







Single-Family Detached - Front Load



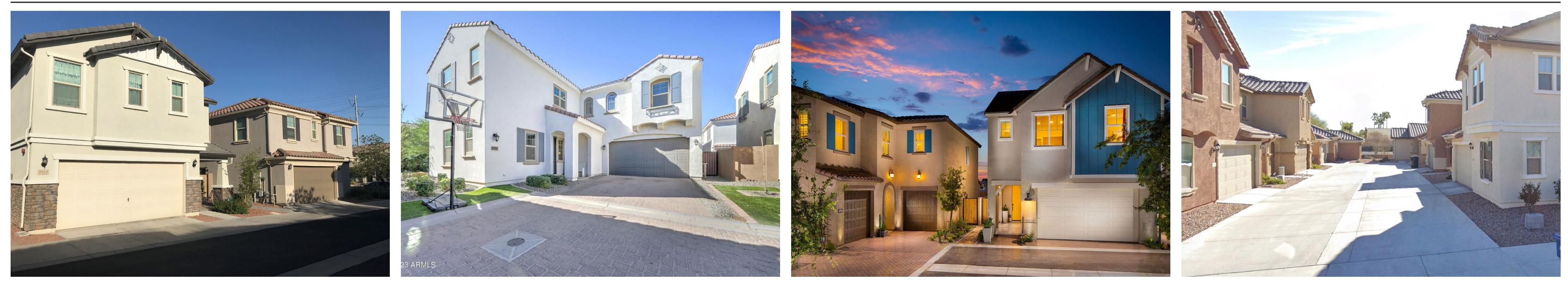
Note: The architectural character imagery provided here serve as examples to illustrate the style, level of quality, and finish for architectural design. These images are not exact representations of color, embellishments, materials, fixtures, massing, articulation, and floor plan configurations. Final architectural design may vary from what is shown.

MARICOPA TOWNE CENTER Architectural Character





Single-Family Detached - Rear Load



Single-Family Detached - Cluster



Note: The architectural character imagery provided here serve as examples to illustrate the style, level of quality, and finish for architectural design. These images are not exact representations of color, embellishments, materials, fixtures, massing, articulation, and floor plan configurations. Final architectural design may vary from what is shown.

MARICOPA TOWNE CENTER Architectural Character





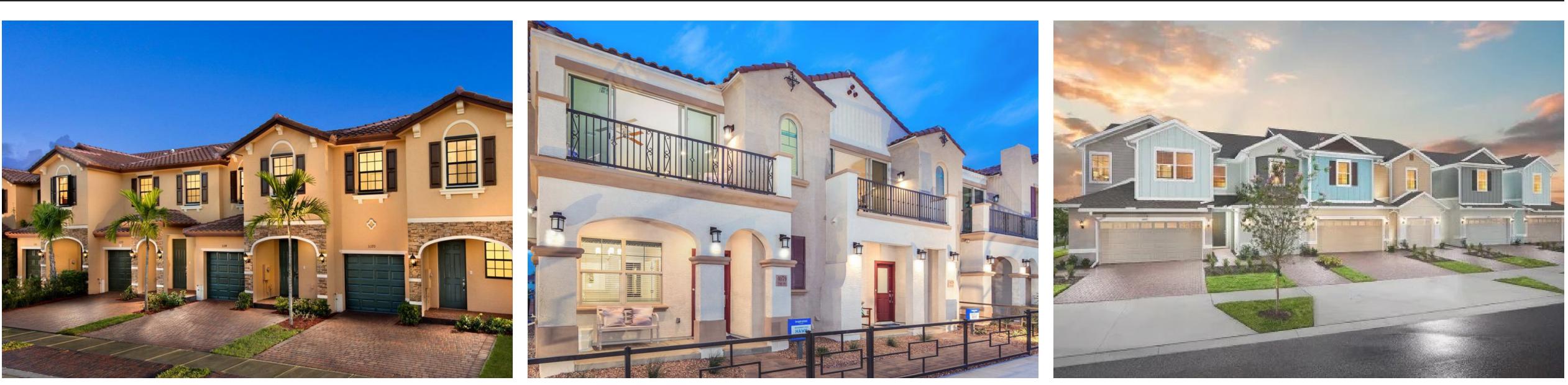






Single- Family Attached - Front Load





Single-Family Attached - Townhome Front Load



Single-Family Attached - Townhome Rear Load

Architectural Character



Note: The architectural character imagery provided here serve as examples to illustrate the style, level of quality, and finish for architectural design. These images are not exact representations of color, embellishments, materials, fixtures, massing, articulation, and floor plan configurations. Final architectural design may vary from what is shown.

MARICOPA TOWNE CENTER







Single-Family Attached - Cluster





Single-Family Attached - Duplex



Single-Family Attached - Triplex



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MARICOPA TOWNE CENTER Architectural Character





Vertical Multi-Family



Horizontal Multi-Family



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MARICOPA TOWNE CENTER Architectural Character















Non-Residential



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MARICOPA TOWNE CENTER Architectural Character

















Mixed-Use



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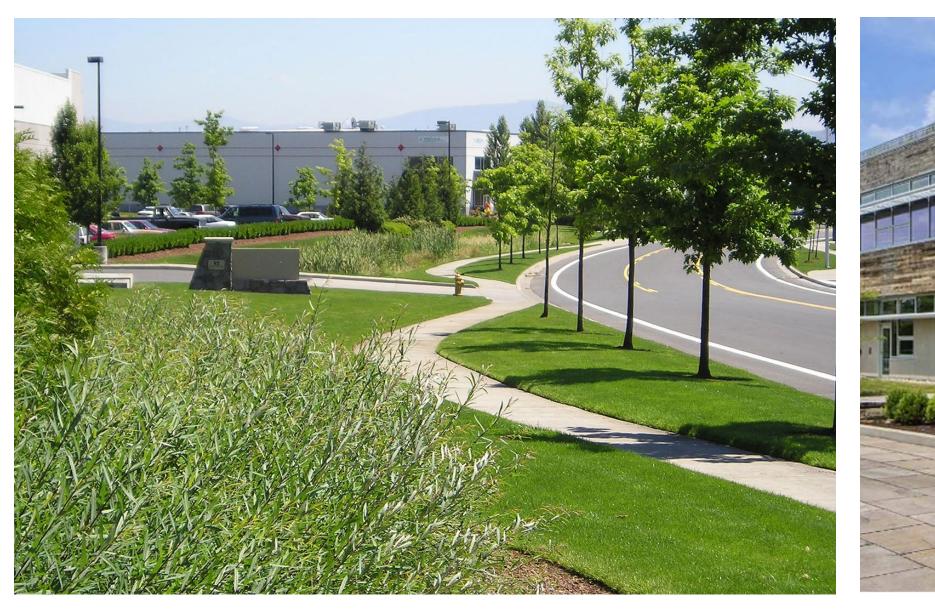
MARICOPA TOWNE CENTER Architectural Character







Residential Landscape



Non-Residential Landscape

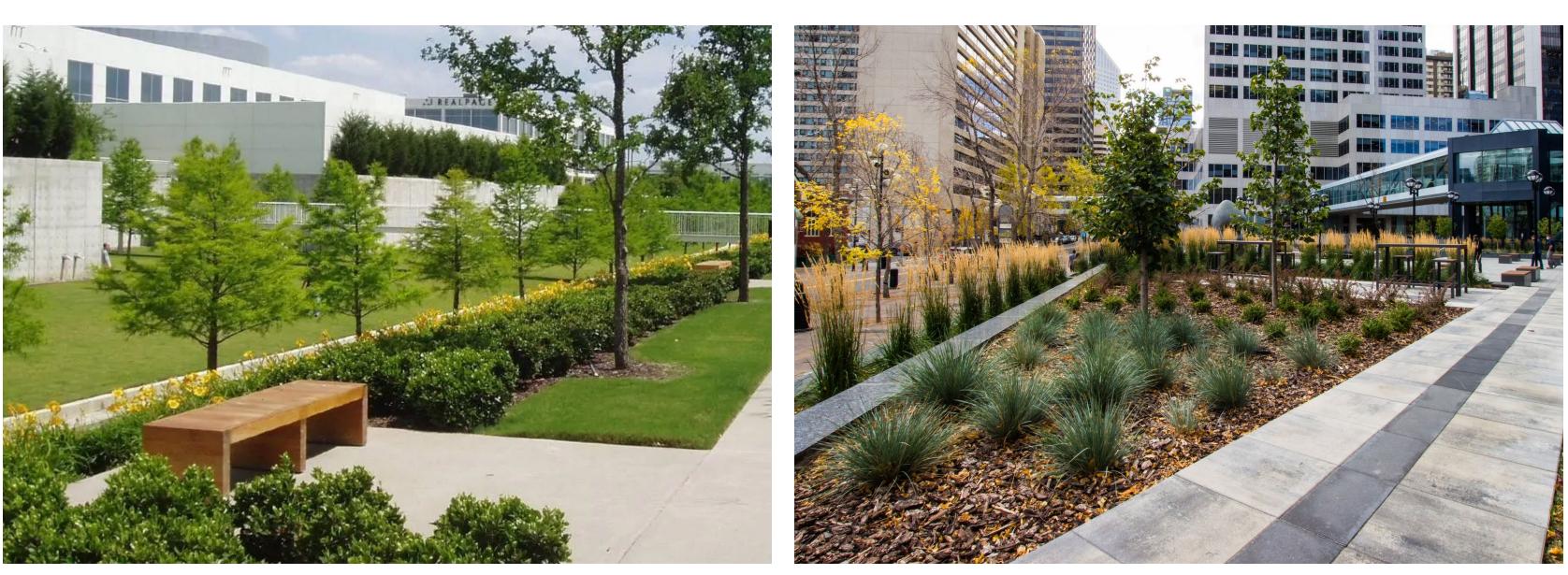


Residential Street View



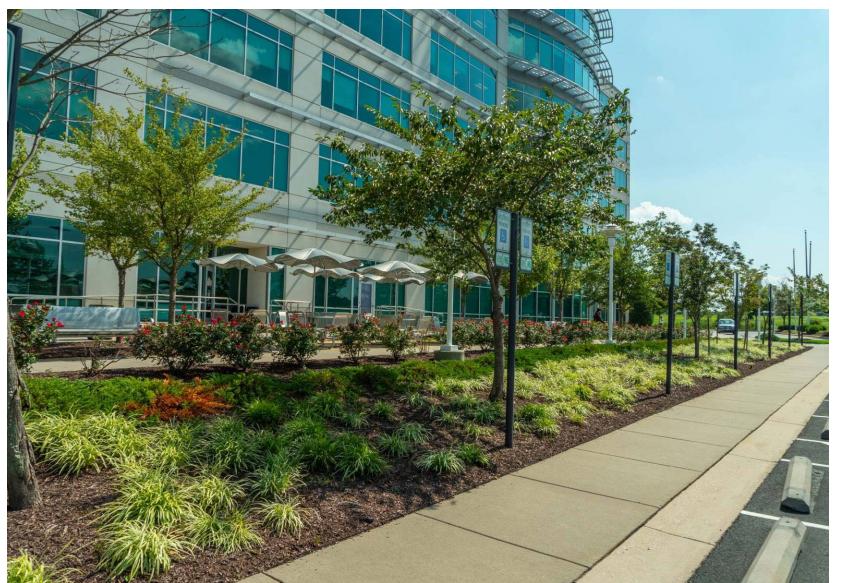
Note: The architectural character imagery provided here serve as examples to illustrate the style, level of quality, and finish for architectural design. These images are not exact representations of color, embellishments, materials, fixtures, massing, articulation, and floor plan configurations. Final architectural design may vary from what is shown.

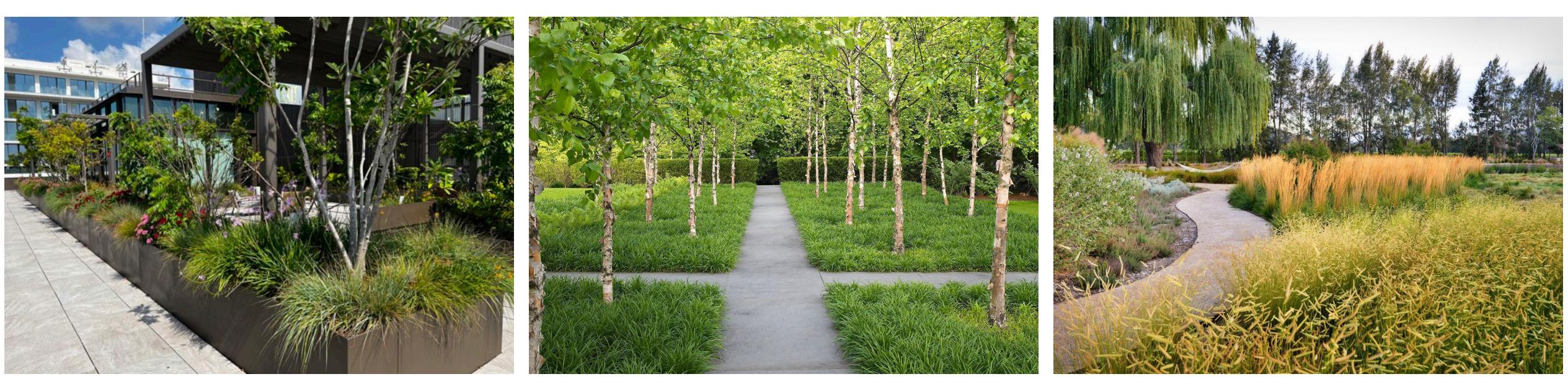


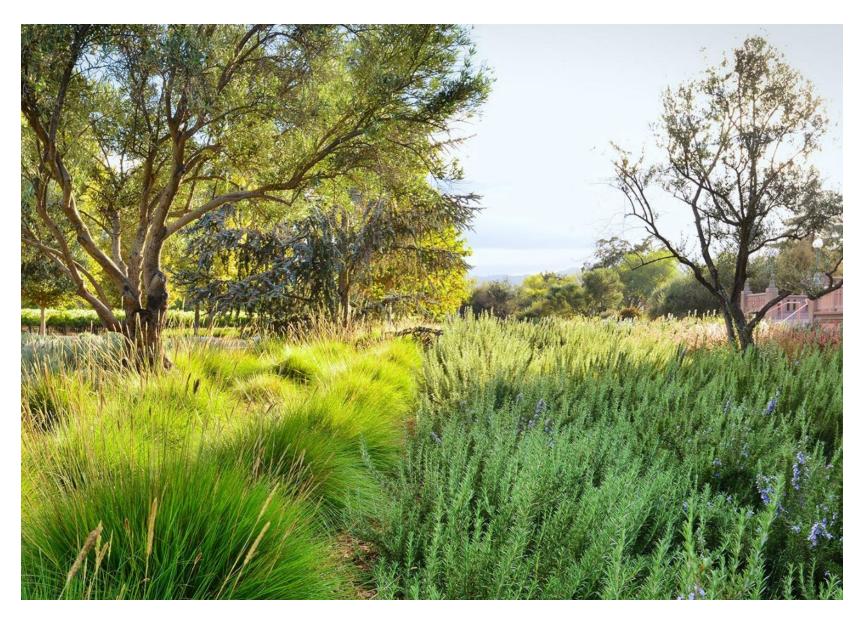


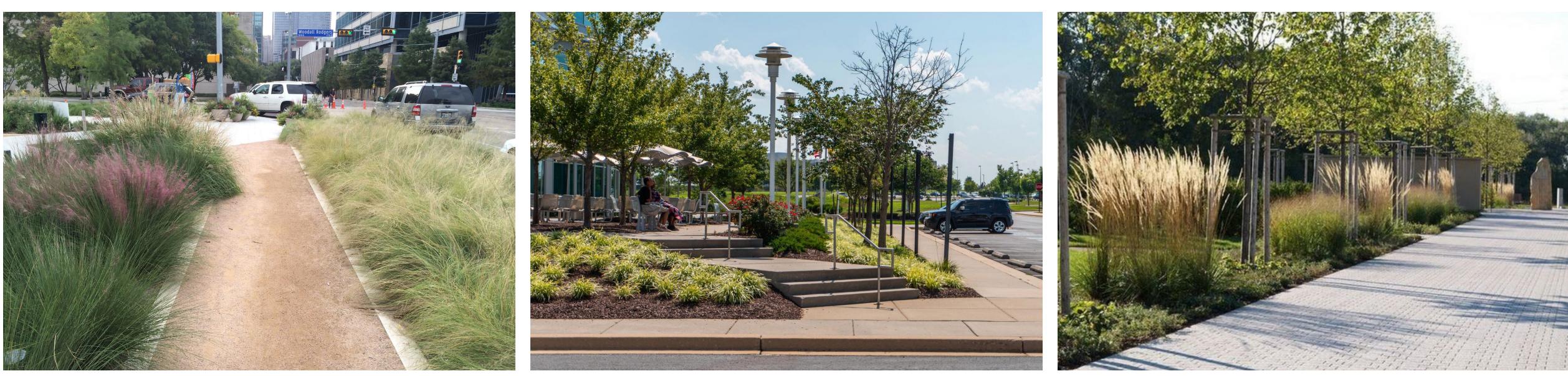
MARICOPA TOWNE CENTER Landscape Character & Street View



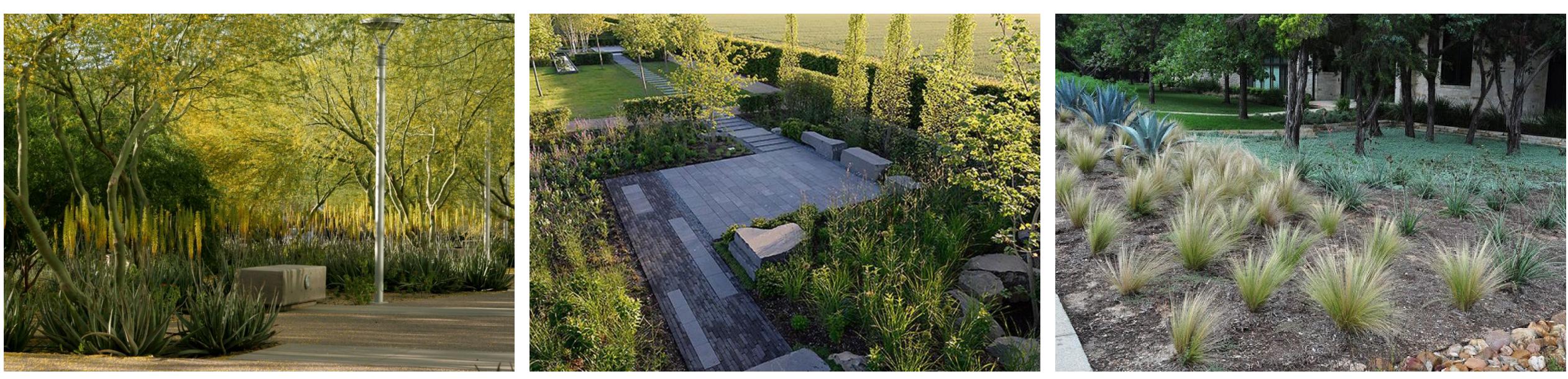










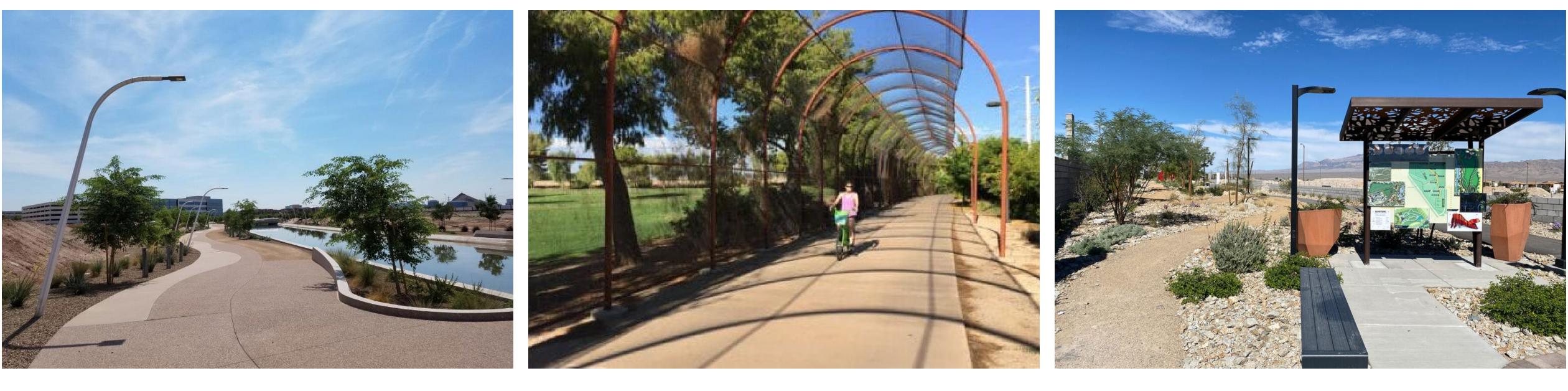




















MARICOPA TOWNE CENTER Trail Character



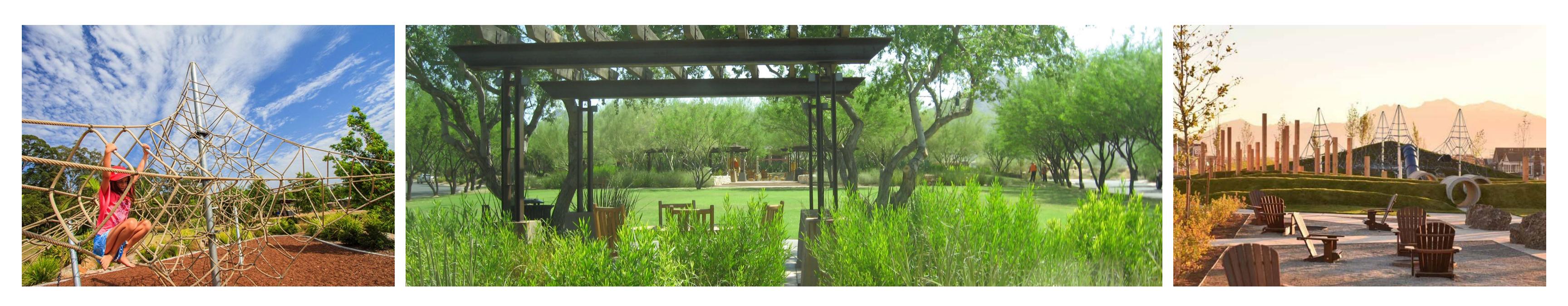






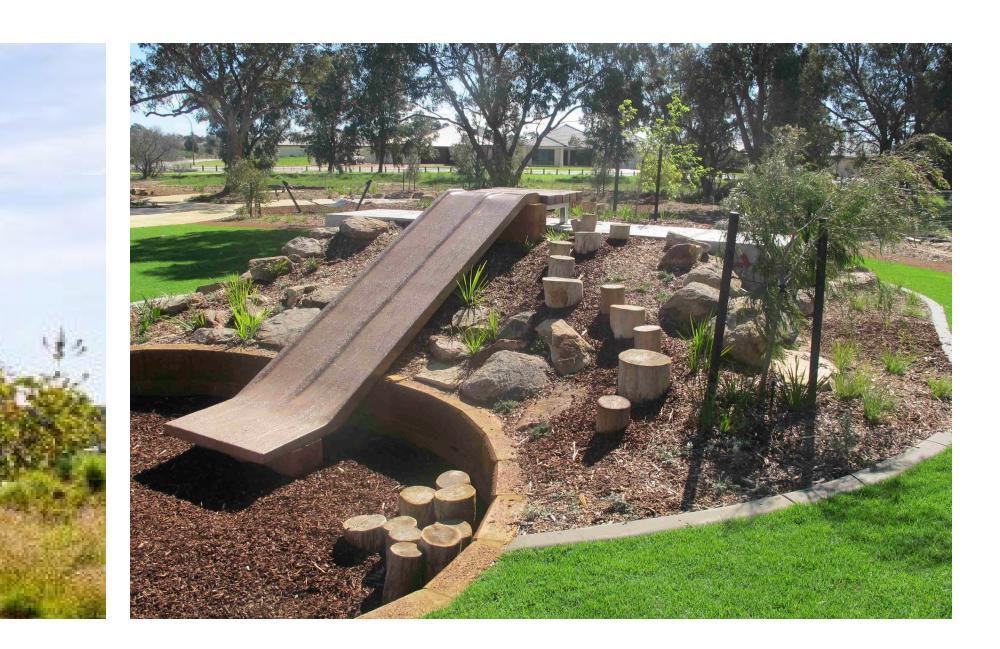


























MARICOPA TOWNE CENTER Walls Character



























MARICOPA TOWNE CENTER Monumentation Character







Commercial/ Office			
Development Type ¹ :	General Commercial	Office	
Minimum Lot Area:	Per building area, parking requirements, and required setbacks	Per building area, parking requirements, and required setbacks	
Maximum Lot Coverage:	Maximum lot coverage may be built up to each setback requirement	80%	
Minimum Lot Width:	100′	100′	
Maximum Building Height ² :	60', 110' for hotel	60′	
Minimum Building Setback from AZ-347/John Wayne Parkway, Sonoran Parkway, and Farrel Road:	20′	20′	
	Minimum Building Setbacks		
A. Front Setback ³ :			
From Property Line	10′	10′	
To Residential	20′	10′	
B. Side Setback ³ :	15′	10′	
C. Street Side Setbacks:	C. Street Side Setbacks:		
From Property Line	15′	10′	
To Residential	20′	10′	
D. Rear Setbacks ³ :			
From Property Line	10′	10′	
To Residential	20'	20'	
E. Building Separation:	20'	20'	
Open Space Requirements			
Common Open Space	10%	10%	

1. Refer to exhibits on this page for illustrative diagram.

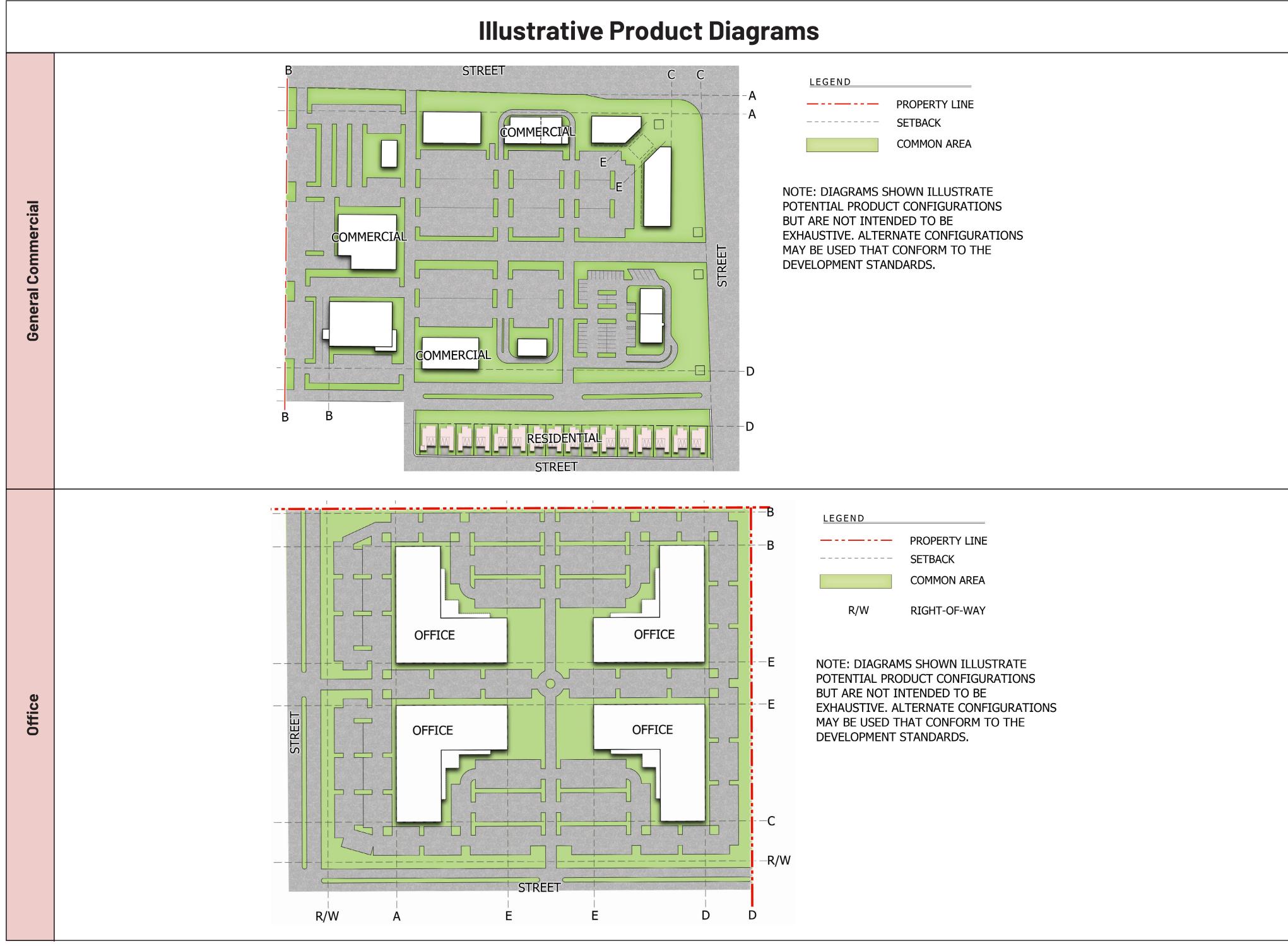
2. Refer to Building Height Stepback Requirement Exhibit for more information.

3. Setbacks are measured from the property line unless otherwise noted.



MARICOPA TOWNE CENTER

DEVELOPMENT STANDARDS - COMMERCIAL/ OFFICE





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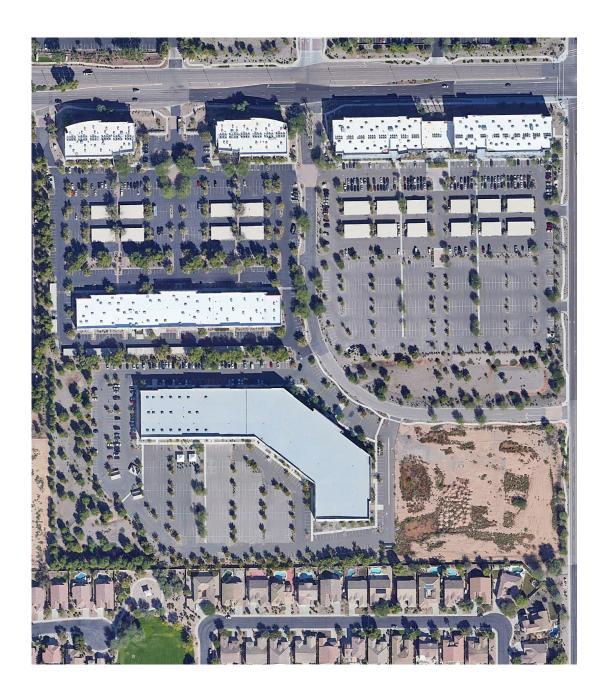


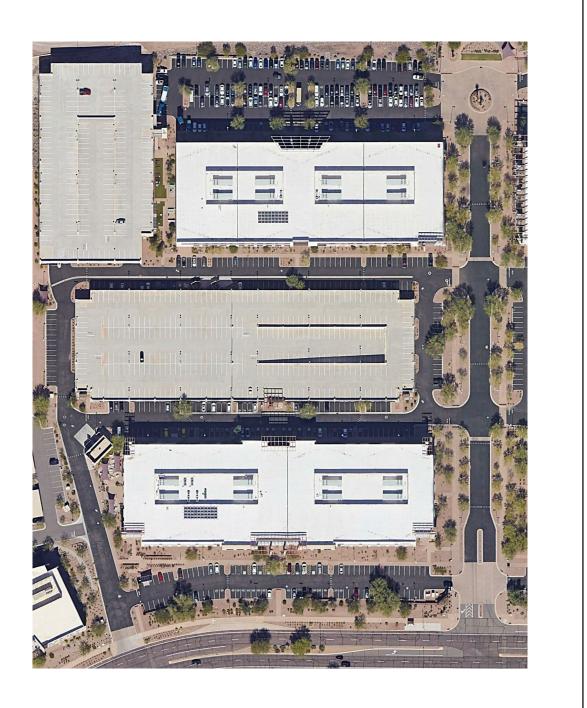




EXAMPLES - COMMERCIAL/ OFFICE









Mixed-Use		
Development Type:	Mixed-Use Medium	
Minimum Lot Area:	Per building area, parking requirements, and required setbacks	
Minimum Lot Width:	60'	
Maximum Building Height ¹ :	110' ²	
Maximum Lot Coverage:	Not limited	
Minimum Building Setback from AZ-347/John Wayne Parkway, Sonoran Parkway, and Farrel Road:	20'	
Minim	um Building Setbacks	
A. Front Setback: 20'		
B. Side Setback:	15'	
C. Street Side Setbacks: 15'		
D. Rear Setbacks:	20'	
E. Building Separation:		
Primary	20'	
Accessory	15'	
Open Space Requirements		
Common Open Space	20%	
Residential Private Open Space	50 SF	

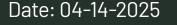
1. Refer to Building Height Stepback Requirement Exhibit for more information.

2. Mixed-use building height up to 110' is permitted so long as the non-residential uses are limited to the first theee floors.





DEVELOPMENT STANDARDS - MIXED-USE













EXAMPLES - MIXED-USE







Commercial/ Office			
Development Type ¹ :	General Commercial	Office	
Minimum Lot Area:	Per building area, parking requirements, and required setbacks	Per building area, parking requirements, and required setbacks	
Maximum Lot Coverage:	Maximum lot coverage may be built up to each setback requirement	80%	
Minimum Lot Width:	100′	100′	
Maximum Building Height ² :	60', 110' for hotel	60′	
Minimum Building Setback from AZ-347/John Wayne Parkway, Sonoran Parkway, and Farrel Road:	20′	20′	
	Minimum Building Setbacks		
A. Front Setback ³ :			
From Property Line	10′	10′	
To Residential	20′	10′	
B. Side Setback ³ :	15′	10′	
C. Street Side Setbacks:	C. Street Side Setbacks:		
From Property Line	15′	10′	
To Residential	20′	10′	
D. Rear Setbacks ³ :			
From Property Line	10′	10′	
To Residential	20'	20'	
E. Building Separation:	20'	20'	
Open Space Requirements			
Common Open Space	10%	10%	

1. Refer to exhibits on this page for illustrative diagram.

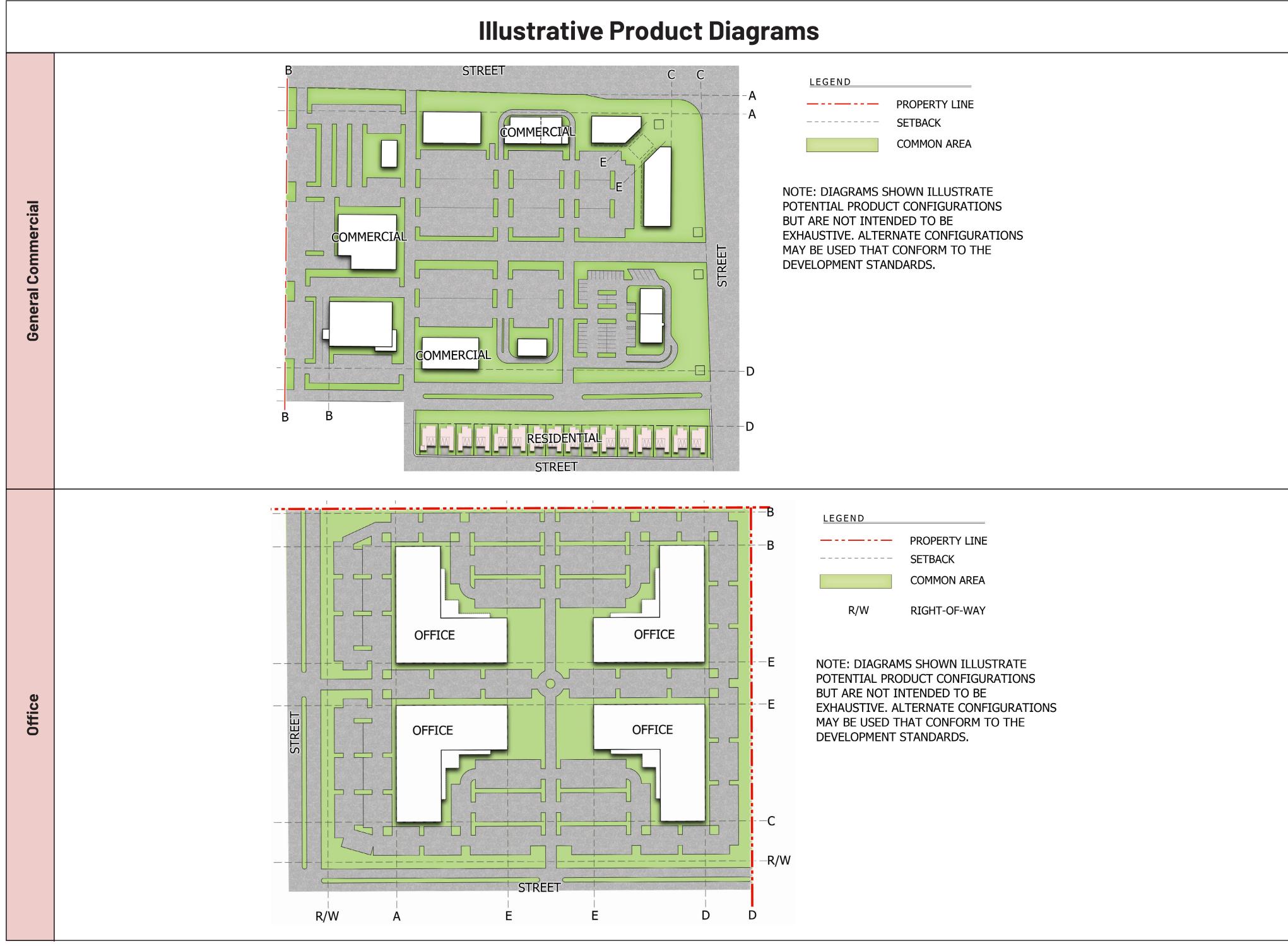
2. Refer to Building Height Stepback Requirement Exhibit for more information.

3. Setbacks are measured from the property line unless otherwise noted.



MARICOPA TOWNE CENTER

DEVELOPMENT STANDARDS - COMMERCIAL/ OFFICE





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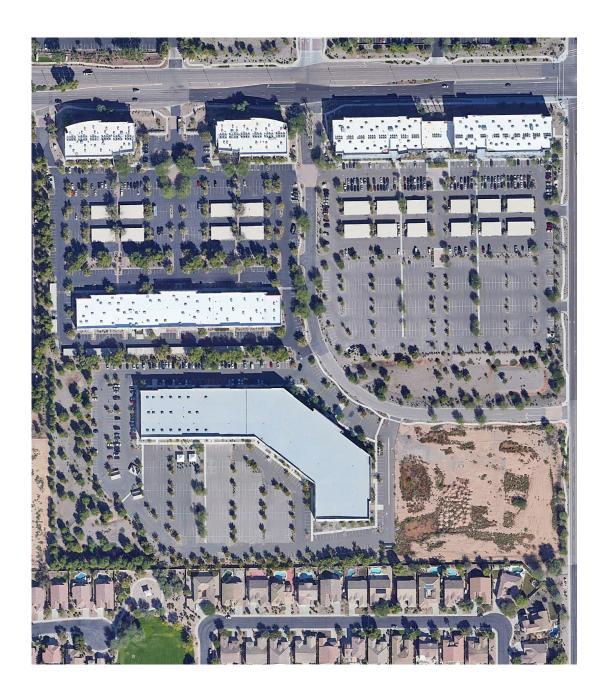


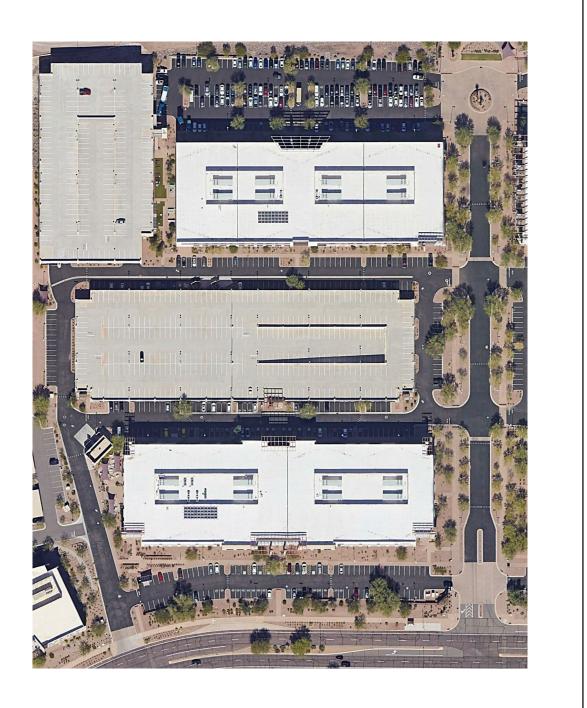




EXAMPLES - COMMERCIAL/ OFFICE









Mixed-Use		
Development Type:	Mixed-Use Medium	
Minimum Lot Area:	Per building area, parking requirements, and required setbacks	
Minimum Lot Width:	60'	
Maximum Building Height ¹ :	110' ²	
Maximum Lot Coverage:	Not limited	
Minimum Building Setback from AZ-347/John Wayne Parkway, Sonoran Parkway, and Farrel Road:	20'	
Minim	um Building Setbacks	
A. Front Setback: 20'		
B. Side Setback:	15'	
C. Street Side Setbacks: 15'		
D. Rear Setbacks:	20'	
E. Building Separation:		
Primary	20'	
Accessory	15'	
Open Space Requirements		
Common Open Space	20%	
Residential Private Open Space	50 SF	

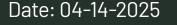
1. Refer to Building Height Stepback Requirement Exhibit for more information.

2. Mixed-use building height up to 110' is permitted so long as the non-residential uses are limited to the first theee floors.





DEVELOPMENT STANDARDS - MIXED-USE













EXAMPLES - MIXED-USE







Lot Area: Up to 2,499 SF 2,500-6,989 SF 7,000-6,798 SF 9,80 Minimum Lot Width: 24' 35' 55' 75' Corner Lots* 23' 40' 60' 80' Maximum Building Spacing*: 10' 10' 10' 10' 10' Maximum Building Space 10' 10' 10' 10' 10' 10' From Setbacks (Front Loaded)*: None None None None None From Setbacks (Front Loaded)*: From street tract or right-of-way 10' 10' N/A N/A Garage Setbacks* Up to 2,499 SF 20' 20' 20' 20' 20' Front facing garage with parking on driveway 20' 20' 20' 20' 20' 20' Front facing garage with no driveway parking 5' max. N/A N/A N/A Side entry garage. N/A 10' 10' 10' 10' B. Rear Setbacks - Front Loaded *: 5' 15' 5' 5'						
Lot Area:Up to 2,489 SF2,600–6,888 SF7,000–6,788 SF9,80Minimum Lot Width:24'35'55'75'Corner Lots*29'40'80'80'Maximum Building Height:30'30'30'30'38'Minimum Building Space10'10'10'10'10'B. Front Setbacks (Front Loaded)*:VonceNoneNoneNoneNoneFrom living space10'10'10'10'10'B. Front Setbacks (Front Loaded)*:5'N/AN/AFrom poperty line adjacent to common tracts5'5'N/AN/ACararge Setbacks*5'N/A10'10'10'10'B. Front Setbacks (Front Loaded)*:5'5'N/AN/AFront facing garage with parking on driveway20'20'20'20'20'B. Rear Setbacks *5'10'N/AN/AN/ASide entry garageN/A10'10'10'10'D. Rear Setbacks - Rear Loaded*:5'5'5'10'G. Street Stabcks - Rear Loaded*:5'5'10'10'G. Street Stabcks - Rear Loaded*:5'5'10'10'10'G. Street Stabcks - Rear Loaded*:5'5'10'10'10'G. Street Stabcks - Rear Loaded*:5'5'10'10'10'10'10'G. Street Stabcks - Rear Loaded*:5'5'10'10'10'	Single-Family Detached					
Minimum Lot Width:24'35'55'75'Corner Lots*29'40'60'80'Maximum Building Height:30'30'30'33'Minimum Building Setback Adjacent to Public Roadway:NoneNoneNoneNoneMaximum Building Setback Adjacent to Public Roadway:NoneNoneNoneNoneMaximum Building Setback (front Loaded)*:I''10'10'10'10'B. Front Setbacks (frent Loaded)10'10'10'N/AN/AFrom groperty line adjacent to common tracts5'5'N/AN/AC. Garage Setbacks ?0'10'10'10'10'10'B. Front Setbacks (frent Loaded)5'5'N/AN/AC. Garage setbacks ?5'5'N/AN/AN/AC. Garage setbacks ?5'5'N/AN/ASide entry garageN/A10'10'10'10'10'D. Rear Setbacks - Front Loaded ?:5'5'N/AN/ALots 110' in depth or less5'5'5'5'5'F. Rear Setbacks - Front Loaded ?:5'5'5'5'5'G. Street Side Setbacks ?5'5'5'5'5'5'G. Street Side Setbacks ?5'5'5'5'5'5'5'From living to property line if no end tract *5'5'5'5'5'5'5'5'5'5'5'	Development Type ¹ :	Up to 2,499 SF	2,500-6,999 SF	7,000-9,799 SF	9,800	
Corner Lots*'29'40'60'80'Maximum Building Height:30'30'30'30'36'Minimum Building Spacing*:10'10'10'10'15'Maximum Building Setback Adjacent to Public Roadway:NoneNoneNoneNoneNoneMinimum Building Setback Adjacent to Public Roadway:NoneNoneNoneNoneNoneMaximum Building Setback Adjacent to Public Roadway:NoneNoneNoneNoneNoneMinimum Building Setbacks (Front Loaded)*:Front Setbacks (Rear Loaded):From property line adjacent to common tracts5'5'N/AN/AFront Setbacks (Rear Loaded):Front facing garage with parking on driveway20'20'20'20'20'Front facing garage with parking on driveway20'20'20'20'20'Front facing garage with or driveway parking5' max.5' max.N/AN/ASide entry garageN/A10'10'10'10'D. Rear Setbacks - Front Loaded *:E rear Setbacks - Front Loaded *:E rear Setbacks - Rear Loaded *:5'10'N/AN/ALots 110' in depth5'16'20'25'E. Rear Setbacks - Rear Loaded *:5'5'5'10'From Side Setback:<	Lot Area:	Up to 2,499 SF	2,500-6,999 SF	7,000-9,799 SF	9,800	
Maximum Building Height:30'30'30'30'30'30'Minimum Building Spacing 1:10'10'10'10'15'Maximum Building Setback Adjacent to Public Roadway:NoneNoneNoneNoneNoneMinimum Building Setbacks (Front Loaded)3:From Iving space10'10'10'10'10'10'B. Front Setbacks (Rear Loaded):From property line adjacent to common tracts5'5'N/AN/AFrom street tract or right-of-way10'10'10'N/AN/ACarrage Setbacks ?Front facing garage with parking on driveway20'20'20'20'20'20'Front facing garage with no driveway parking5' max.5' max.N/AN/ASide entry garageN/A10'10'10'10'10'D. Rear Setbacks - Front Loaded ?:5'5'5'5'5'5'5'E. Rear Setbacks - Front Loaded ?:5'<	Minimum Lot Width:	24′	35′	55'	75′	
Minimum Building Specing ² :10'10'10'10'10'Maximum Building Setback Adjacent to Public RoadwayaNoneNoneNoneNoneNoneNoneMinimum Setbacks (Front Loaded) ³ :A.Front Setbacks (Front Loaded) ³ :From Inving space10'10'10'N/AN/AB.Front Setbacks (Rear Loaded):10'10'N/AN/AFrom property line adjacent to common tracts5'5'N/AN/AFrom street tract or right-of-way0'0'N/AN/AC. Garage Setbacks ² :20'20'20'20'20'Front facing garage with parking on driveway5'max.5'max.N/AN/ASide entry garage5'max.5'max.N/AN/ASide entry garage5'max.10'10'10'10'D.Raer Setbacks - Front Loaded ³ :5'10'N/AN/ALots 10'D in depth or less5'10'N/AN/ALots 10'D in depth or less5'15'20'20'E. Rear Setbacks - Rear Loaded ³ :5'5'10'10'From pilving to end tract6'5'10'10'G. Street Sile Setback ³ :5'10'10'10'From property line if no end tract ^{4'} 10'10'10'10'From property line if no end tract ^{4'} 10'10'10'10'From property line if no end tract ^{4'} 10'10'	Corner Lots ⁴	29′	40'	60'	80′	
Maximum Building Setback Adjacent to Public Roadway:None </td <td>Maximum Building Height:</td> <td>30′</td> <td>30'</td> <td>30′</td> <td>38′</td>	Maximum Building Height:	30′	30'	30′	38′	
Minimum Building Setbacks (Front Loaded) ':A. Front Setbacks (Rear Loaded) ':10'10'10'10'B. Front Setbacks (Rear Loaded):5'5'N/AN/AFrom property line adjacent to common tracts5'5'N/AN/AFrom street tract or right-of-way10'10'N/AN/AC. Garage Setbacks ¹ :10'10'N/AN/AC. Garage Setbacks ¹ :5'5' max.N/AN/ASide entry garage with parking on driveway20'20'20'20'Front facing garage with no driveway parking5' max.5' max.N/AN/ASide entry garageN/A10'10'N/AN/ASide entry garage5' max.10'N/AN/ALots 110' in depth or less5'10'N/AN/ALots greater than 110' in depth5'15'20'25'E. Rear Setbacks - Rear Loaded ¹ :5'5'N/AN/AI Interior Side Setbacks ¹ :5'5'10'10'From living to end tract6'5'5'10'From proch to end tract10'0'0'0'From proch to property line if no end tract ⁴ 10'10'10'From proch to property line if no end tract ⁴ 10'10'10'From proch to property line if no end tract ⁴ 10'10'10'From proch to property line if no end tract ⁴ 10'20'20'RV Garage	Minimum Building Spacing ² :	10′	10′	10′	15′	
A. Front Setbacks (Front Loaded) ³ : I0' IVA N/A N/A From property line adjacent to common tracts 5' 5' 5' N/A N/A N/A Garage Setbacks ¹ : 10' 10' N/A N/A N/A N/A Side entry garage with no driveway parking simax. 5' max. 5' max. N/A N/A N/A N/A D.Rear Setbacks - Front Loaded ³ : 5' 10' N/A	Maximum Building Setback Adjacent to Public Roadway:	None	None	None	None	
From living space10'10'10'10'B. Front Setbacks (Rear Loaded):From property line adjacent to common tracts5'5'N/AN/AFrom street tract or right-of-way10'10'N/AN/AC. Garage Setbacks ¹ :10'10'N/AN/AFront facing garage with parking on driveway20'20'20'20'Front facing garage with no driveway parking5' max.5' max.N/AN/ASide entry garageN/A10'10'10'10'D. Rear Setbacks - Front Loaded ³ :5'10'N/AN/ALots 110' in depth or less5'10'N/AN/ALots greater than 110' in depth5'5'8'8'6'F. Interior Side Setbacks ⁸ :5'15'5'10'10'F. Interior Side Setbacks ⁸ :5'5'10'10'10'From property line if no end tract ⁴ 10'10'10'10'10'From property line if no end tract ⁴ 10'10'10'10'10'From property line if no end tract ⁴ 5'5'5'5'2'2'Accessory Structures ⁹ :20'20'20'20'2'2'Prom PUE20'20'20'2'2'2'Accessory Structures ⁹ :6'6'76'6'From principal structure6'6'6'6'6'From front lot	Minimun	n Building Setbac	ks			
B. From Stebacks (Rear Loaded):From property line adjacent to common tracts5'5'N/AN/AFrom street tract or right-of-way10'10'N/AN/AC. Garage Setbacks *:Front facing garage with parking on driveway20'20'20'20'20'A Grange Setbacks - Front Loaded 7:5'max.5'max.N/AN/AN/ASide entry garage5'10'N/AN/A10'10'10'D. Rear Setbacks - Front Loaded 7:5'max.10'N/AN/AN/ALots 110' in depth or less5'10'N/AN/AN/AN/ALots greater than 110' in depth5'15'20'20'20'E. Rear Setbacks - Rear Loaded 3:5'5'N/AN/AN/ALots greater than 110' in depth5'5'10'10'10'10'From Side Setbacks 3:5'5'10'10'10'10'10'10'From porch to end tract5'5'5'10'	A. Front Setbacks (Front Loaded) ³ :					
From property line adjacent to common tracts 5' 5' N/A N/A From street tract or right-of-way 10' 10' N/A N/A C. Garage Setbacks *:	From living space	10′	10′	10′	10′	
From street tract or right-of-way 10' 10' N/A N/A C. Garage Setbacks ³ : - - 20' 25' 5'	B. Front Setbacks (Rear Loaded):	1				
C. Garage Setbacks ³ :Front facing garage with parking on driveway20'20'20'20'Front facing garage with no driveway parking5' max.5' max.N/AN/ASide entry garageN/A10'10'10'10'D. Rear Setbacks - Front Loaded ³ :5'10'N/AN/ALots 110' in depth or less5'10'N/AN/ALots greater than 110' in depth5'15'20'25'E. Rear Setbacks - Rear Loaded ³ :5'5'N/AN/AF. Interior Side Setbacks ³ :5'5'5'5'5'G. Street Side Setback:5'5'5'10'10'From living to end tract5'5'5'10'10'From porch to end tract0'0'0'0'0'From PUE2'2'2'2'2'Accessory Structures ³ :5'5'5'5'5'From principal structure6'6'7'6'From front lot line60'60'60'60'60'Maximum building height20%20%20%20%20%	From property line adjacent to common tracts	5′	5′	N/A	N/A	
Front facing garage with parking on driveway 20' 20' 20' 20' Front facing garage with no driveway parking 5' max. 5' max. N/A N/A Side entry garage N/A 10' 10' 10' 10' D. Rear Setbacks - Front Loaded ³ :	From street tract or right-of-way	10′	10′	N/A	N/A	
Front facing garage with no driveway parking 5' max. 5' max. N/A N/A Side entry garage N/A 10' 10' 10' 10' D. Rear Setbacks - Front Loaded ³ : 10' 10' N/A N/A Lots 110' in depth or less 5' 10' N/A N/A N/A Lots greater than 110' in depth 5' 15' 20' 25' E. Rear Setbacks - Rear Loaded ³ : 5' 5' N/A N/A F. Interior Side Setbacks ³ : 5'	C. Garage Setbacks ³ :					
Side entry garage N/A 10' 10' 10' D. Rear Setbacks - Front Loaded ³ : 5' 10' N/A N/A Lots 110' in depth or less 5' 10' N/A N/A Lots greater than 110' in depth 5' 15' 20' 25' E. Rear Setbacks - Rear Loaded ³ : 5' 5' N/A N/A F. Interior Side Setbacks ³ : 5' 5' N/A N/A F. Interior Side Setbacks ³ : 5' 5' S' 5' 5' G. Street Side Setbacks ³ : 5' 5' S' 10' 10' From living to end tract 5' 5' S' 10' 10' From porch to end tract 0' 0' 0' 0' 10' From PUE 2' 2' 2' 2' 2' Accessory Structures ³ : 2' 2' 2' 2' 2' Maximum building height 2' 2' 2' 2' 2' From principal structure 6' 6' 6' 1' 3'	Front facing garage with parking on driveway	20′	20′	20′	20′	
D. Rear Setbacks - Front Loaded ³ : Lots 110' in depth or less 5' 10' N/A N/A Lots greater than 110' in depth 5' 15' 20' 25' E. Rear Setbacks - Rear Loaded ³ : 5' 5' 5' N/A N/A F. Interior Side Setbacks ³ : 5' 10' From living to end tract 5' 5' 5' 5' 10'	Front facing garage with no driveway parking	5' max.	5' max.	N/A	N/A	
Lots 110' in depth or less 5' 10' N/A N/A Lots greater than 110' in depth 5' 15' 20' 25' E. Rear Setbacks - Rear Loaded ³ : 5' 5' 5' N/A N/A F. Interior Side Setbacks ³ : 5' 5' 5' 5' 5' 5' G. Street Side Setback: 5' 5' 5' 5' 10' From living to end tract 5' 5' 5' 10' 0	Side entry garage	N/A	10'	10′	10′	
Lots greater than 110' in depth 5' 15' 20' 25' E. Rear Setbacks - Rear Loaded 3: 5' 5' N/A N/A F. Interior Side Setbacks 3: 5' 5' 5' 5' 5' 5' G. Street Side Setback: 5' 5' 5' 5' 10' 5' 5' 10' From living to end tract 5' 5' 5' 5' 10' 0'	D. Rear Setbacks - Front Loaded ³ :					
E. Rear Setbacks - Rear Loaded 3:5'5'5'N/AN/AF. Interior Side Setbacks 3:5'5'5'5'5'5'5'G. Street Side Setback:5'5'5'5'10'From living to end tract5'5'5'5'10'From porch to end tract0'0'0'0'0'From porch to property line if no end tract 4'10'10'10'10'From PUE2'2'2'2'2'Accessory Structures 3:	Lots 110' in depth or less	5′	10′	N/A	N/A	
F. Interior Side Setbacks ⁵ : 5' 5' 5' 5' G. Street Side Setback: 5' 5' 5' 10' From living to end tract 5' 5' 5' 10' From porch to end tract 0' 0' 0' 0' 0' From porch to end tract 10' 10' 10' 10' 10' From porch to property line if no end tract ⁴ 5' 5' 5' 5' 5' From PUE 2' 2' 2' 2' 2' 2' 2' Accessory Structures ³ :	Lots greater than 110' in depth	5′	15′	20′	25′	
G. Street Side Setback:From living to end tract5'5'5'10'From porch to end tract0'0'0'0'0'From living to property line if no end tract 410'10'10'10'10'From porch to property line if no end tract 45'5'5'5'5'From PUE2'2'2'2'2'2'Accessory Structures 3:Maximum building height20'20'20'20'20'RV Garage building heightN/AN/AN/A25'25'From front lot line60'60'60'60'60'Minimum distance to side and rear lot lines4'4'4'4'4'Common Open Space:20%20%20%20%20%20%20%	E. Rear Setbacks - Rear Loaded ³ :	5′	5′	N/A	N/A	
From living to end tract 5' 5' 5' 5' 10' From porch to end tract 0'	F. Interior Side Setbacks ³ :	5′	5′	5′	5′	
From porch to end tract O' O' O' O' From porch to end tract O'	G. Street Side Setback:	1				
From living to property line if no end tract 410'10'10'10'From porch to property line if no end tract 45'5'5'5'5'From PUE2'2'2'2'2'Accessory Structures 3:20'20'20'20'20'Maximum building height20'20'20'20'20'RV Garage building height6'6'7'6'From principal structure6'6'6'60'60'Minimum distance to side and rear lot lines4'4'4'4'Open Space:20%20%20%20%20%	From living to end tract	5′	5′	5′	10′	
From porch to property line if no end tract 45'5'5'5'From PUE2'2'2'2'Accessory Structures 3:20'20'20'20'20'Maximum building height20'20'20'20'20'RV Garage building heightN/AN/A25'25'From principal structure6'6'6'6'From front lot line60'60'60'60'Minimum distance to side and rear lot lines4'4'4'Open Space:20%20%20%20%20%	From porch to end tract	0′	0′	0′	0′	
From PUE 2' 2' 2' 2' Accessory Structures ³ : 20' 20' 20' 20' 20' 20' 20' 20' Maximum building height 20' 20' 20' 20' 20' 20' 20' RV Garage building height N/A N/A N/A 25' 25' 25' From principal structure 6' 6' 6' 7' 6' From front lot line 60' 60' 60' 60' 60' 60' Minimum distance to side and rear lot lines 4' 4' 4' 4' 4' Common Open Space: 20% 20% 20% 20% 20% 20%	From living to property line if no end tract ⁴	10′	10′	10′	10′	
Accessory Structures 3:Maximum building height20'20'20'20'RV Garage building heightN/AN/A25'25'From principal structure6'6'7'6'From front lot line60'60'60'60'60'Minimum distance to side and rear lot lines4'4'4'4'Open Space:20%20%20%20%20%	From porch to property line if no end tract ⁴	5′	5′	5′	5′	
Maximum building height20'20'20'20'RV Garage building heightN/AN/A25'25'From principal structure6'6'7'6'From front lot line60'60'60'60'60'Minimum distance to side and rear lot lines4'4'4'4'Open Space:20%20%20%20%20%	From PUE	2′	2′	2′	2′	
RV Garage building heightN/AN/A25'25'From principal structure6'6'7'6'From front lot line60'60'60'60'60'Minimum distance to side and rear lot lines4'4'4'4'Open Space:20%20%20%20%20%	Accessory Structures ³ :					
From principal structure6'6'7'6'From front lot line60'60'60'60'60'Minimum distance to side and rear lot lines4'4'4'4'Open Space:Common Open Space:20%20%20%20%	Maximum building height	20′	20′	20′	20′	
From front lot line60'60'60'60'Minimum distance to side and rear lot lines4'4'4'Open Space:20%20%20%	RV Garage building height	N/A	N/A	25′	25′	
Minimum distance to side and rear lot lines 4' 4' 4' 4' Open Space Requirements Common Open Space: 20% 20% 20% 20%	From principal structure	6′	6′	7′	6′	
Open Space Requirements Common Open Space: 20% 20% 20% 20%	From front lot line	60′	60'	60′	60′	
Common Open Space: 20% 20% 20% 20%	Minimum distance to side and rear lot lines	4'	4′	4′	4′	
	Open Sp	pace Requiremen	ts			
Residential Private Open Space:50 SF50 SF50 SF50 SF	Common Open Space:	20%	20%	20%	20%	
	Residential Private Open Space:	50 SF	50 SF	50 SF	50 SF	

1. Refer to exhibits on this page for illustrative diagram.

2. Measured from principle building to principle building.

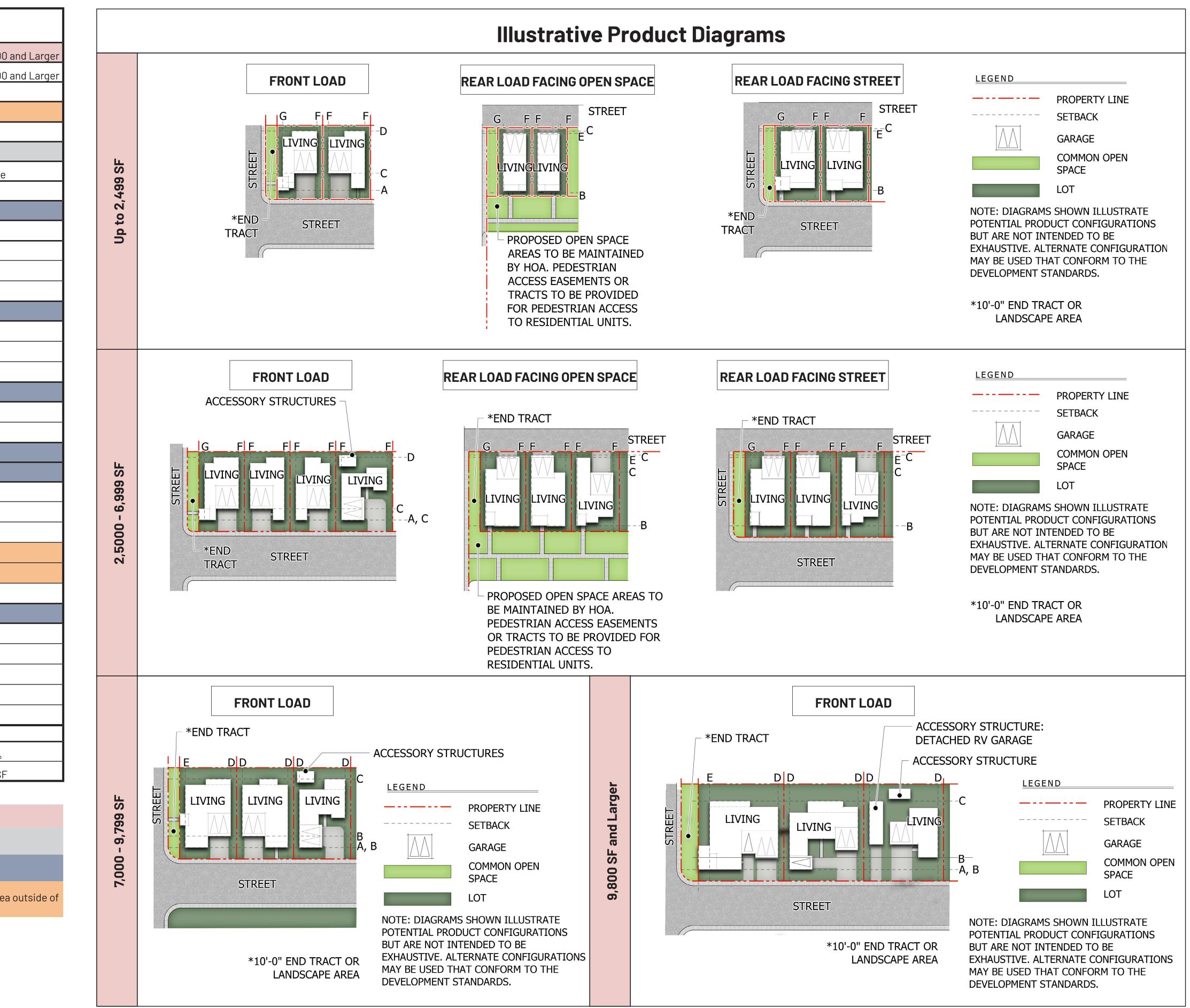
3. Setbacks are measured from the property line unless otherwise noted.

4. End tracts must be 10'. Where no end tract is provided, the corner lot width must be provided and 10' of landscape area outside of private yard.



MARICOPA TOWNE CENTER

DEVELOPMENT STANDARDS - SINGLE FAMILY DETACHED









DETACHED FRONT LOAD



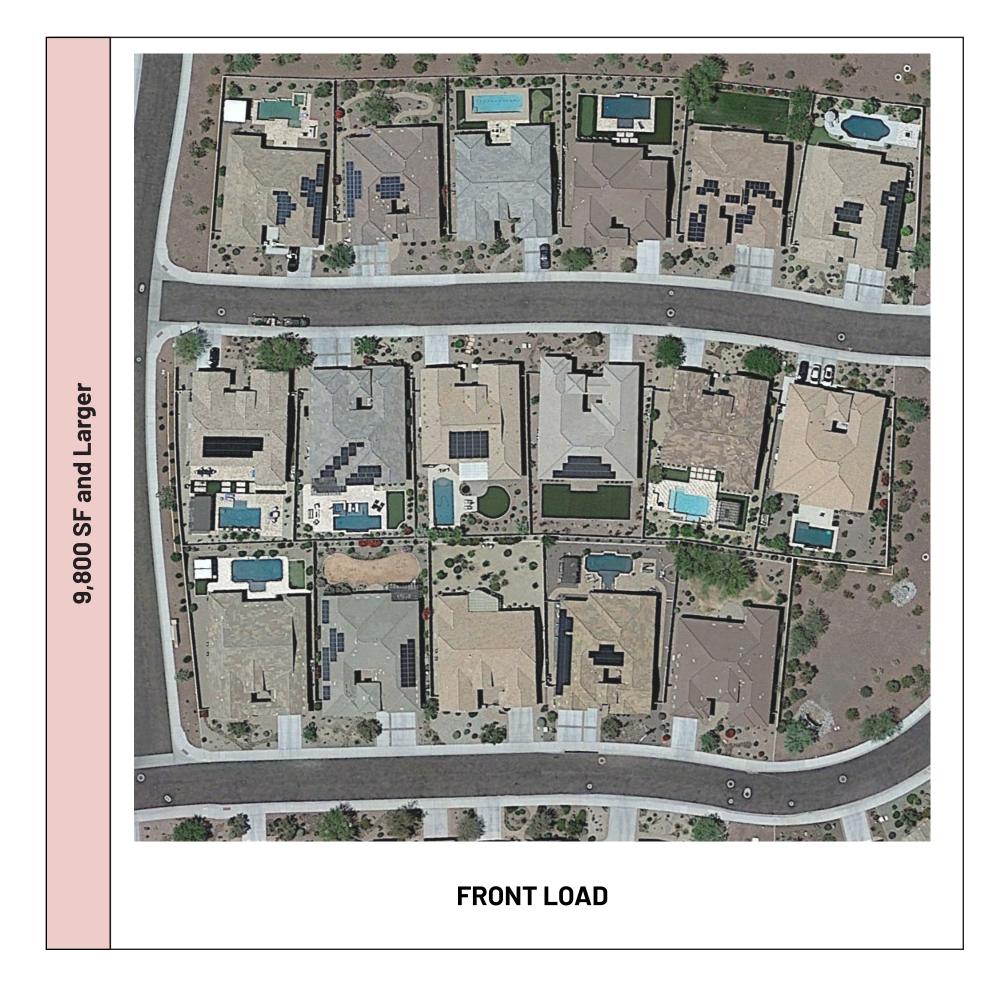
MARICOPA TOWNE CENTER

EXAMPLES - SINGLE FAMILY DETACHED

DETACHED REAR LOAD FACING STREET

DETACHED REAR LOAD FACING OPEN SPACE





AB 7 LA

Date: 04-14-2025

Single-Family Detached - Cluster and Hammerhead

Development Type ¹ :	Cluster	Hammerhead
Minimum Lot Area:	2,000 SF	2,000 SF
Minimum Lot Width:	30'	30'
Maximum Building Height:	38'	38'
Minimum Building Spacing ² :	10'	10'
Minimum Private Outdoor Living Area Per Unit	80 SF	80 SF
Maximum Building Setback Adjacent to Public Roadway:	None	None
Minimum Building Setbacks		
A. Front Setbacks ³ :		
Front Living Setback from back of curb or sidewalk adjacent to roadway	10'	10'
Front Porch Setback From back of curb or Sidewalk Adjacent to Roadway :	2'	2'
B. Garage Setbacks ³ :		
Side Entry Garage	10'	10'
Front facing garage with parking on driveway setback from sidewalk or back of curb where no sidewalk occurs	20'	20'
Front facing garage with no driveway parking setback from back of curb	5' max.	5' max.
C. Rear Setback (Front Loaded) ³ :	10'	10'
D. Rear Setback (Rear Loaded) from Back of Curb ³ :	4'	4'
E. Interior Side Setback:	5'	5'
F. Street Side Setback:		
From living to end tract	0'	0'
From porch to end tract	0'	0'
From living to property line if no end tract ⁴	10'	10'
From porch to property line if no end tract ⁴	5'	5'
From PUE	2'	2'
Open Space Requirements	•	·
Common Open Space	20%	20%
Residential Private Open Space	50 SF	50 SF

1. Refer to exhibits on this page for illustrative diagram.

2. Measured from principle building to principle building.

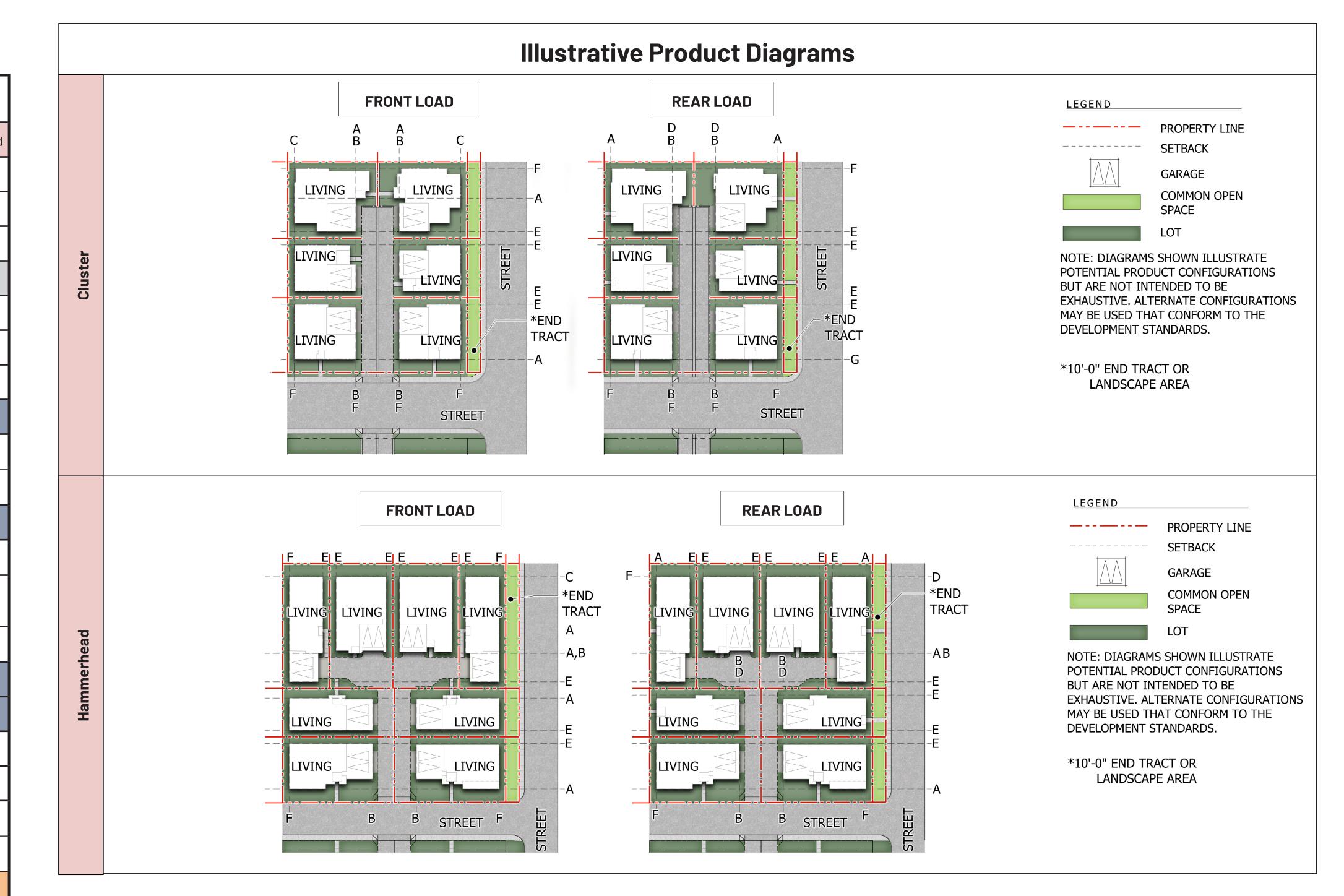
3. Setbacks are measured from the property line unless otherwise noted.

4. End tracts must be 10'. Where no end tract is provided, the corner lot width must be provided and 10' of landscape area outside of private yard.



MARICOPA TOWNE CENTER

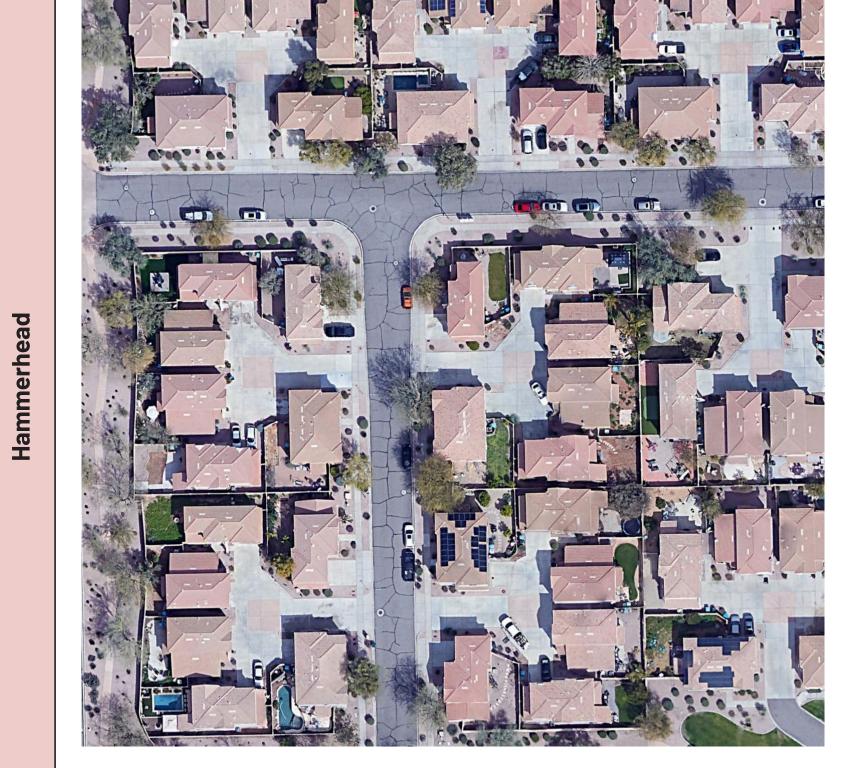
DEVELOPMENT STANDARDS - Single-Family Detached - Cluster and Hammerhead





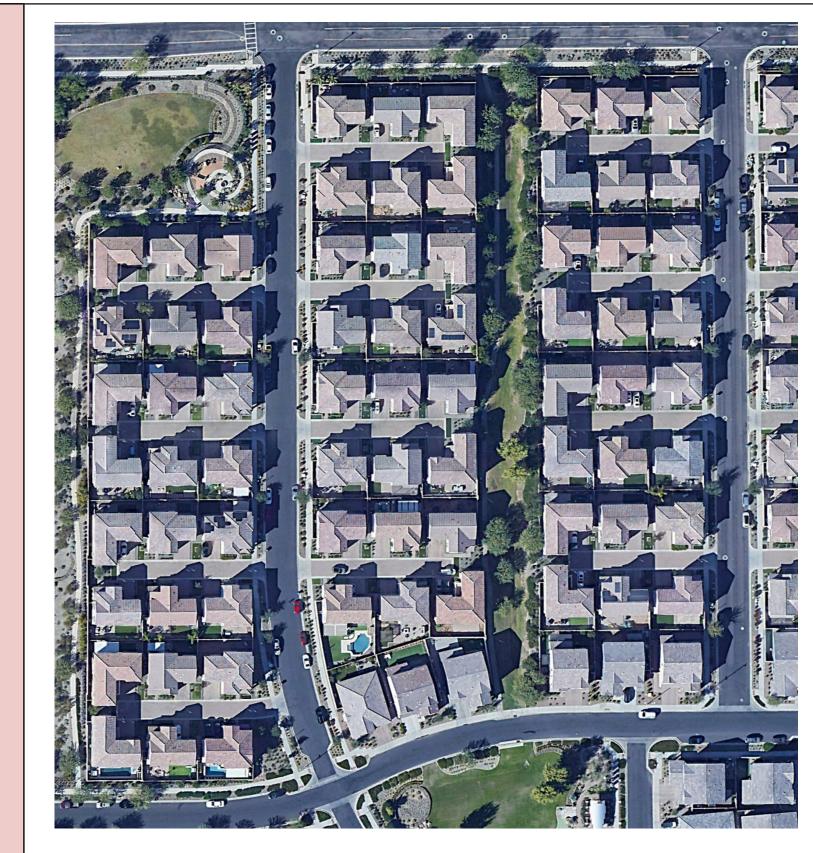


HAMMERHEAD FRONT LOAD





Cluste

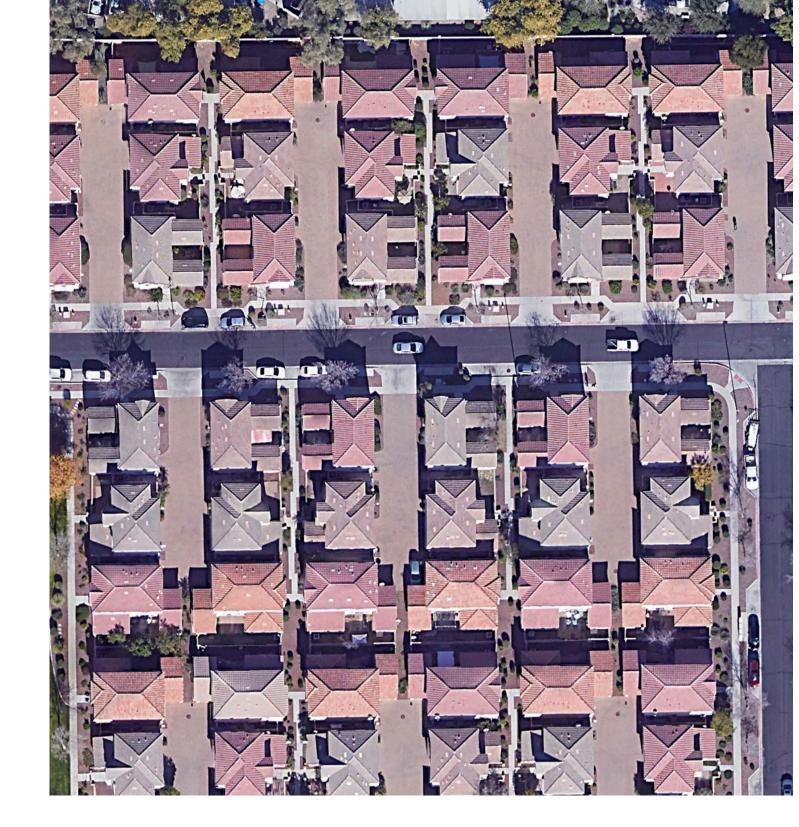


FRONT LOAD

HAMMERHEAD FRONT LOAD

HAMMERHEAD FRONT LOAD

REAR LOAD





REAR LOAD FACING OPEN SPACE

HAMMERHEAD REAR LOAD



Single-Family	Attached	
Development Type ¹ :	Up to 2,499 SF	2,500-6,999 SF
Lot Area:	Up to 2,499 SF	2,500-6,999 SF
Minimum Lot Width:	20'	30'
Corner Lots ⁴	24′	35′
Maximum Building Height:	38′	38′
Minimum Building Spacing ² :	10′	10′
Maximum Building Setback Adjacent to Public Roadway:	None	None
Minimum Buildir	ng Setbacks	
A. Front Setbacks (Front Loaded) ³ :		
From living space	10′	10′
B. Front Setbacks (Rear Loaded):		
From property line adjacent to common tracts	0′	0'
From street tract or right-of-way	10′	10′
C. Garage Setbacks ³ :		
Front facing garage with parking on driveway	20'	20′
Front facing garage with no driveway parking	5' max.	5' max.
D. Rear Setbacks - Front Loaded ³ :		
To living for lots 110′ in depth or less	5′	10'
To living for lots greater than 110′ in depth	5′	15′
E. Rear Setbacks - Rear Loaded ³ :	5′	5′
F. Interior Side Setbacks ³ :	0′	0'
G. Street Side Setback:		
From living to end tract	0′	0'
From porch to end tract	0′	0'
From living to property line if no end tract ⁴	10′	10′
From porch to property line if no end tract ⁴	5′	5′
From PUE	2′	2′
Accessory Structures ³ :		
Maximum building height	N/A	32′
From principal structure	N/A	6′
From property line	N/A	5′
Open Space Re		
Common Open Space: Residential Private Open Space:	20% 50 SF	20% 50 SF

1. Refer to exhibits on this page for illustrative diagram.

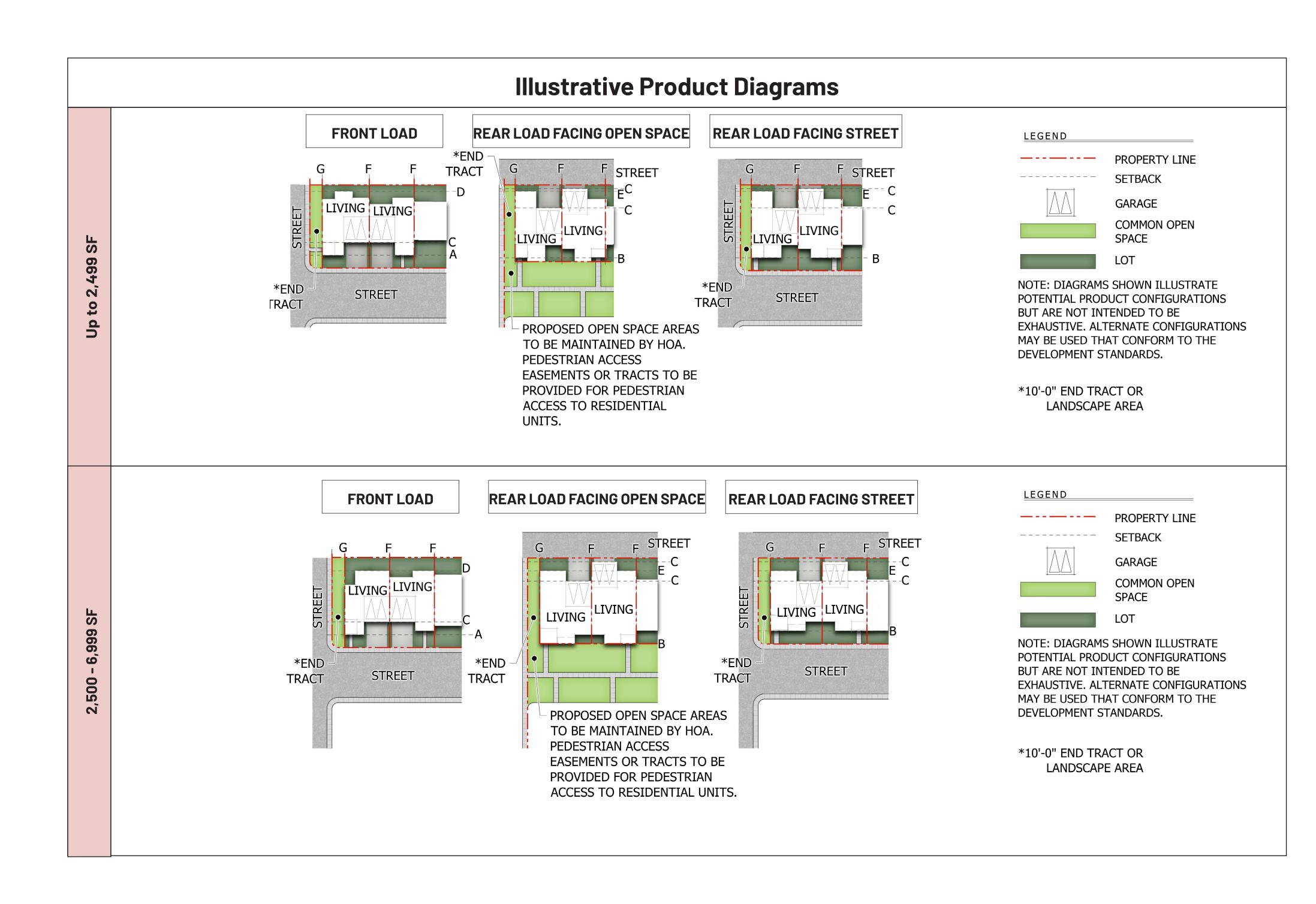
2. Measured from principle building to principle building.

3. Setbacks are measured from the property line unless otherwise noted.

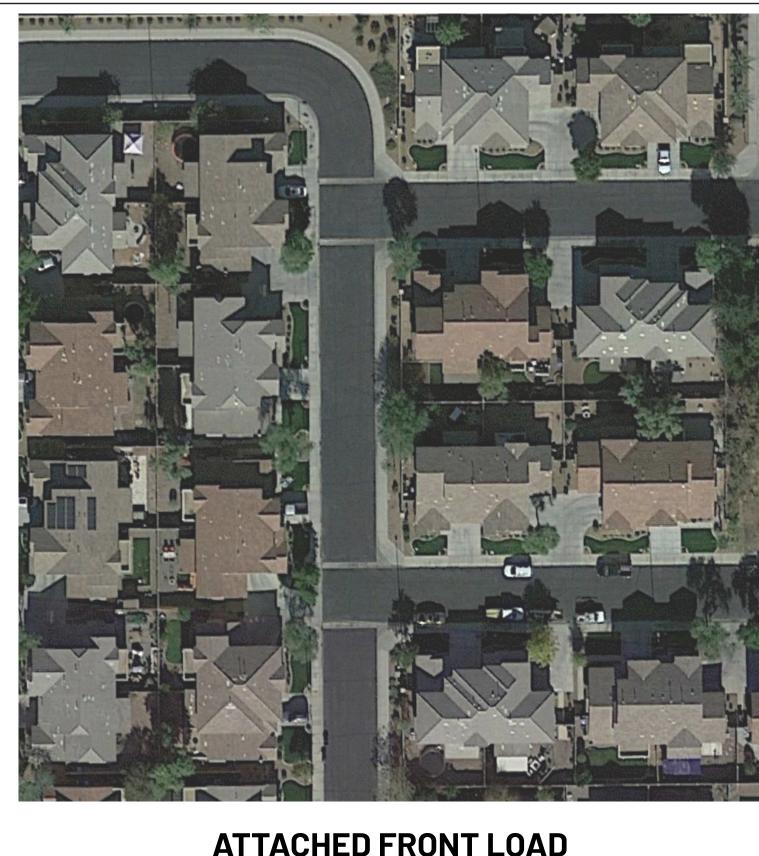
4. End tracts must be 10'. Where no end tract is provided, the corner lot width must be provided and 10' of landscape area outside of private yard.



MARICOPA TOWNE CENTER

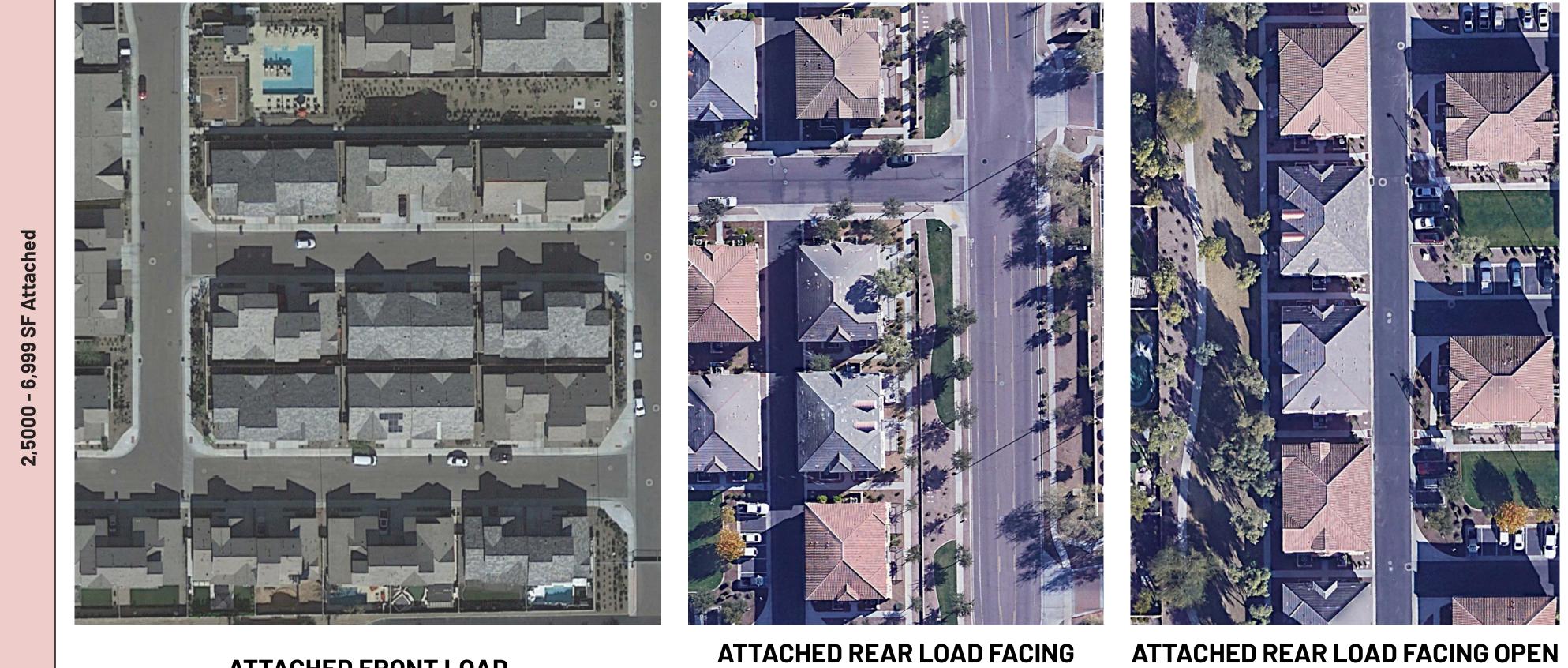






Attached

Up to 2,499 SF



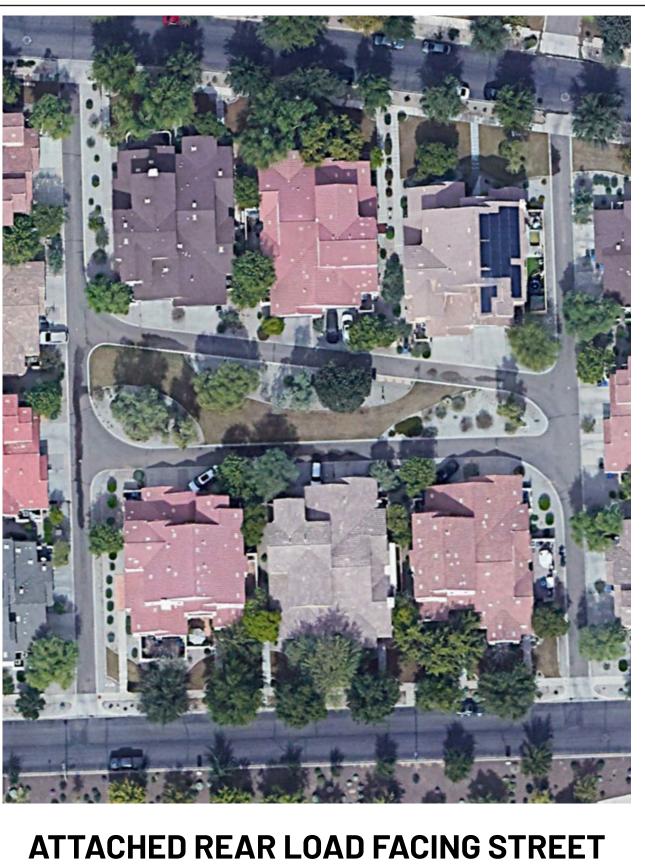
ATTACHED FRONT LOAD



Examples - Single-Family Attached



ATTACHED FRONT LOAD



STREET

SPACE

Date: 04-14-2025





Horizontal Multi-Family		
Development Type ¹ :	Horizontal Multi-Family	
Minimum Lot Area:	43,560 SF	
Maximum Building Height:	38'	
Maximum Building Setback Adjacent to Public Roadway:	None	
Mi	nimum Building Setbacks	
A. Perimeter Street Landscape Setback:		
Local	10'	
Collector	15'	
Arterial	20'	
B. Perimeter Side Setback:	5'	
C. Perimeter Rear Setback:	8'	
D. Minimum Building Space:	8'	
Attached walls	0'	
Minimum Parking Setbacks		
E. Front Setback to Parking ² :	13'	
F. Side Setback to Parking ² :	13'	
G. Rear Setback to Parking ³ :	15'	
Open Space Requirements		
Common Open Space	20%	
Residential Private Open Space	50 SF	

1. Refer to exhibits on this page for illustrative diagram. 2. Setbacks are measured from the back of curb.

3. Setbacks are measured from back of curb to wall.

Vertical Multi-Family		
Development Type ¹ :	Vertical Multi-Family, Townhome, Condo, or Other Similar Product	
Minimum Lot Area:	43,560 SF	
Maximum Building Height:	60'	
Maximum Building Setback Adjacent to Public Roadway:	None	
Minimum Building S	etbacks	
A. Perimeter Setbacks ² :		
Up to 2 stories	15'	
Greater than 2 stories ³	20'	
Townhomes	8'	
Internal Setbacks:		
B. Garage Setbacks from Back of Curb or Sidew	alk Adjacent to Street	
Garage with Parking on Driveway	20'	
Garage with No Driveway Parking	5' max.	
C. Building Setback From Back of Curb or Sidewalk Adjacent to Parking Stall or Street		
D. Minimum Building Spacing	20'	
E. Minimum Rear Yard Depth	5'	
Open Space Requi	ements	
Common Open Space	20%	
Residential Private Open Space	50 SF	

1. Refer to exhibits on this page for illustrative diagram.

2. Setback applies to front, rear, and sides unless otherwise noted.

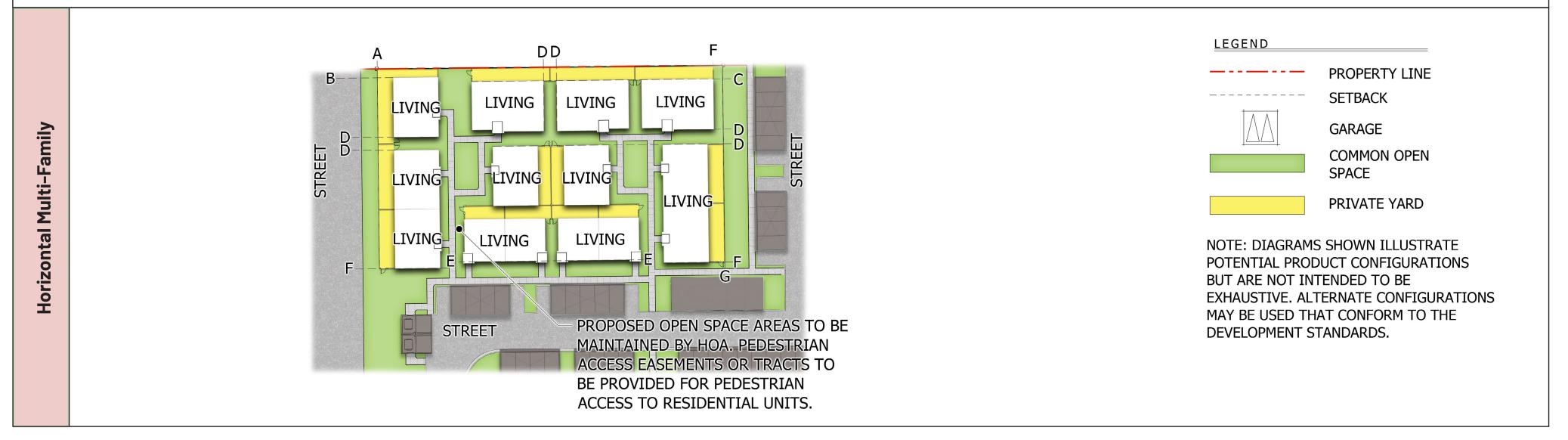
3. Building step-back of 1' for every foot of building height above 2 stories or 30'.

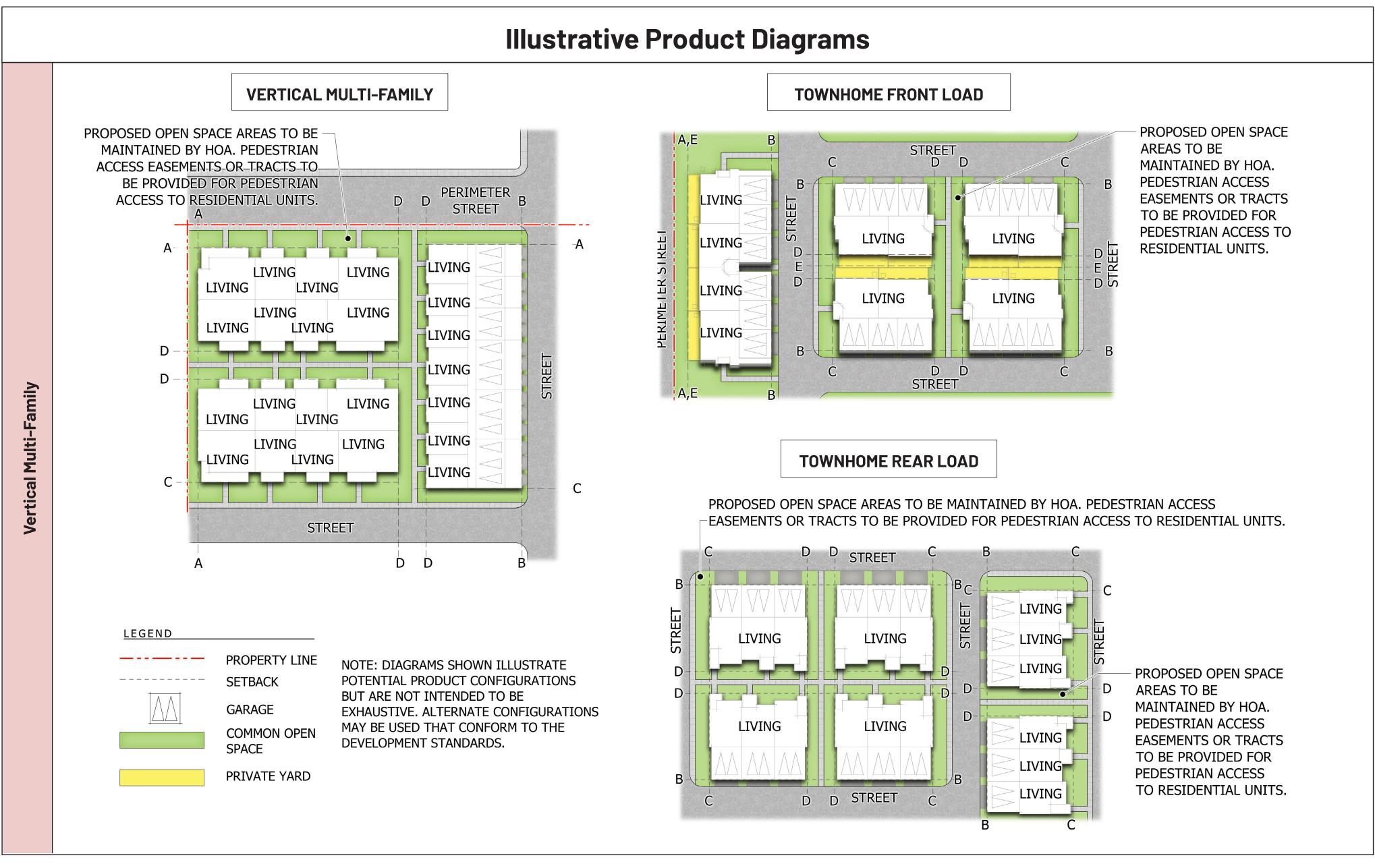


MARICOPA TOWNE CENTER

DEVELOPMENT STANDARDS - Multi-Family

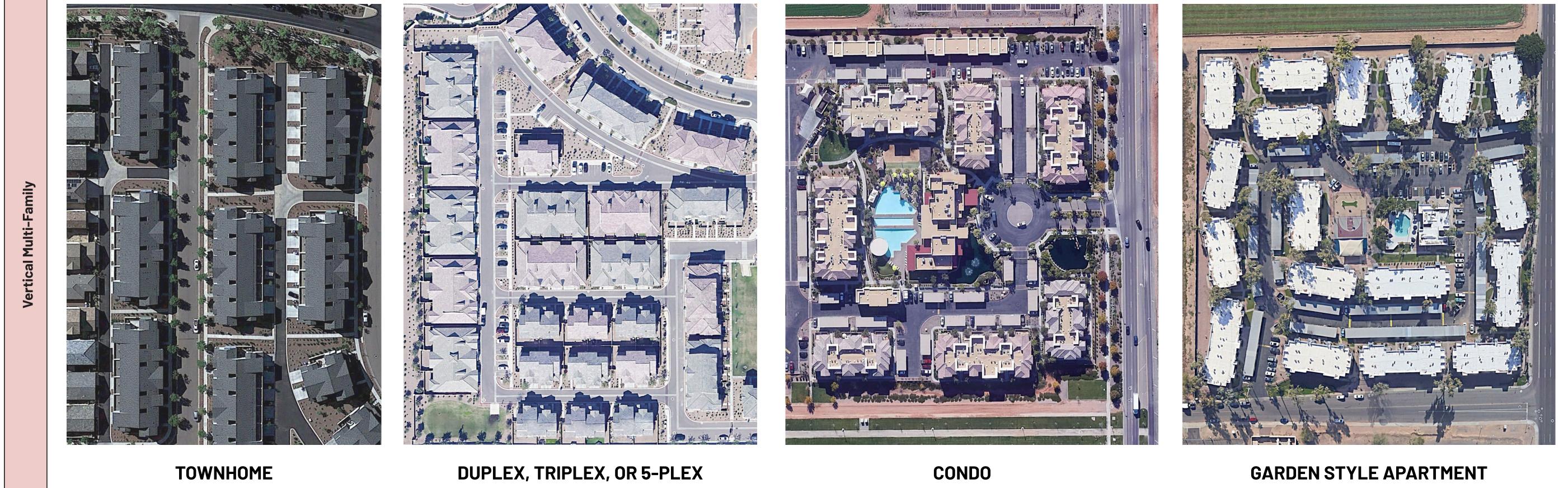
Illustrative Product Diagrams





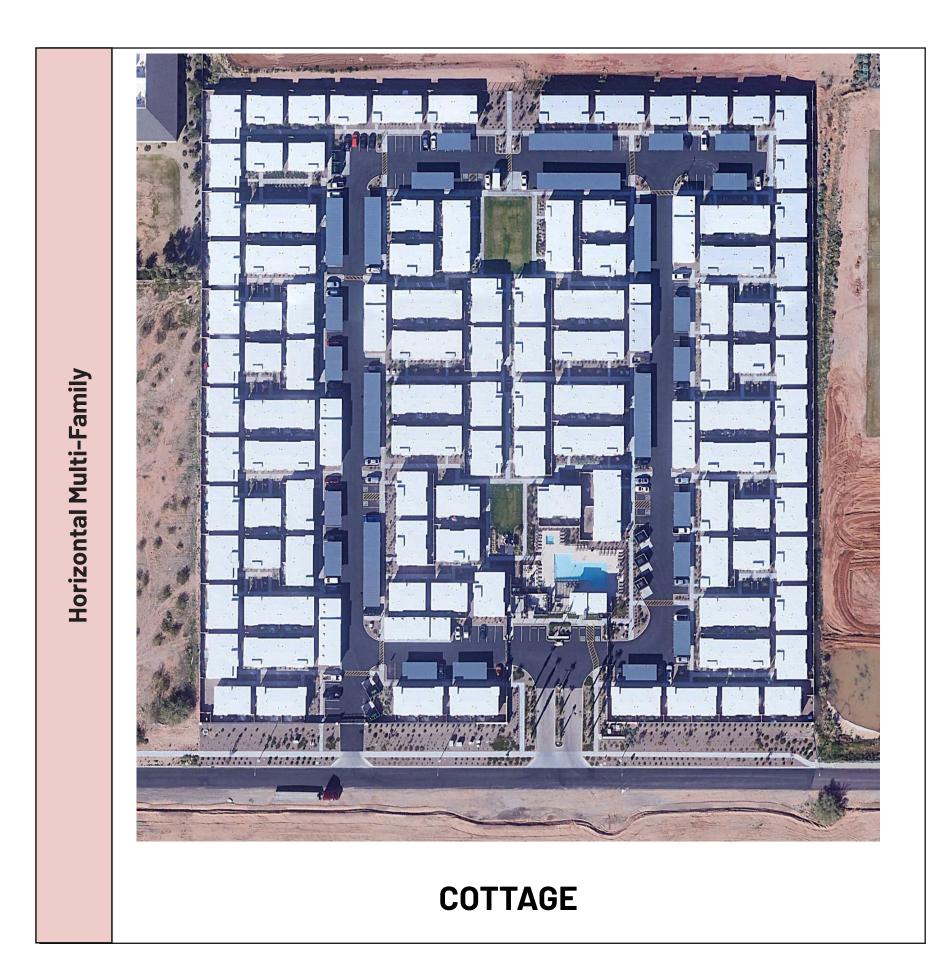
Date: 04-14-2025

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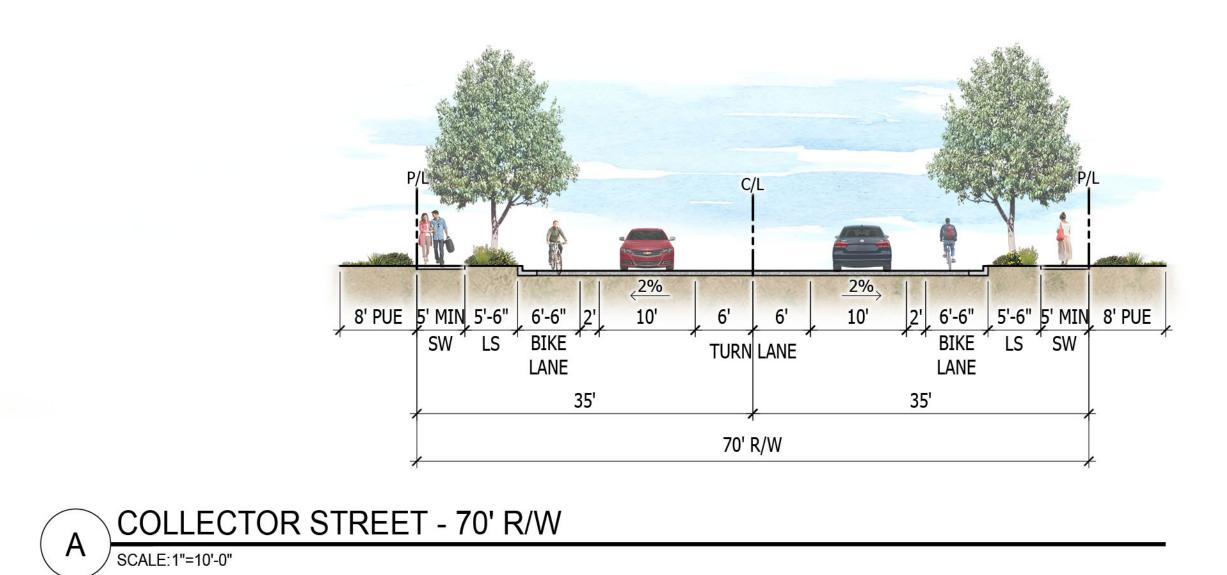


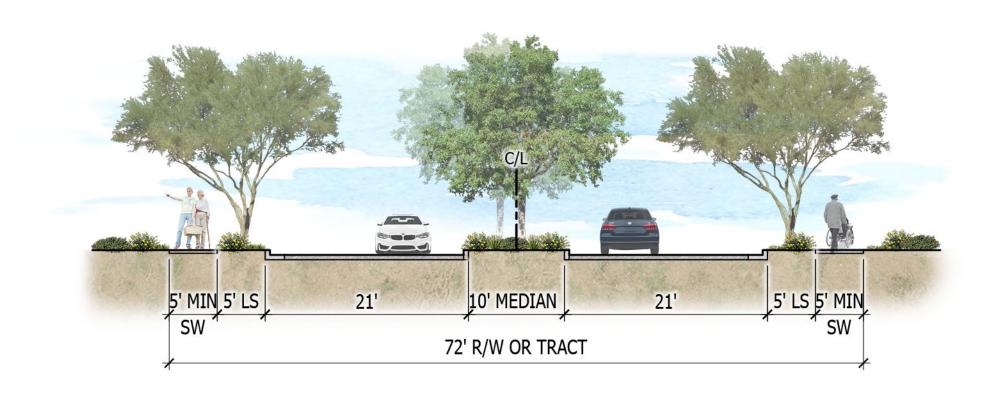


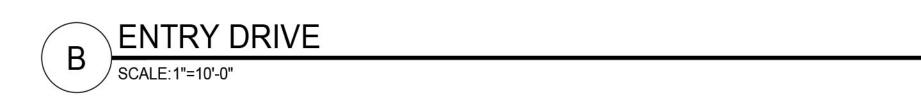
Examples - Multi-Family

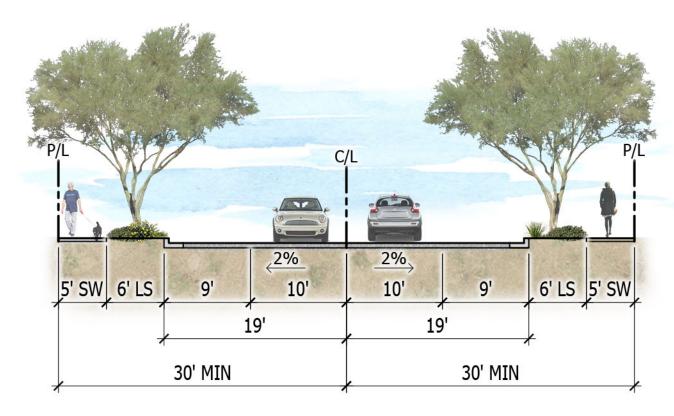












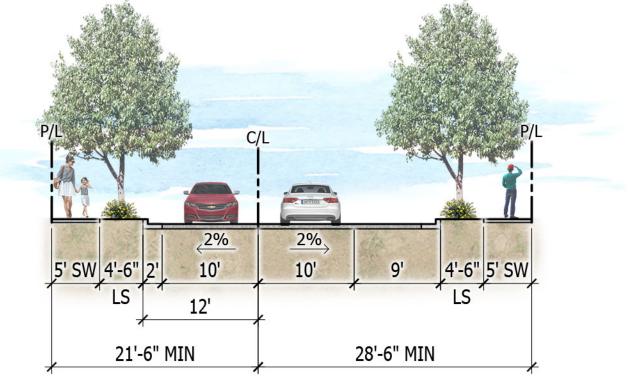
OPTION 1



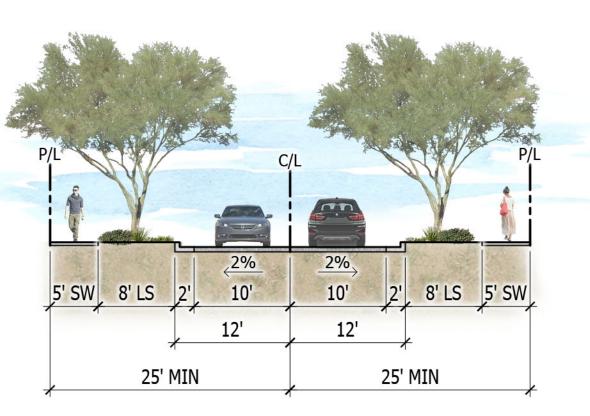


MARICOPA TOWNE CENTER Street Sections

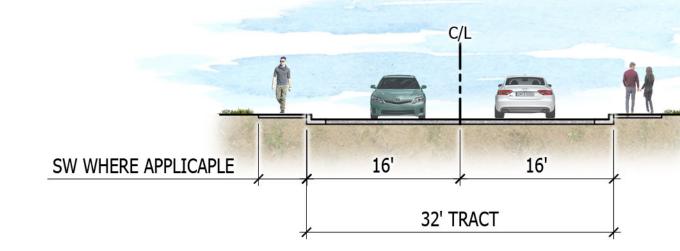
OPTION 2



OPTION 3





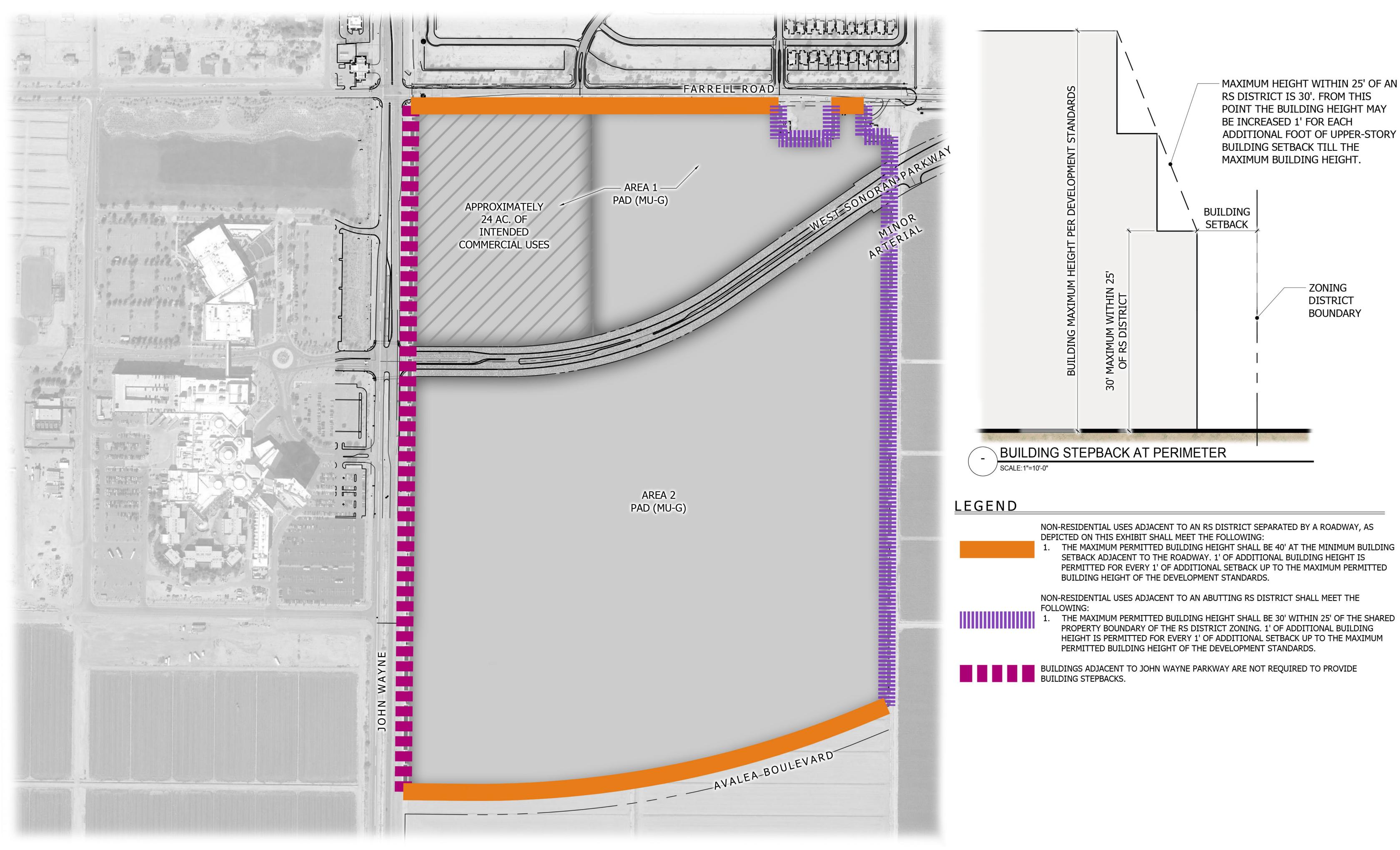


NOTE: STREET SECTIONS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE PER FINAL PLAT DESIGN.











MARICOPA TOWNE CENTER Building Height Stepback Requirements

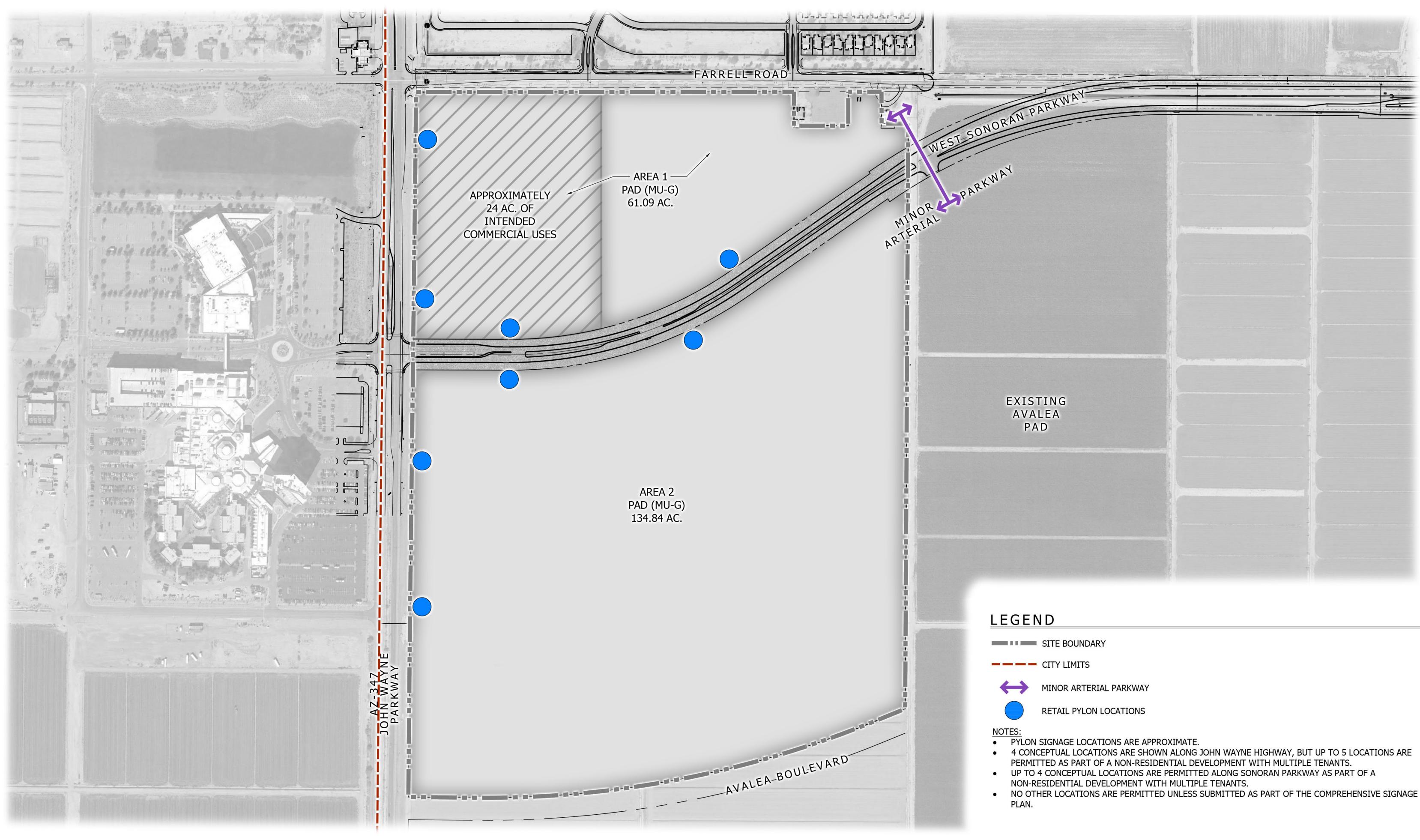




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MARICOPA TOWNE CENTER Conceptual Signage Plan





