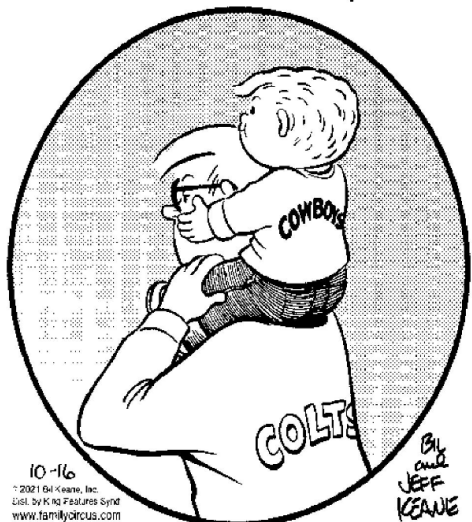
August 13, 2021
Rebecca Padilla
Clerk of Superior Court
By:MMASTERS
Deputy Clerk
(seal)

No. of publications: 4; dates of publication: Oct. 16, 23, 30, Nov. 06, 2021.

Legals continued on page 12B

THE FAMILY CIRCUS

By Bil Keane



10-16
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EISL by K10 Features Synd.
www.familycircus.com

ZIGGY®



10/16
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Public Notices

Public Notices

City of Casa Grande PUBLIC NOTICE

The Casa Grande Arts & Humanities Commission is pleased to announce the availability of Partnership Funding for Casa Grande Non-Profit Organizations. Through an application process, funding is available to assist Casa Grande Non-Profit Organizations with promoting art related projects (visual or performing). The Partnership Funding Application is available on the City's website www.casagrandeaz.gov or by contacting the Casa Grande City Clerk at Gloria Leija at casagrandeaz.gov. The deadline to submit applications is November 19, 2021 at 5:00 p.m. Additional information may be obtained by calling the Casa Grande City Clerk, Gloria Leija, (520) 421-8600, Ext. 1110.
Gloria Leija
/s/Gloria Leija, MMC
City Clerk

No. of publications: 2; dates of publication: Oct. 12, 16, 2021.

[◀ Back to List](#)

PUBLIC NOTICES

NEWSPAPER NOTICE NOTICE OF NEIGHBORHOOD MEETING, PUBLIC HEARING AND PUBLIC MEETING Rezoning Case PAD21-09 Neighborhood Meeting Desert Wind Middle School – Library Center; November 1, 2021 at 6:00 PM – 7:00 PM 35565 Honeycutt Road, Maricopa, AZ 85138 Planning & Zoning Commission Meeting (PUBLIC HEARING) December 13, 2021 @ 6:00 p.m. City Hall 39700 W. Civic Center Plaza Maricopa, AZ 85138 City Council Meeting January 18, 2022 @ 7:00 p.m. City Hall 39700 W. Civic Center Plaza Maricopa, AZ 85138 NOTICE IS HEREBY GIVEN THAT at the above listed meeting, a PUBLIC HEARING will be held at the above stated date, time, and location. Lennar (“Applicant”), one of America's leading homebuilders and a Fortune 500 company, desires to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road (“Property”) immediately west of the current Volkswagen proving grounds, in the City of Maricopa, AZ (“City”). The purpose of the request is to create a new unique and cohesively planned area to suit the ever-growing need for local single family residential homes. The Property currently consists of 2 parcels that will eventually make up one individual PAD that proposes several integrated residential neighborhoods with active and passive open spaces and trail connections. Additionally, the design concept of the neighborhoods will pay homage to the essence of the region's agricultural composition. Anyone wishing to appear and make comment is encouraged to attend. Written comments are welcome and if received prior to the public hearing meetings, will be included in the record. All comments or appeals should be sent in a written form to the Planning and Zoning Division, Attn: Byron Easton at 39700 W Civic Center Plaza, Maricopa, AZ 85138 or email at Byron.Easton@maricopa-az.gov. Please include name, address, telephone number and signature. For questions, contact the Planning and Zoning Division at (520) 568-9098. October , 2021 Published in Casa Grande Dispatch November 27, 2021 No. of publications: 1; date of publication: Nov. 27, 2021.

Start Date: 11/27/2021



[◀ Back to List](#)

TAB 4

ZONING

City of Maricopa - Planning Division

Proposal: Lennar is proposing to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road immediately west of the current Volkswagen proving ground, in the City of Maricopa, AZ.

Description of Request:

The request is to rezone parcels 502-03-015F and 502-03-015H from existing RA -Agricultural zoning to the City's PAD zoning to allow for an innovative set of single-family subdivisions and neighborhoods that are planned as part of a larger master plan. The proposed PAD will work with the City to construct a solution to handle the major wash corridor and development of public streets, along with private passive and active open spaces for the future residents of the community.

NEIGHBORHOOD MEETING

When: November 1, 2021
Time: 6:00 P.M. – 7:00 P.M.
Location: Desert Wind Middle
School – Library
35565 Honeycutt Road
Maricopa, AZ 85138

FOR QUESTIONS OR COMMENTS REGARDING THIS CASE CONTACT CASE PLANNER:

Byron Easton, Senior Planner
(520) 316-6936
Byron.Easton@Maricopa-az.gov

PLANNING AND ZONING COMMISSION

When: TBD
Time: 6:00 P.M.
Location: City Hall
39700 W. Civic Center Plaza
Maricopa, AZ 85138

CITY COUNCIL MEETING

When: TBD
Time: 7:00 P.M.
Location: City Hall
39700 W. Civic Center Plaza
Maricopa, AZ 85138

Posting Date: 10/15/2021

10/15/21 09:53:41

ZONING

City of Maricopa - Planning Division

Proposal: Lennar is proposing to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road immediately west of the current Volkswagen proving ground, in the City of Maricopa, AZ.

Description of Request:

The request is to rezone parcels 502-03-015F and 502-03-015H from existing RA -Agricultural zoning to the City's PAD zoning to allow for an innovative set of single-family subdivisions and neighborhoods that are planned as part of a larger master plan. The proposed PAD will work with the City to construct a solution to handle the major wash corridor and development of public streets, along with private passive and active open spaces for the future residents of the community.

NEIGHBORHOOD MEETING

When: November 1, 2021
Time: 6:00 P.M. – 7:00 P.M.
Location: Desert Wind Middle
School – Library
35565 Honeycutt Road
Maricopa, AZ 85138

FOR QUESTIONS OR COMMENTS REGARDING THIS CASE CONTACT CASE PLANNER:

Byron Easton, Senior Planner
(520) 316-6936
Byron.Easton@Maricopa-az.gov

PLANNING AND ZONING COMMISSION

When: TBD
Time: 6:00 P.M.
Location: City Hall
39700 W. Civic Center Plaza
Maricopa, AZ 85138

CITY COUNCIL MEETING

When: TBD
Time: 7:00 P.M.
Location: City Hall
39700 W. Civic Center Plaza
Maricopa, AZ 85138

Posting Date: 10/15/2021

10/15/21 10:10:11

AFFIDAVIT OF SIGN POSTING

The undersigned Applicant has complied with the City of Maricopa's sign posting requirements, located at the NWC of Murphy Rd and Farrell Rd immediately west of the current Volkswagen proving ground, in the City of Maricopa, on October 15, 2021.

See attached photo exhibit.

For applicant:

Tiffany & Bosco

Dynamite Signs, Inc.
Sign Company Name

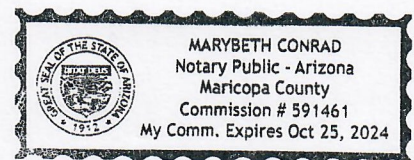
Meghan Liggett
Sign Company Representative

Subscribed and sworn to be on this 15th day of October 2021 by

Meghan Liggett.

IN WITNESS WHEREOF, I Hereto set my hand and official seal.

Marybeth Conrad
Notary Public



My Commission expires: 10.25.24

AFFIDAVIT OF SIGN POSTING

The undersigned Applicant has complied with the City of Maricopa's sign posting requirements, located at the NWC Murphy Rd and Farrell Rd, in the City of Maricopa, on 11/23/21.

See attached photo exhibit.

For applicant:

Tiffany & Bosco

Dynamite Signs

Sign Company Name

Meghan Liggett
Sign Company Representative

Subscribed and sworn to be on 11/23/21 by Meghan Liggett.

IN WITNESS WHEREOF, I Hereto set my hand and official seal.

MaryBeth Conrad
Notary Public



My Commission expires: 10/25/24

ZONING

City of Maricopa - Planning Division

Proposal: Lennar is proposing to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road immediately west of the current Volkswagen proving ground, in the City of Maricopa, AZ.

Description of Request:

The request is to rezone parcels 502-03-015F and 502-03-015H from existing RA -Agricultural zoning to the City's PAD zoning to allow for an innovative set of single-family subdivisions and neighborhoods that are planned as part of a larger master plan. The proposed PAD will work with the City to construct a solution to handle the major wash corridor and development of public streets, along with private passive and active open spaces for the future residents of the community.

NEIGHBORHOOD MEETING

When: November 1, 2021
Time: 6:00 P.M. – 7:00 P.M.
Location: Desert Wind Middle School – Library
35565 Honeycutt Road
Maricopa, AZ 85138

FOR QUESTIONS OR COMMENTS REGARDING THIS CASE CONTACT CASE PLANNER:

Byron Easton, Senior Planner
(520) 316-6936
Byron.Easton@Maricopa-az.gov

PLANNING AND ZONING COMMISSION

When: December 13, 2021
Time: 6:00 P.M.
Location: City Hall
39700 W. Civic Center Plaza
Maricopa, AZ 85138

CITY COUNCIL MEETING

When: January 18, 2022
Time: 7:00 P.M.
Location: City Hall
39700 W. Civic Center Plaza
Maricopa, AZ 85138

Posting Date: 10/15/2021

Nov 22, 2021 at 9:46:46 AM
17149 N Murphy Rd
Maricopa AZ 85138
United States

ZONING

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Location: City Hall

39700 W. Civic Center Plaza

Maricopa, AZ 85138

Posting Date: 10/15/2021

Nov 22, 2021 at 9:39:19 AM
16676–16678 N Hartman Rd
Maricopa AZ 85138
United States