



ANDERSON FARMS PAD

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INTRODUCTION

Lennar (“Applicant”), one of America’s leading homebuilders and a Fortune 500 company, desires to develop approximately 569 acres located at the northwest corner of Murphy Road and Farrell Road (“Property”) immediately west of the current Volkswagen proving grounds, in the City of Maricopa, AZ (“City”). The request is to create a new Planned Area Development (“PAD”) zoning district of several different types of residential neighborhoods with a plethora of integrated open space and mixed-use areas. Refer to **Exhibit A** for the Aerial Vicinity Map.

Purpose & Intent

The purpose of the request is to create a new unique and cohesively planned area to suit the ever-growing need for local single family residential homes. The Property currently consists of 2 parcels that will eventually make up one individual PAD that proposes several integrated residential neighborhoods with active and passive open spaces and trail connections. Additionally, the design concept of the neighborhoods will pay homage to the essence of the region’s agricultural composition.

REQUEST

The purpose of the request is to rezone parcels 502-03-015F and 502-03-015H from existing RA - Agricultural zoning to the City’s PAD zoning to allow for an innovative set of single-family subdivisions and neighborhoods that are planned as part of a larger master plan. Refer to **Exhibit B** for the existing zoning map. The proposed PAD will work with the City to construct a solution to handle the major wash corridor and development of public streets, along with private passive and active open spaces for the future residents of the community.

In addition to the planned residential enclaves within the PAD, the proposal is to provide for two (2) mixed-use areas at the northwest and southwest corners of the Property. This land planning will enable the potential for community and neighborhood uses that provide for the goods and services necessary to support the planned residential community and surrounding communities. The mixed-use designation will provide for a number of commercial, employment and multi-family and dense single family residential uses. Refer to **Exhibit C** for the proposed conceptual PAD land use plan.

EXISTING CONDITIONS

Site Location & Conditions

The Property is located at the northwest corner of Murphy Road and Farrell Road immediately west of the current Volkswagen proving grounds. Portions of the Property are identified as being located within Flood Zone A. Refer to **Exhibit D** for floodplain map of the Property. The areas within the existing flood zone will be processed through FEMA as part of a future phase to remove them from the flood zone in a CLOMR/LOMR. In the northwest portion of the Property, there are two (2) entitled subdivision plats that will be incorporated into the overall master planned Anderson Farms PAD. That area is currently in for City review to begin development of the single family lots, public streets and open spaces.

Legal Descriptions

The proposed Anderson Farms PAD is approximately 566 acres. The Property is identified on the Pinal County Assessor’s map as parcels 502-03-015F and 502-03-015H. Please refer to **Exhibit E** for the legal description of the proposed PAD portion of the larger parcel.

Existing General Plan

A vast Majority of the Property is designated as Master Planned Community. The Master Planned Community provides for developments of 160+ acres to support variety of residential and commercial uses to meet the needs of the local residents. The approximately 15 acres at the northwestern edge of the Property are designated for Commercial use. Refer to **Exhibit F**, Existing General Plan Land Use Map. The proposed PAD encompasses roughly 569 acres of land. The proposed land use plan is consistent with City's land use map by placing mixed-use land use categories at the northwest and southwest corners of the Property for conformance with the General Plan and the potential for non-residential land uses to provide future goods and services to the master planned community.

Surrounding Zoning & Land Uses

The Property is surrounded by primarily partially developed master planned communities, undeveloped industrial or agricultural land. The neighboring parcel to the east is the Volkswagen proving grounds zoned CI-2 Industrial. That property abuts the entirety of the eastern property line of the proposed PAD. A General Rural zone used for agriculture exists diagonally to the southeast. To the south, a combination of CR-1 and CR-3 exists, but the primary use of those properties remains agriculture or vacant undeveloped lots and a future high school. The neighboring parcels to the west are certainly the most developed of all the adjacent parcels. CR-3 Single Family Residential homes in the Sorrento subdivision border the west. Additionally, the neighboring parcels to the southwest and northwest are comprised of CB-2 General Commercial lots which remain undeveloped for the time being and are currently vacant or agricultural uses. Finally, to the north is the Tortosa subdivision comprised of vacant CR-3 single family residential lots.

GENERAL PLAN CONFORMANCE

Background

The proposed land plan as part of our PAD request places a majority of the neighborhoods within the existing area designated as Master Planned Community on the General Plan map. As required in the proposed zoning ordinance for PAD's, a mixed-use land use component will be designated at the northwest and southwest corners of the Property. The mixed-use land use designation will provide for potential commercial and medium to high density residential mix of uses to provide for alternative land uses to serve the primarily residential community. All but a small area of 15 acres of the proposed PAD currently falls within land designated for Master Planned Community. By designating the commercial area on the land use map as Mixed-Use within the PAD, the proposal is consistent with the General Plan and no amendment is necessary. Based upon the entire PAD submittal, the PAD comports to the direction of the current General Plan.

General Conformance

The following are a few of the goals and objectives of the City's General Plan that support the rezoning of the Property to PAD:

Objective B1.2.1: Proactively manage future development and partner with developers to create distinctive communities.

Anderson Farms PAD: This community provides the City with an organized and meaningful development pattern over a large quantity of land as opposed to smaller individualized parcels the comingle in the same vicinity but have no relation to each other.

Objective B1.2.2: Establish entryways, gateways, streetscapes, and other features that distinctively delineate the various village neighborhoods.

Anderson Farms PAD: This community has a meaningful entry statement that pays homage to the rich agricultural history of the area by incorporating a theme with ornate elements the nod to the Anderson Family farming roots.

Objective B1.3.5: Establish guidelines for the appropriate inclusion of green spaces, paths, and other people-oriented amenities.

Anderson Farms PAD: This community has incorporated linear open spaces that follow the historical farm field geometric undertones while providing efficient and organized pedestrian/bicycle routes that lead to the central Anderson Farms Blvd. collector road and central park.

Objective B1.4.1: Address land use compatibilities and incompatibilities when considering zone changes and development approvals.

Anderson Farms PAD: This community lies next to Tortosa and Sorrento master planned residential communities and will contribute to the suburban fabric with additional high quality residential communities where families of multiple demographics and generations will call home.

Objective G1.d.1.1: Work with HOAs to dedicate land or provide easements where planned trails cross or run adjacent to established communities.

Anderson Farms PAD: This community is designed within a square mile and is bound with arterial roads on all four sides. Anderson Farms envisions open space tracts adjacent to these rights of way with both public sidewalk and a trail system for our residents and the general public to use.

Objective G2.1.9: Support Economic Development goals with quality parks and recreation amenities to attract and retain high-skilled employers and employees seeking a full-service community.

Anderson Farms PAD: Due to its lack of proximity to the City Recreation Center, the Anderson Farms community envisions a robust HOA owned and maintained 10-acre park with robust amenities for the Anderson Farms residents to use and enjoy. Whether that be a swim and a “dive-in movie” at the community pool or fishing in the community lake and even a resident weekend tournament of pickleball on the community courts. This will be the place where the neighbors come together and create community and friendships.

Permitted Uses & Development Standards

The proposal is to utilize the RS-5 District development standards for the initial residential subdivisions. The RS-5 district is intended to provide areas for medium-density residential neighborhoods. Housing types include single unit detached and attached housing generally on lots of at least 5,000 square feet. Up to twenty-five (25) percent of the lots in a subdivision may be below the minimum lot size, but no lot shall be less than 4,500 square feet. In addition to single unit homes, this district provides for uses such as parks that are appropriate in a residential environment. The remainder of the PAD will have the ability to utilize the commercial and mixed-use zoning development standards for true mixed-use development. Within the mixed-use portion of the community, there is opportunity for single and multi-family dwellings.

Permitted Uses - Phase 1

Phase 1 will develop with the permitted uses within the RS-5 zoning district of the City of Maricopa Zoning Code.

Permitted Uses - Phase 2

Phase 2 will develop with the permitted uses within the RS-5 zoning district of the City of Maricopa Zoning Code.

Permitted Uses - Phases 3-8

Phase 1 will develop with the permitted uses within the RS-5, along with General Mixed-Use (“MU-G”) zoning districts of the City of Maricopa Zoning Code.

Development Standards Table

Proposed Amended Development Standards - Residential

The requested PAD requests to create four (4) different lot size categories within RS-5 zoning category of the PAD. They are as follows:

Category	Lot Sizes	# Lots	%
1	40x115	292	14.1%
2	45x120	821	39.7%
3	50x120	728	35.2%
4	65x120	226	10.9%
Total:		2067	100%

Anderson Farms - Amended Development Standards Table

DEVELOPMENT STANDARDS TABLE		
	RS-5	MU-G
LOT STANDARDS		
MINIMUM LOT AREA (S.F.)	4,500	4,500
MINIMUM LOT WIDTH (FT.)	40	60
MINIMUM LOT DEPTH (FT.)	N/A	
MAXIMUM DENSITY (UNITS/NET AC)	N/A	24
MAXIMUM LOT COVERAGE	N/A	N/A
MAXIMUM FAR	N/A	1.2
MAXIMUM BUILDING HEIGHT	30	45
MINIMUM BUILDING HEIGHT	N/A	2

1 ST FLOOR CEILING HEIGHT, NON-	N/A	12
FRONT (FT.)	15 (1)(2)	10
INTERIOR SIDE (FT.)	5	5
INTERIOR SIDE TO RESIDENTIAL (FT.)	N/A	0
STREET SIDE (FT.)	5	10
REAR (FT.)	15	20
MAXIMUM FRONT SETBACK (FT.) *	N/A	20
OUTDOOR LIVING AREA (SF/UNIT)	N/A	120
OUTDOOR STORAGE	N/A	N
OPEN SPACE	N/A	N/A
TRANSITIONS	N/A	Y
TRANSPARENCY FOR GROUND-FLOOR FRONTAGES, NONRESIDENTIAL USES	N/A	Y

1. Livable areas and side entry garages may have a minimum setback of 10 feet from the property line.
2. Street facing garage entrances shall be no less than a distance of 18 feet to the nearest sidewalk or to the back of curb, when a sidewalk is not provided.

Density Transfer and Dimensional Standard Flexibility

Within the PAD, there are different land use designations that demonstrate how the four (4) different lotting types will be developed throughout the community. Depending on the real estate market, shifts in density and lot sizes may be necessary throughout the development of the PAD. Therefore, in order to adapt to an ever-changing real estate market and demographics, the PAD shall allow for internal shifts in the proposed phase lines that do not conflict with infrastructure needs of the community or City. Also, the distribution in the total amount of each of the lotting categories in the above development standards table may be shifted by administrative review and approval. Any shift that increases the number of one lot size category lots that is less than twenty (20) percent of the total lot size category in the request shall be an administrative approval. Any shift in total number of lots within one lot size shall be deemed a minor amendment to the PAD. Any change to a development standard up to 15% of the total pertinent development standard of any of the internal zoning districts of the PAD shall be allowed via administrative approval.

PARKING REGULATIONS

Per City of Maricopa Zoning Code.

ARCHITECTURAL DESIGN GUIDELINES

The initial phases of the residential uses will comply with the City's Single Family Design Guidelines. The proposal is to honor the agrarian history of the property by creating several single family and multi-family residential designs based on the agrarian concept. The Anderson Farms PAD is designed to allow non-traditional residential home features that take into consideration growing families with multi-generations living under the same roof with a single address. This includes a separate fully amenitized living space for a family member(s) that can enjoy autonomy from the rest of the family, while still living close enough to participate in the family at-large. Some examples of this include boomerang children who have graduated college and have yet to get their career off the ground but still need to rely on the support of their parents. Another example is the aging parents of an adult son/daughter need to downsize and have fixed housing costs and decide to live with the adult son/daughter. This PAD will allow for full kitchens within the secondary space ("suite") with ovens, stoves, microwaves, refrigerators, sinks, etc. to facilitate the preparation and storage of food. Additionally, the Anderson Farms PAD is proposing to allow RV garages that are incorporated into the home floor plans. Many families have "toys" in which they use for recreation. This includes RV's, boats, jet skis, kayak's, motorcycles, etc. and need a place to store these that is more affordable than an off-site facility. Many times, the RV space can be used as the ever popular "she-shed" or "man-cave" where residents work on crafts or hobbies in their downtime.

The following additional design elements from Table 18.60.060(C) will be implemented as part of the residential development within the PAD:

- Provide landscape open spaces visible from arterial street and residential street view (1)
- Single-story or combination 1 and 2 story homes on all corner lots (1)
- Incorporate architectural enhancements to community mailboxes for residents such as lighting, shade, etc. (1)
- Add additional amenities interior to the project (1)
- Promote human comfort by providing shaded areas, courtyards, colonnades, and other areas as site amenities (1)
- Building orientation that responds to climate and enables passive/active solar strategies and energy efficiency techniques (1)
- Maintain the site's natural topography and features (only applicable to sites with topography changes greater than 5% across the site) (2)

In addition to the above design guidelines, the applicant has submitted, as part of the PAD approval, the proposed single family exterior, architectural design guidelines. Refer to **Exhibit G** for the proposed exterior architectural single family residential designs. If approved as part of the PAD, administrative design review is not required for housing product submittals that meet or exceed the designs attached. The proposed agrarian design themes will be included with any of the proposed land uses allowed within the MU designated land areas. Refer to **Exhibit H** for design examples for non-residential agrarian design themes.

LANDSCAPE & OPEN SPACE

Walls & Fences

Screen walls and/or vegetation screening will be placed in appropriate areas of the development. This PAD believes and envisions that homeowner's rear yards are private and has intentionally minimized the amount of view fence within the community in order to protect children who play in their private back yards. The proposed entry monuments, wall themes, landscape palette and

design will achieve a superior community design consistent with the intent and purpose of the PAD zoning district. Refer to **Exhibit I** for the design theme for the walls, entry features and landscaping.

Open Space Design

This PAD is envisioned as a new family-oriented community and will feature a network of walking paths and trails, connecting residents to centralized open spaces and amenities. The open space is designed to create an incredible sense of community that exceeds the City's typical PAD requirements.

A large ±10-acre centralized park and amenity area will feature a large turf play area, a resort-style community pool facility, dog park, seating areas, and trash cans. This primary amenity will be centrally located and will be constructed with Phase 5. Adequate shade will be provided. The amenity area will be owned and maintained by the property management. The Anderson Farms community has strong pedestrian connectivity through a system of paseos. Trails will lit in certain areas by low bollards and at seating or activity nodes. Refer to **Exhibit J** for these details. Future site lighting will be added for streets and other amenity areas at the time of preliminary and final plat submittals. These trail systems wind their way through neighborhood parks and activated green spaces that culminate with the beautiful main park amenity. This amenity is designed to be reminiscent of our earliest ties to the land and explores the homestead farm; its utilitarian structures as well as its ability to control water in order to thrive. The first view will be the open-air amenity structure complete with a red silo as you look across the lake. Its higher vantage point provides a focal point and a variety of interactive spaces as it terraces toward the lake. You can choose to interact with the water on a formal lake edge plaza, dining area, boardwalk or in naturalized area where you can relax with a view across the water. A farm themed tot lot with a zip line is in close proximity and as ones makes their way through the "orchard" and finds themselves at a large event lawn that pays tribute to the irrigated fields of our homestead. This lawn area is perfect for large gatherings, sports fields or a community movie night. This area also serves as a transition to the active sport complex area. The heart of the active amenity area is a large pool with restroom building, generous pool deck and gathering areas from trellis shade to chaise lounges. The pool complex offers views of the lake in the background through a naturalized "boulder" creek with informal picnic spots. A dog park with shade, seating, and separate large and small dog areas will be popular as it views the lake and is easy to access by the trail system. A full basketball court and two pickleball courts (with room for a third) have been provided in this area as well as a teen/adult area with cornhole and string lights. Parking lots with convenient drop-off zones and food truck areas flank the amenity to the east and west. This amenity will be a beautiful jewel in this park system and will provide years of interactive experience for all users young and old.

The PAD will also feature several active pocket park areas, which are anticipated to include a turf play area, ramadas, trash cans and picnic tables. The active pocket parks will also be centrally located, connected via pedestrian paths to the primary amenity area. Adequate shade will be provided in all areas and will also be owned and maintained by the property management. Refer to **Exhibit J** for the proposed PAD Open Space Plan.

SITE ACCESS & CIRCULATION

Circulation

The Maricopa Casa Grande Highway (HWY 238) is an east-west minor arterial highway accessible utilizing Hartman Road and is located a mere 1.69 miles south of the southwest corner of the Property. HWY 238 is also accessible via Farrell Road 2.38 miles west of the Property. Interstate 10 (I-10) is located northeast of the Property and is accessible from approximately 17.5 miles. Interstate 8 (I-8) is located approximately 25

miles south of the Property and provides access to San Diego and Southern California. The Property is located approximately 7 miles east of the John Wayne Parkway (SR 347), a major north-south state highway in central Arizona that provides access to the Phoenix metropolitan area approximately 20 miles north of Maricopa.

Access & Street Design

Farrell Road bounds the southern border of the Property, Murphy Road lies to the east, Bowling Road to the north, and Hartman Road bounds the west.

The proposed PAD will improve the contiguous half of the major street frontages along the PAD on a phase-by-phase basis, as well as the full street improvement along Bowling Road. The half-street improvements include Hartman Road, Murphy Rd., Bowling Road and Farrell Road. An internal collector road system will be established to provide direct access to the residential enclaves. Additionally, internal enhanced local streets are planned with 5' detached sidewalks. The proposed pedestrian trail and sidewalk network will provide residents and locals with safe and uninterrupted connections to the multiple planned parks, paseos, and street improvements. Further definition of the PAD's circulation plan will occur at the platting stage of development. Refer to **Exhibit K** for the PAD Circulation Plan.

PUBLIC UTILITIES & SERVICES

Existing Utilities & Services

The provision of infrastructure, utilities, and public services is key to the continuing success of Maricopa. The City and Global Water Company is in the process of expanding these services where needed to meet current and new development needs and create sustainable neighborhoods in the future.

Existing Water Facilities

The Property is located within the service area of Santa Cruz Water Company (SCWC), a subsidiary of Global Water Resources. SCWC has master planned and installed the majority of infrastructure to serve Maricopa's expansive growth. In total, SCWC has CC&N's covering approximately 30 square miles of property within Maricopa's city limits, of which, approximately 12 square miles has been developed. In accordance with a regional master water infrastructure plan, SCWC has constructed a substantial potable water system to support this area.

The onsite water infrastructure for Anderson Farms shall be designed to provide water efficiently, reliably, and safely to the development. The system shall convey water for both domestic and emergency uses. The onsite water infrastructure shall also be looped to provide redundancy and improve the system's performance, while also preserving water quality. There is an existing 16" water stub in Hartman Road that will provide the primary connection with a proposed 12" waterline to be constructed through Anderson Farms along the east-west mid-section line. The Project will connect to a proposed 16" water line in Farrell Road which will be constructed in the near future by the proposed high school site to the south.

Existing Wastewater Facilities

Palo Verde Utilities Company (PVUC), a subsidiary of Global Water Resources, Inc. provides sanitary sewer services to the entirety of the Property. In accordance with the regional master plan, Global Water has constructed a substantial wastewater system to service the City of Maricopa including gravity and force-mains, lift stations, a reclaimed water facility, and an extensive recycled water distribution system.

The proposed onsite wastewater infrastructure for Anderson Farms will convey all wastewater to a proposed 15" gravity sewer line in Hartman which will connect to the existing 24" gravity sewer line at the Bowlin Road intersection.

Dry utilities in the area are Orbitel Communications/CenturyLink for cable TV/telephone, Electrical District Number 3 for electrical and Southwest Gas Corporation for gas service.

Drainage

The project site is subject to effective FEMA Special Flood Hazard Areas (SFHA) of floodplains of differing categories. The various floodplains are a result of the Santa Cruz Wash watershed and runoff from the 100-year event, though smaller storm events from the expanse of the Santa Cruz Wash watersheds are acknowledged to discharge flows to the development site. Portions of the Property along Murphy Road are in Flood Zone A (A mapped flood zone without base flood elevation). The majority of the Property is in either Zone Z Shaded (Areas of 0.2% annual chance flood; 1% annual chance flood with average depths less than 1') or Zone X (Areas determined to be outside the 0.2% annual chance floodplain). The flood zones are identified on Flood Insurance Rate Maps (F.I.R.M.) numbers 04021C0765F (Panel 765 of 2575), dated June 16, 2014. A CLOMR (Conditional Letter of Map Revision) and LOMR (Letter of Map Revision), based on effective conditions, will be required with development of the project site which will remove residential area from the Special Flood Hazards and relieve the proposed lots from requirements of flood insurance.

Design of the site will use best available data for offsite flowrates and other hydrologic and hydraulic existing conditions which have been developed in the City of Maricopa.

The development will conform to the requirements of storm water retention on-site, which is the 100-year 2-hour storm event. Additional detail will be provided with the Project's future preliminary plats and drainage reports.

Geological Constraints

Research of the USGS database reveals no evidence of the presence of earth fissures within the Property boundaries and there is no information indicating any other geological constraints on the Property.

According to the geotechnical report prepared by Epsilon Geotechnical & Material, LLC, the Property has three soil classifications— clayey sand, silty clayey sand, and sandy lean clay. The report states that from a geotechnical engineering viewpoint, the site is suitable for the proposed development.

Site constraints

The major challenge for the Property is the existing floodplain. Engineering design and coordination is continuing between the developer of Anderson Farms, other neighboring proposed developments, and the City of Maricopa to construct a channel along the north side of Farrell Road which would remove Anderson Farms entirely from the floodplain and control/route offsite flow along the Project's southern edge.

Historical land uses

There are no records or evidence indicating the presence of Historical Land Uses within the Property nor are there any known sites on the property with significant historical background or historical credentials.

Beyond the perimeter of the Property

The nearest high school is Maricopa High School located approximately 7 miles west of the Property. Desert Wind Middle School located approximately .5 miles north of the Property, and Santa Cruz Elementary School located approximately 1.5 miles north of the Property.

Maricopa Fire Department Stations 572 is located within a .5 mile radius of the Property. Additional neighborhoods, parks, schools, major streets, and retail are located generally within the City of Maricopa to the west the Property.

DEVELOPMENT PHASING

The initial phase of this community are two (2) currently approved subdivisions located off Hartman Road. The request is to incorporate these two subdivisions, owned by Lennar, to be a part of an additional seven (7) phases (eight (8) total phases) and the overall PAD design themes, along with pedestrian and roadway connections. The proposed phasing for this project is designed to allow the development of a majority of the residential community along with the major open space amenity. Further phases provide for trail connections and future mixed-uses. Refer to **Exhibit L** for the PAD Phasing Plan.

CONCLUSION

The requested rezoning to PAD creates a new residential venue within Maricopa that blends the agrarian lifestyle of the area with modern single family living. The proposed design of the PAD will incorporate characteristics of the region to preserve the nature and appeal of that the surrounding area was built upon. The location of the Property is at Hartman Road and Farrell Road is such that neighboring properties still maintain an accumulation of agriculture and revitalized residential development. The design of the proposed PAD calls for green areas throughout the traversing roadways so that future residents have plenty of open space to explore the Property with any notion of feeling cramped. The proposed PAD will also provide for areas allowing for commercial developments to sustain the future residents. The proposed PAD is a logical extension of residential development within the City.

A proposed hierarchal system of a single collector and internal custom local streets serve as a simplified and efficient roadway that will be designed to provide direct access for the new residents to access the internal parks, neighborhoods and trail system. The circulation design creates an internal street system within the PAD that requires no cul-de-sacs. The proposed rezoning request will provide the necessary flexibility to adapt to current and future single-family residential markets. The rezoning provides for multiple lot sizes with the flexibility not affecting the density or maximum number of dwelling units proposed for the Property. Additional development standards and zoning district uses allow for the potential of multi-family residential units and mixed-uses to service the proposed community. The overall goal is to reach a sustainable density threshold that allows for the development of a first-class residential community.

EXHIBIT A

Exhibit A

Aerial
Vicinity
Map

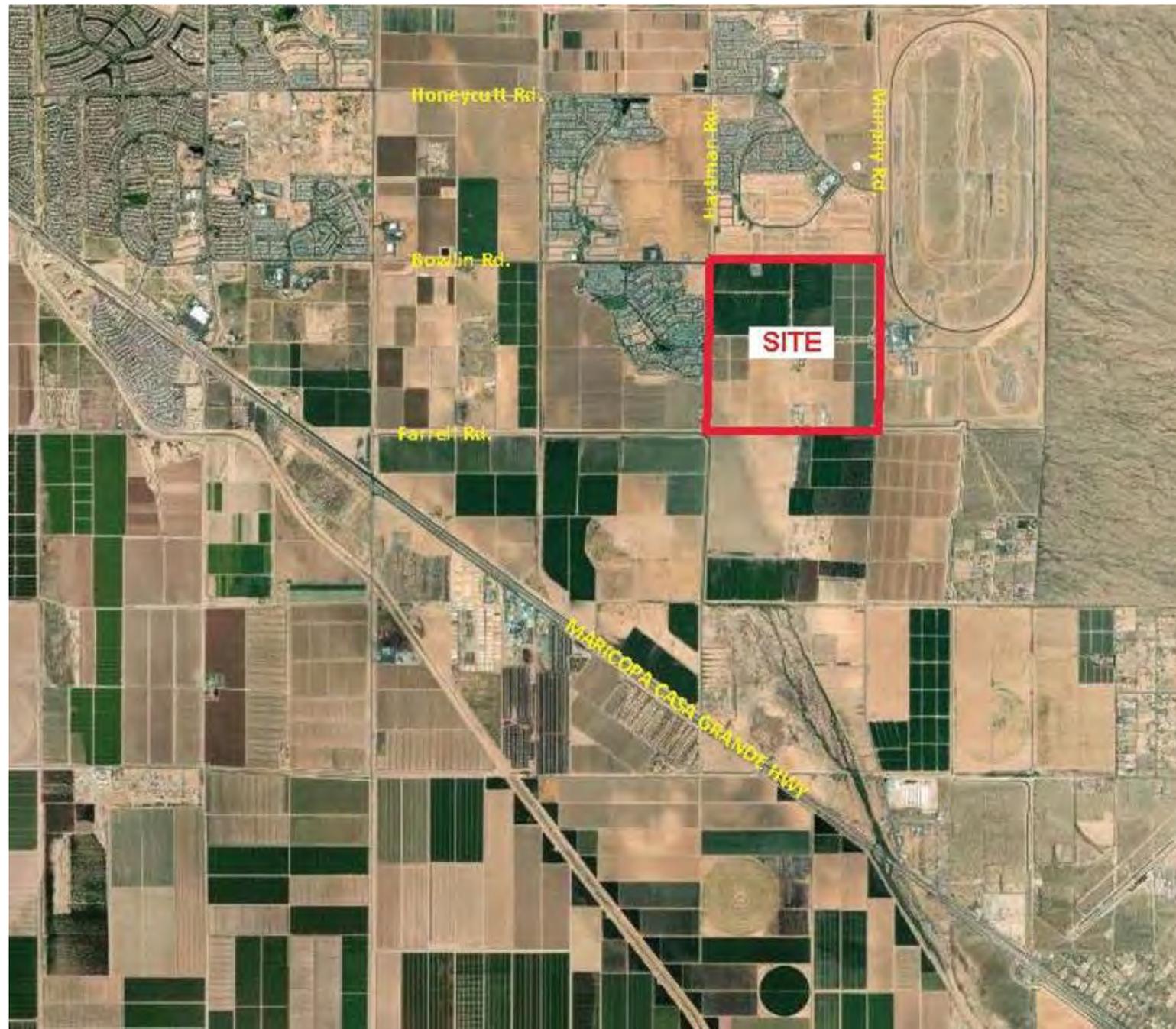


EXHIBIT B

Exhibit B

City
Zoning
Map

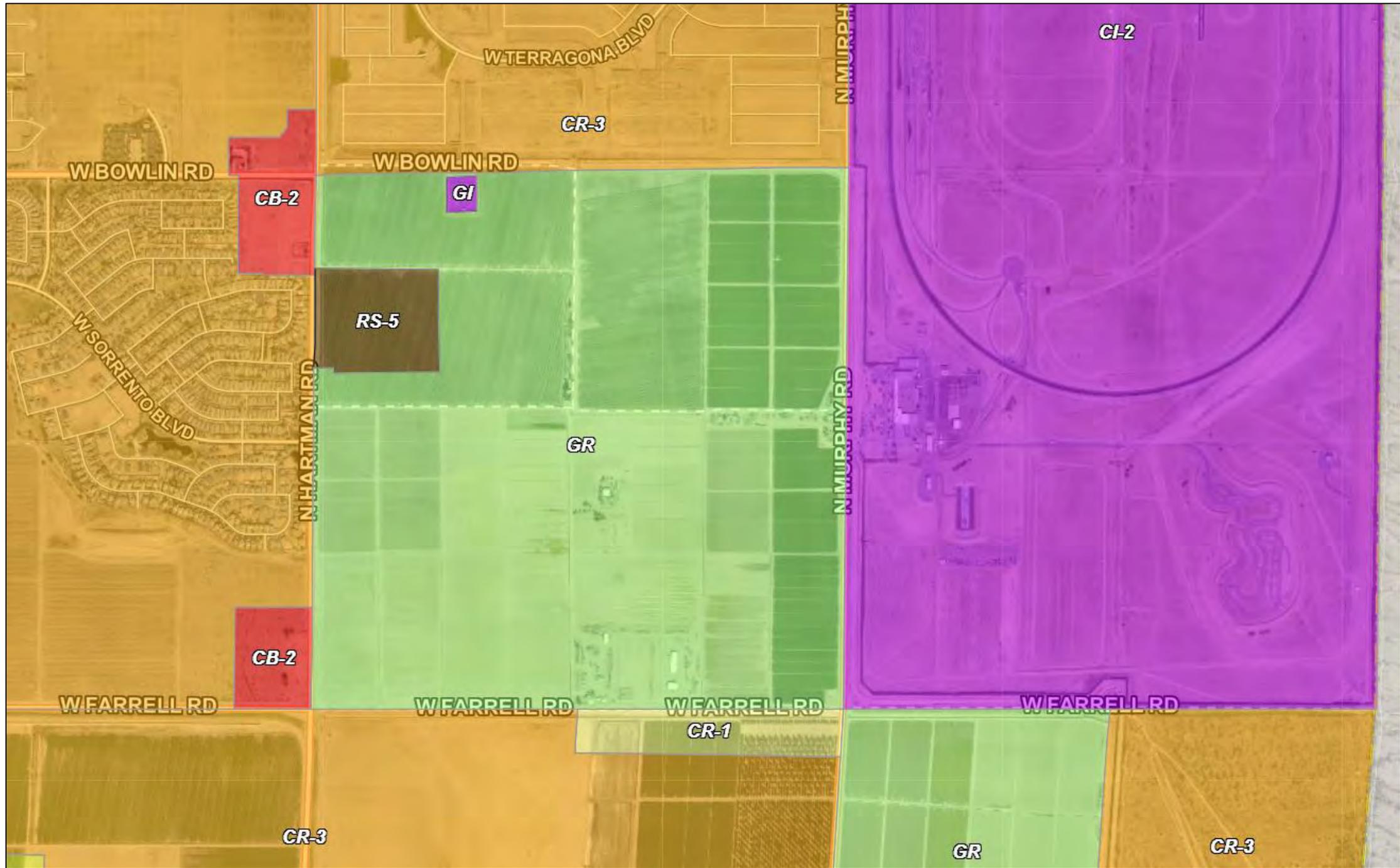
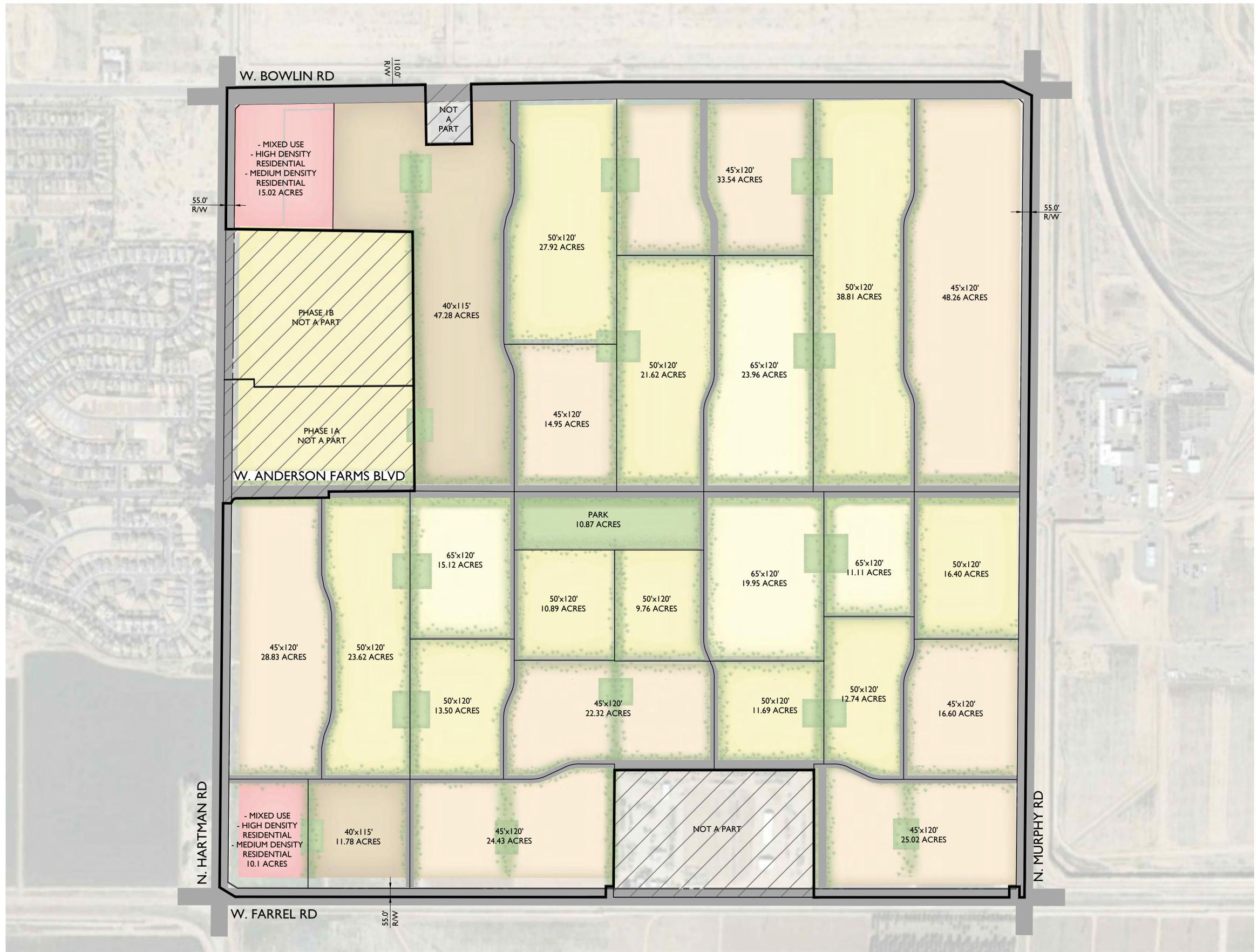
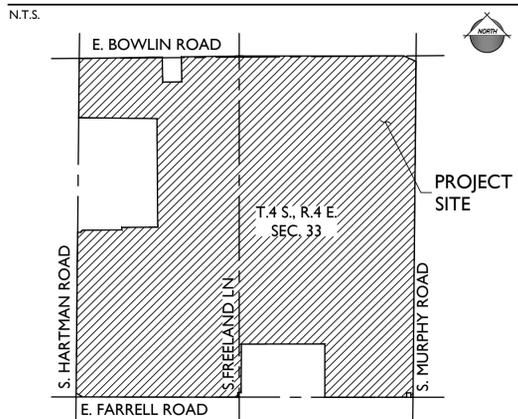


EXHIBIT C



VICINITY MAP



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PROJECT DATA

A.P.N.	A PORTION OF 502-03-015H, 502-03-015F	
CURRENT USE:	AGRICULTURAL	
GENERAL PLAN LAND USE:	MASTER PLANNED COMMUNITY	
EXISTING ZONING:	RS-5	
PROPOSED ZONING:	PAD	
GROSS AREA:	± 566.13 ACRES	
NET AREA:	± 538.22 ACRES (EXCLUDES ARTERIAL R/W)	
ARTERIAL & COLLECTOR:	± 27.91 ACRES	
NO. OF LOTS:		%
40' x 115'	292	14.1 %
45' x 120'	821	39.7 %
50' x 120'	728	35.2 %
65' x 120'	226	10.9 %
TOTAL	2067	100 %
GROSS DENSITY:	± 3.63 DU/AC	
OPEN SPACE TRACT AREA:	± 177.75 ACRES (33% OF NET)	

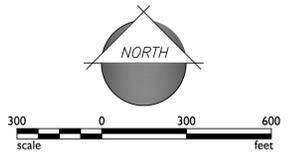
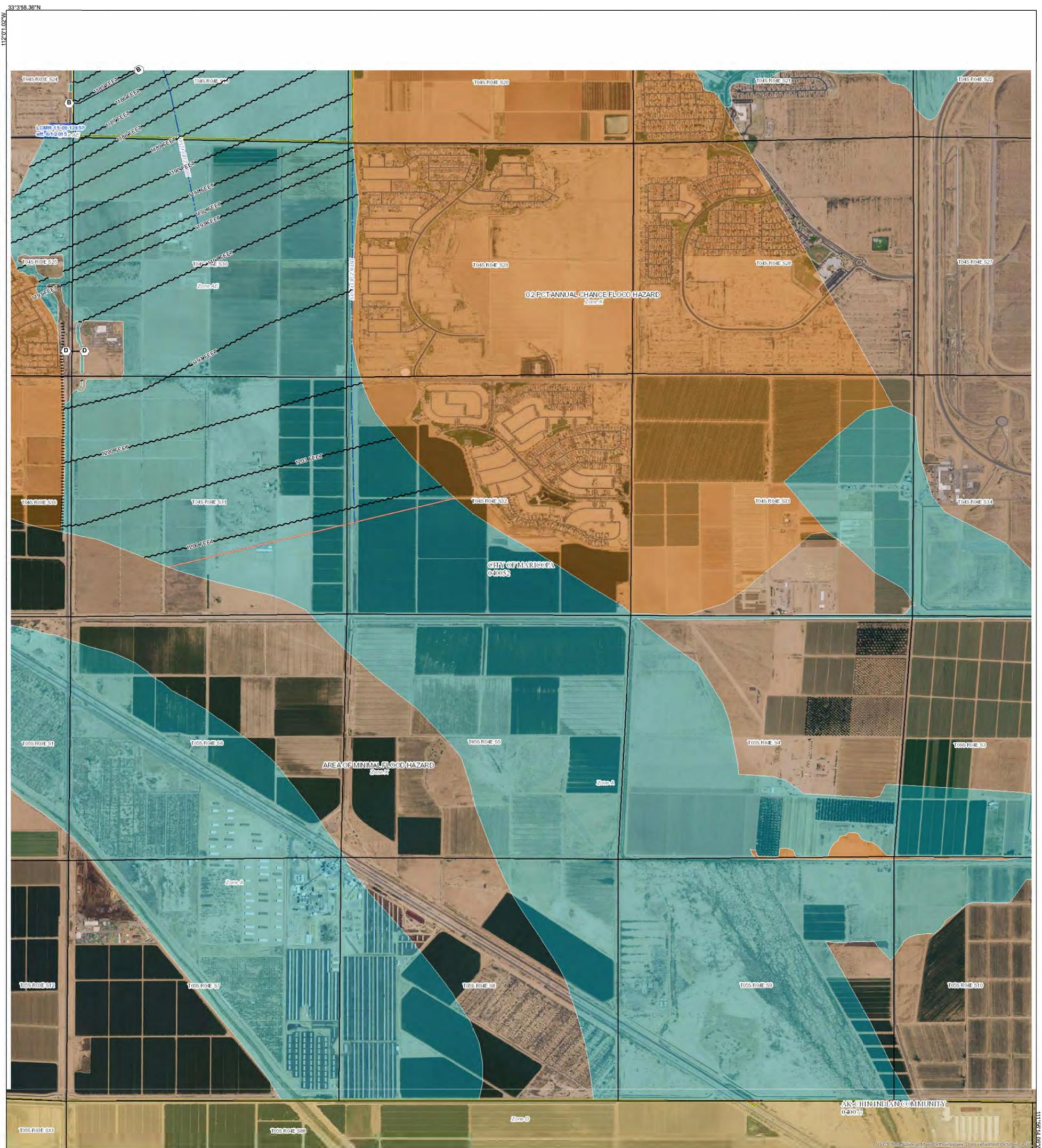


EXHIBIT D



FLOOD HAZARD INFORMATION

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) 2018, A, V, ARS With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee See Notes Zone X
	Area with Flood Risk due to Levee Zone D
OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LDMRs
	Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
OTHER FEATURES	20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
	17.5 Coastal Transect
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary

NOTES TO USERS

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with the FIRM, including historic versions, the current map date for each FIRM panel, how to order products, or the National Flood Insurance Program (NFIP) in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA Flood Map Service Center website at <http://map.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM index. These may be ordered directly from the Flood Map Service Center at the number listed above.

For community and countywide map dates refer to the Flood Insurance Study Report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

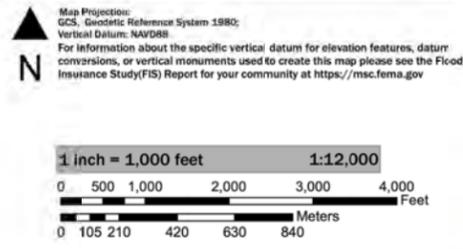
Basemap information shown on this FIRM was provided in digital format by USDA, Farm Service Agency (FSA). This information was derived from NAIP, dated April 11, 2018.

This map was exported from FEMA's National Flood Hazard Layer (NFHL) on 3/18/2019 9:54:48 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time. For additional information, please see the Flood Hazard Mapping Updates Overview Fact Sheet at <https://www.fema.gov/media-library/assets/documents/118418>.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date.

SCALE



FEMA
National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP

PINAL COUNTY, ARIZONA AND INCORPORATED AREAS
PANEL 765 OF 2575

COMMUNITY	NUMBER	PANEL
PINAL COUNTY UNINCORPORATED AREAS ARIZONA CITY OF MARICOPA ARIZONA	040077	0765
	040052	0765

MAP NUMBER 04021C0765F
EFFECTIVE DATE 06/16/2014

EXHIBIT E



**Legal Description
Anderson Farms
PAD**

Job No. 21-0141

8/18/2021

ALL OF SECTION 33, TOWNSHIP 4 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.

EXCEPT THOSE PORTIONS DESCRIBED IN EXCLUSION FOR THE MARICOPA-STANFIELD IRRIGATION AND DRAINAGE DISTRICT AS SET FORTH IN QUIT CLAIM DEED RECORDED DOCKET 2037, PAGE 70; AND

EXCEPT THAT PORTION CONVEYED IN DEED RECORDED IN FEE NO. 2008-111730 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 33 FROM WHICH THE NORTH QUARTER CORNER BEARS NORTH 89°08'55" EAST, 2638.58 FEET;

THENCE NORTH 89°08'55" EAST, ALONG AND WITH THE NORTH LINE OF SAID SECTION 33, 1299.97 FEET;

THENCE SOUTH 00°51'05" EAST, 33.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF BOWLIN ROAD AND THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL;

THENCE NORTH 89°08'55" EAST, ALONG AND WITH SAID RIGHT OF WAY LINE, 300.00 FEET;

THENCE SOUTH 00°51'05" EAST, DEPARTING SAID RIGHT OF WAY LINE, 357.00 FEET;

THENCE SOUTH 89°08'55" WEST, 300.00 FEET;

THENCE NORTH 00°51'05" WEST, 357.00 FEET TO THE TRUE POINT OF BEGINNING;
AND

EXCEPT A PROPOSED EXCEPTION FOR FARMSTEAD DESCRIBED AS FOLLOWS:

A PORTION OF THE SOUTH HALF OF SECTION 33, TOWNSHIP 4 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 33, BEING MARKED BY A REBAR WITHOUT ID, FROM WHICH THE SOUTHWEST CORNER OF SAID SECTION



33, BEING MARKED BY A REBAR WITHOUT ID, BEARS NORTH 89 DEGREES 55 MINUTES 35 SECONDS WEST, 2639.05 FEET;

THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, NORTH 89 DEGREES 55 MINUTES 35 SECONDS WEST, 56.12 FEET TO THE SOUTHEAST CORNER OF THAT MARICOPA-STANFIELD IRRIGATION & DRAINAGE DISTRICT RIGHT-OF-WAY AS CONVEYED IN DOCKET 1538, PAGE 561 AND DOCKET 1479, PAGE 740 OF PINAL COUNTY RECORDS;

THENCE ALONG THE EAST LINE OF SAID RIGHT-OF-WAY AND THE NORTHERLY PROLONGATION THEREOF, NORTH 0 DEGREES 31 MINUTES 24 SECONDS EAST, 829.98 FEET;

THENCE ALONG A LINE 830.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33, SOUTH 89 DEGREES 58 MINUTES 54 SECONDS EAST, 1307.00 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 06 SECONDS WEST, 830.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTHEAST QUARTER;

THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER, NORTH 89 DEGREES 58 MINUTES 54 SECONDS WEST, 1258.20 FEET TO THE POINT OF BEGINNING; AND

EXCEPT A PROPOSED EXCEPTION FOR PHASE 1A PLAT DESCRIBED AS FOLLOWS:

A PORTION OF THE WEST HALF OF SECTION 33, TOWNSHIP 4 SOUTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A BRASS CAP IN HAND HOLE AT THE WEST QUARTER CORNER OF SAID SECTION 33, FROM WHICH A BRASS CAP IN HAND HOLE AT THE NORTHWEST CORNER OF SAID SECTION 33, BEARS NORTH 0 DEGREES 32 MINUTES 46 SECONDS EAST (AN ASSUMED BEARING) AT A DISTANCE OF 2,639.89 FEET;

THENCE NORTH 0 DEGREES 32 MINUTES 46 SECONDS EAST, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 33, 735.10 FEET;

THENCE NORTH 89 DEGREES 35 MINUTES 50 SECONDS EAST, 195.01 FEET;

THENCE SOUTH 0 DEGREES 24 MINUTES 10 SECONDS EAST, 50.00 FEET;

THENCE NORTH 89 DEGREES 35 MINUTES 50 SECONDS EAST, 1046.31 FEET;



THENCE SOUTH 0 DEGREES 24 MINUTES 10 SECONDS EAST, 685.00 FEET TO A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER;

THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST, ALONG SAID SOUTH LINE, 561.31 FEET;

THENCE SOUTH 0 DEGREES 24 MINUTES 10 SECONDS EAST, 40.00 FEET;

THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST, 605.39 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHEAST, HAVING A RADIUS OF 33.00 FEET;

THENCE SOUTHWESTERLY 51.29 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 89 DEGREES 03 MINUTES 00 SECONDS;

THENCE ON A NON-TANGENT LINE NORTH 89 DEGREES 27 MINUTES 10 SECONDS WEST, 55.00 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33;

THENCE NORTH 0 DEGREES 32 MINUTES 50 SECONDS EAST, ALONG SAID WEST LINE, 71.55 FEET TO THE POINT OF BEGINNING; AND

EXCEPT A PROPOSED EXCEPTION FOR PHASE 1B PLAT DESCRIBED AS FOLLOWS:

A PORTION OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 4 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 33, SAID POINT BEING MARKED BY A BRASS CAP IN HAND HOLE, FROM WHICH THE NORTHWEST CORNER OF SAID SECTION 33, SAID POINT BEING MARKED BY A BRASS CAP IN HAND HOLE, BEARS NORTH 00 DEGREES 32 MINUTES 46 SECONDS EAST, A DISTANCE OF 2639.89 FEET;

THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, NORTH 0 DEGREES 32 MINUTES 46 SECONDS EAST, 735.10 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID WEST LINE, NORTH 0 DEGREES 32 MINUTES 46 SECONDS EAST, 982.46 FEET;

THENCE SOUTH 89 DEGREES 11 MINUTES 22 SECONDS EAST, 1225.32 FEET;

THENCE SOUTH 0 DEGREES 24 MINUTES 10 SECONDS EAST, 1006.38 FEET;

THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST, 1046.31 FEET;

THENCE NORTH 0 DEGREES 24 MINUTES 10 SECONDS WEST, 50.00 FEET;



THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST, 195.01 FEET TO THE POINT OF BEGINNING.

CONTAINS 24,670,657 SQUARE FEET OR 566.3604 ACRES, MORE OR LESS.



Aug 18, 2021 3:16pm S:\Projects\2021\21-0141\Land Survey\Legals\21-0141 LD05 PAD.dwg

EXCEPTION PER
DKT 2037, PG 70, PCR

EXCEPTIONS
(NOT-A-PART)

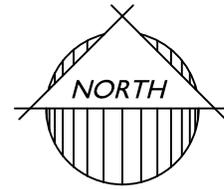
EXCEPTION PER
FEE NO. 2008-111730, PCR

**BOWLIN RD
(ALIGNMENT)**

HARTMAN RD

PROPOSED EXCEPTION
FOR PHASE 1B PLAT

PROPOSED EXCEPTION
FOR PHASE 1A PLAT



SCALE: 1"=1000'

MURPHY RD

SEC 33
T4S
R4E

PROPOSED EXCEPTION
FOR FARMSTEAD



FARRELL RD

EXCEPTION PER
DKT 2037, PG 70, PCR

EXCEPTION PER
DKT 2037, PG 70, PCR

SEE SHEET 2 OF 2 FOR AREA BREAKDOWN

21-0141

Anderson Farms
PAD

Exhibit

SHEET 1 OF 2



1130 N Alma School Rd
Ste 120 Mesa, AZ 85201
T:480.503.2250 | F:480.503.2258
www.epsgroupinc.com

AREA BREAKDOWN

	SECTION 33, T4S, R4E	28,081,222 SF±	644.6562 AC±
(NOT-A-PART)	EXCEPTION (DKT 2037, PG 70, PCR)	73,595 SF±	1.6895 AC±
	EXCEPTION (FEE NO. 2008-111730, PCR)	107,100 SF±	2.4587 AC±
	EXCEPTION (FARMSTEAD)	1,087,845 SF±	24.9735 AC±
	EXCEPTION (PHASE 1A PLAT)	894,215 SF±	20.5284 AC±
	EXCEPTION (PHASE 1B PLAT)	1,247,810 SF±	28.6458 AC±

	PAD AREA	24,670,657 SF±	566.3604 AC±



EXHIBIT F

Exhibit F
City
General
Plan

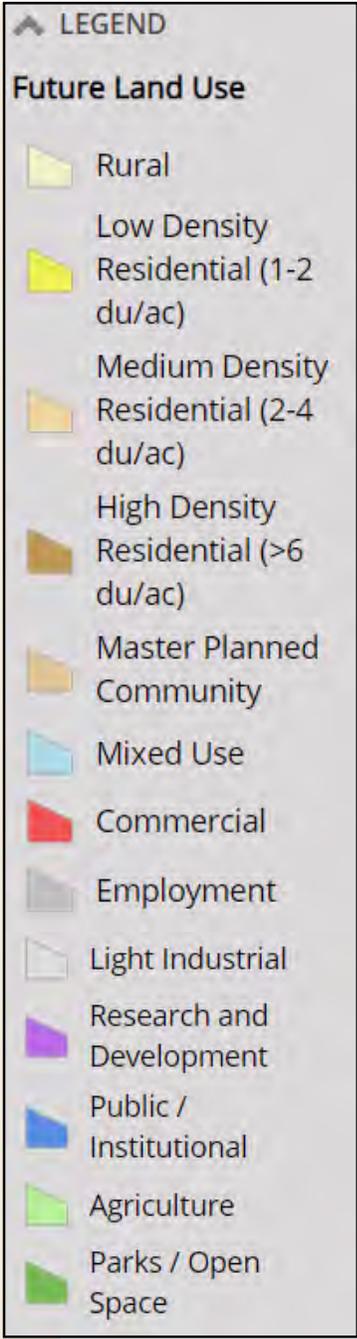
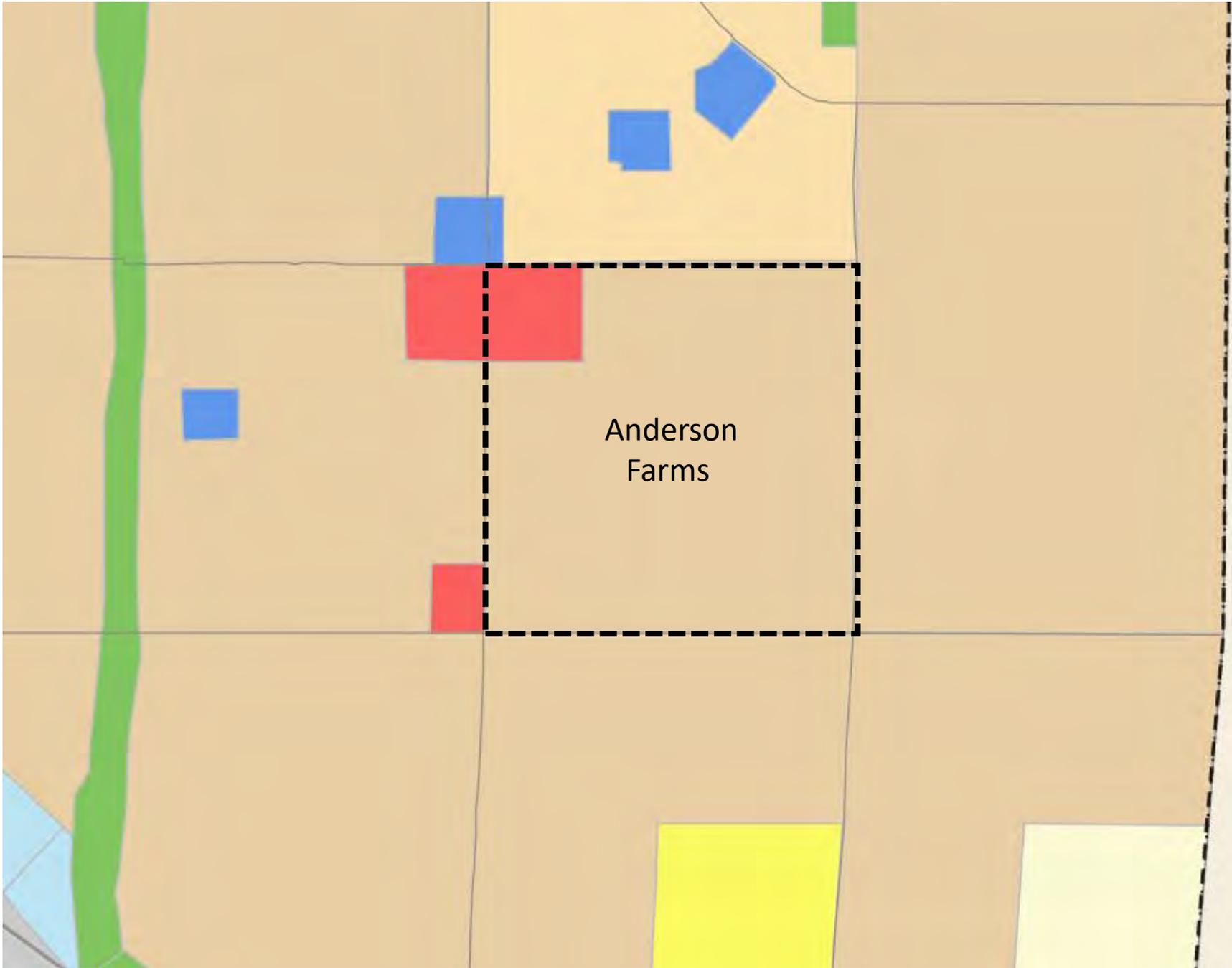
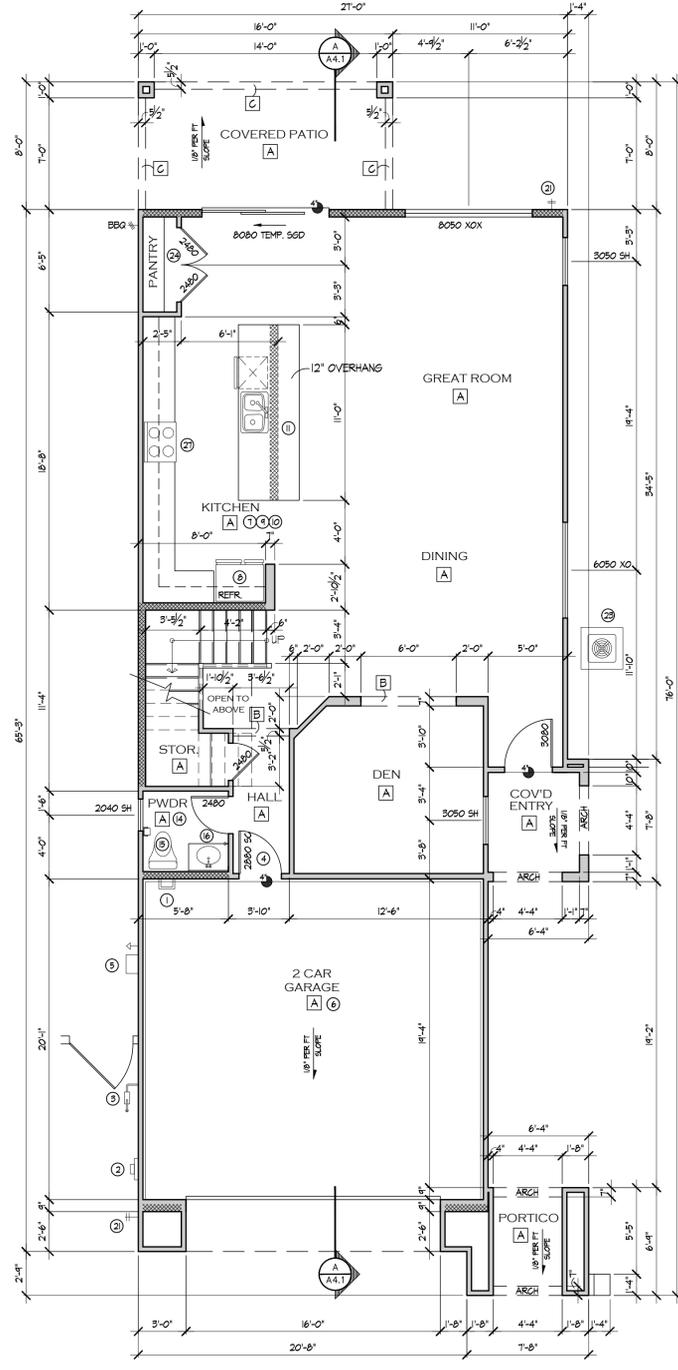
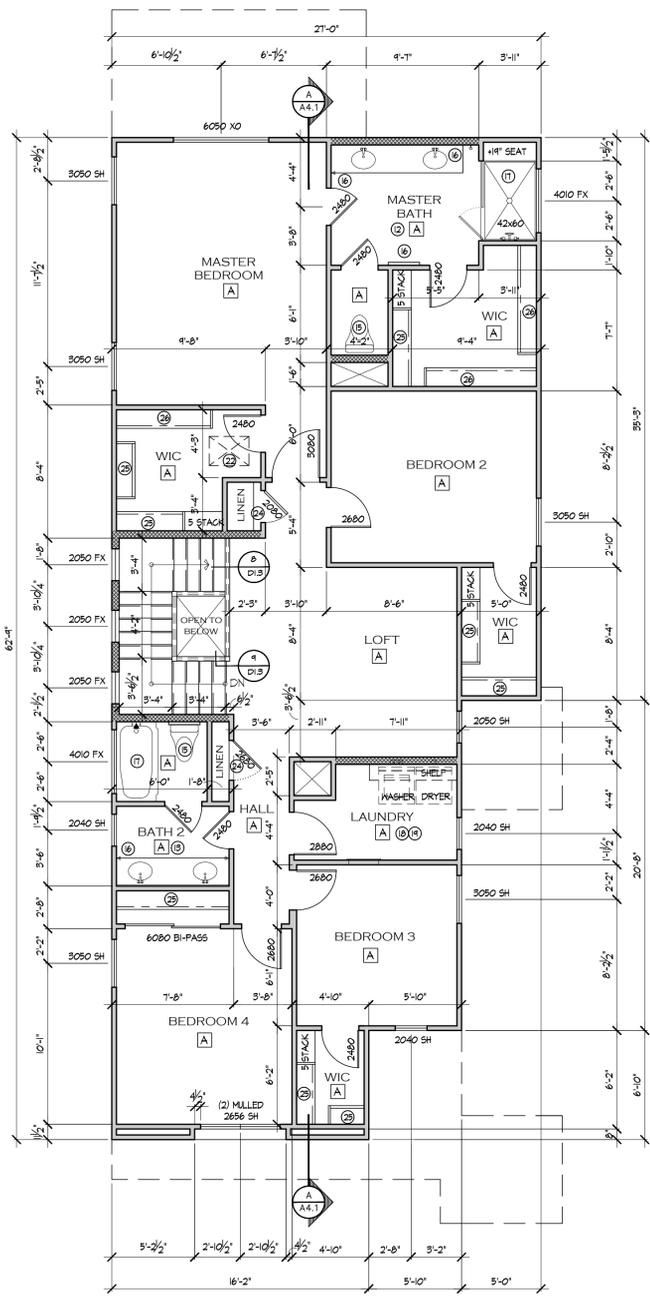


EXHIBIT G

Architecture Plans

Plan 2725



CEILING HEIGHTS	
A	9'-0" CEILING
B	8'-6" SOFFIT
C	8'-0" SOFFIT
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
[Pattern]	2X6 WALL

- ### GENERAL NOTES
- DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
 - CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
 - VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
 - ALL EGRESS WINDOWS SHALL MEET IRC MIN. EGRESS REQUIREMENTS PER SEC. 310, 207 MIN. CLEAR WIDTH 24" MIN. CLEAR HEIGHT - 5.7 SQ. FT. MIN. AREA - MAX. SILL HEIGHT 44".
 - PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
 - EXTERIOR WALLS TO BE 2X4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
 - 2X4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
 - 2X4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
 - UNRACED & SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2X6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
 - LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
 - ALL PLUMBING & MECHANICAL ROOF JACKS TO BE LOCATED ON REAR OF HOME & NOT SEEN FROM FRONT ELEVATION.
 - ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
 - SIMPSON H25 OR A35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
 - PROVIDE ADEQUATE BRACING FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & ENTRY ROOM.
 - ALL PLATES (INTERIOR & EXTERIOR, LOAD BEARING & NON LOAD BEARING) SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
 - PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
 - GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 7" O.C.
 - PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER IRC R301.3
 - WINDOWS TO BE INSTALLED PER MANUFACTURER'S SPECS - SEALING AND FLASHING (IRC 609.1)
 - DRAFT STOP IS REQUIRED AT CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS PER IRC SEC. R302.12.
 - SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (IRC SEC. R302.12).
 - GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER SEC. IRC R309.1.

- ### FLOOR PLAN NOTES - (A)
- SOFT WATER LOOP.
 - 22"x35" PANEL BACKING FOR THE ELECTRICAL PANEL.
 - GAS METER LOCATION.
 - 3/4" SOLID CORE, SELF-CLOSING, SELF-LATCHING, 20 MINUTE RATED DOOR, TIGHT FITTING.
 - NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 1" CLEARANCE FROM ALL COMBUSTIBLES. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PROPER INSTALLATION AND PROPER VENTING GUIDELINES.
 - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GWS APPLIED TO THE GARAGE WALLS. THE GARAGE BENEATH LIVABLE SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GWS OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STUDS SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GWS OR EQUIVALENT.
 - BASE CABINETS WITH TOP PER SPECIFICATIONS & 30" WALL MOUNT UPPER CABINETS.
 - REFRIGERATOR SPACE: PROVIDE 1/4" WATER LINE FOR ICE MAKER.
 - SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
 - DEL. SINK, W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
 - 2x6 PONY WALL TO 34 1/2".
 - MASTER BATH, BASE CABINETS WITH TOP PER SPECIFICATIONS, SLIDE-IN TUB/SHOWER COMBO, SHOWER HEAD AT 50" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY, SHOWER DOOR TO BE TEMPERED GLASS.
 - SECONDARY BATH, BASE CABINETS WITH TOP PER SPECIFICATIONS, FIBERGLASS TUB/SHOWER, NO MARBLE PANELS, SHOWER HEAD AT 50" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY.
 - PONDER, BASE CABINET, SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST.
 - WATER CLOSET TO HAVE 15" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN).
 - TOWEL HOOK / TOWEL BAR.
 - CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC T02.4.2.
 - WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF EXHAUST FAN (5 AIR CHANGES PER HOUR MIN) SHELF TOP AT 68", PROVIDE WATER AND WASTE FOR WASHER CONTROL VALVES RECESSED IN WALL.
 - DRYER VENT NOT TO EXCEED THE LIMITS OF 2019 IRC SEC. M1502.4.5. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 2.5' FOR EACH 45° BEND & 5' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
 - NOT USED.
 - HOSE-BIB W/ BACKFLOW PREVENTER.
 - 22"x30" MIN. ATTIC ACCESS PER IRC SEC. R601. PROVIDE SWITCH LIGHT, OUTLET PASSAGEWAY & PLATFORM PER IRC SEC. M1509.13. SEE STRUCTURAL FOR EXACT LOCATION & ACCESS IN GARAGE MUST ALSO BE 5/8" GWS SCREWED & GLUED TO 3/4" PLYWOOD.
 - AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1505.1.1.
 - PANTRY/LINEN, 5 FRAMED SHELVES.
 - CLOSET, PROVIDE 1 SHELF AND 1 ROD.
 - CLOSET, PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW.
 - A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
 - 1/2" GYP. BD. TYP. (PROVIDE HR. GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, ICB0 #2240).

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SUB-CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB & SHALL NOTIFY LENNAR OF ANY VARIATIONS FROM THE DIMENSIONS & CONDITIONS SHOWN BY THESE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. ANY VARIATIONS SHALL BE BROUGHT TO THE ATTENTION OF LENNAR PRIOR TO CONSTRUCTION.

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LENNAR
1665 WEST ALHAMBRA DRIVE, SUITE 130, TEMPE, ARIZONA 85282
PHONE: 480.476.8400 - FAX: 480.476.8401 - WWW.LENNAR.COM

PLAN 2725
WESTERN ENCLAVE 2
PHOENIX, ARIZONA

FLOOR PLANS 'A' SPANISH

Job No.: --
Drawn By: --
Checked By: --
Scale: AS NOTED
Date: 3/30/20

A1.1

Aster | Plan 2725 | Approx. 2,580-2,592 sq. ft.
4 Bedrooms | Den | 2.5 Baths | 2-Bay Garage



Elevation F | French Country



Elevation A | Spanish Colonial



Elevation C | Craftsman

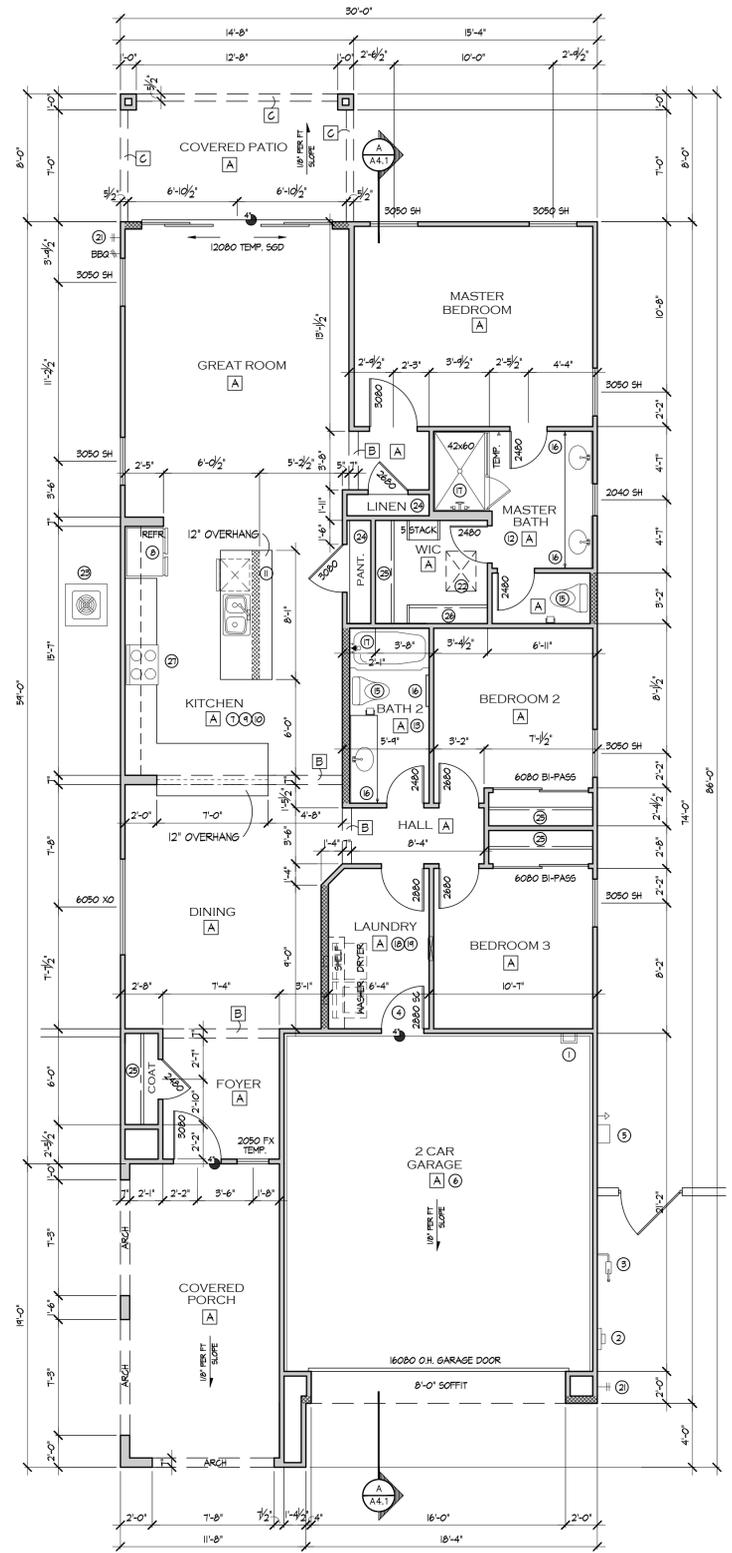


EVERYTHING'S
INCLUDED®

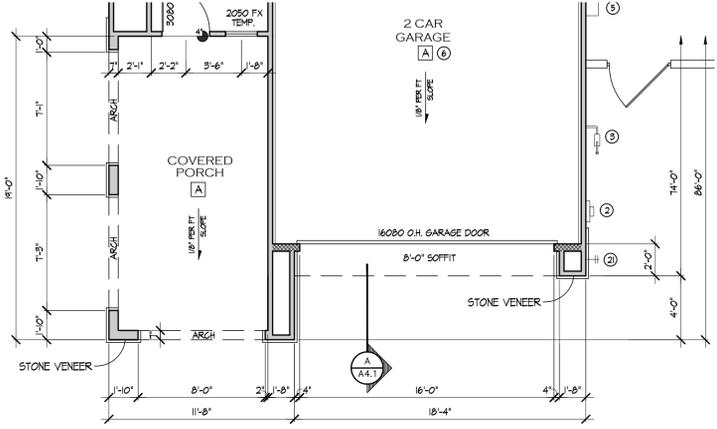
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Architecture Plans

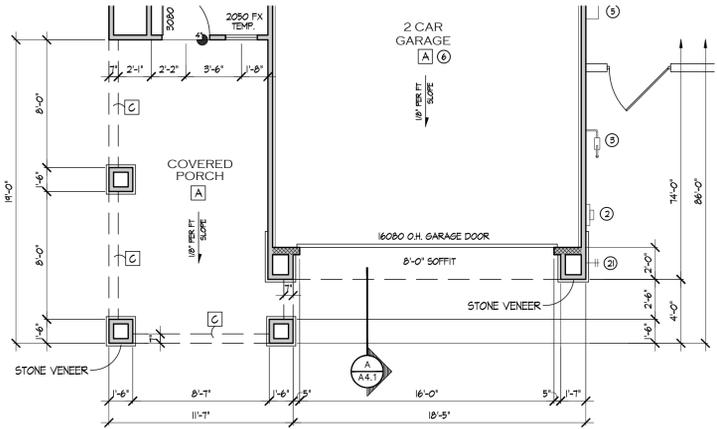
Plan 3016



FLOOR PLAN ELEVATION 'A'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'B'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'C'
SCALE: 3/16" = 1'-0"

CEILING HEIGHTS	
A	9'-0" CEILING
B	8'-6" SOFFIT
C	8'-0" SOFFIT
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
	2x6 WALL

GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD & WINDOW.
- B. CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
- C. VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
- D. ALL EGRESS WINDOWS SHALL MEET IRC MIN. EGRESS REQUIREMENTS PER SEC. 310.2.07 MIN. CLEAR WIDTH 24" MIN. CLEAR HEIGHT - 5.7 SQ. FT. MIN. AREA - MAX. SILL HEIGHT 44".
- E. PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
- F. EXTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
- G. 2x4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
- H. 2x4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
- I. UNRACED & SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2x6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
- J. LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- K. ALL PLUMBING & MECHANICAL ROOF JACKS TO BE LOCATED ON REAR OF HOME & NOT SEEN FROM FRONT ELEVATION.
- L. ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
- M. SIMPSON H25 OR A35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
- N. PROVIDE ADEQUATE BRACING FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & ENTRY ROOM.
- O. ALL PLATES (INTERIOR & EXTERIOR, LOAD BEARING & NON LOAD BEARING) SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- P. PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- Q. GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 7" O.C.
- R. PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER IRC R313.
- S. WINDOWS TO BE INSTALLED PER MANUFACTURERS SPECS - SEALING AND FLASHING (IRC R601).
- T. DRAFT STOP IS REQUIRED AT CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS PER IRC SEC. R302.12.
- U. SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (IRC SEC. R302.12).
- V. GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER SEC. IRC R304.1.

FLOOR PLAN NOTES -

1. SOFT WATER LOOP.
2. 22"x35" PANEL BACKING FOR THE ELECTRICAL PANEL.
3. GAS METER LOCATION.
4. 3/4" SOLID CORE SELF-CLOSING SELF-LATCHING, 20 MINUTE RATED DOOR, TIGHT FITTING.
5. NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 18" CLEARANCE AT THE BOTTOM FROM ALL COMBUSTIBLES. REFER TO MANUFACTURERS INSTRUCTIONS FOR THE SEPARATION, INSTALLATION AND PROPER VENTING GUIDELINES.
6. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GWS APPLIED TO THE GARAGE WALL & GARAGE BENEATH LIVING SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GWS OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GWS OR EQUIVALENT.
7. BASE CABINETS WITH TOP PER SPECIFICATIONS & 30" WALL MOUNT UPPER CABINETS.
8. REFRIGERATOR SPACE: PROVIDE 1/4" WATER LINE FOR ICE MAKER.
9. SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
10. DEL. SINK, W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
11. 2x6 PONY WALL TO 43 1/2".
12. MASTER BATH, BASE CABINETS WITH TOP PER SPECIFICATIONS. SLIDE-IN TUB/SHOWER COMBO. SHOWER HEAD AT 60" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY. SHOWER DOOR TO BE TEMPERED GLASS.
13. SECONDARY BATH, BASE CABINETS WITH TOP PER SPECIFICATIONS. FIBERGLASS TUB/SHOWER, NO MARBLE PANELS. SHOWER HEAD AT 60" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY.
14. POWDER, BASE CABINET, SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST.
15. WATER CLOSET TO HAVE 18" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN).
16. TONEL HOOK / TONEL BAR.
17. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC T02.4.2.
18. WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF. EXHAUST FAN (5 AIR CHANGES PER HOUR MIN) SHELF TOP AT 68 1/2". PROVIDE WATER AND WASTE FOR WASHER CONTROL VALVES RECESSED IN WALL.
19. DRYER VENT NOT TO EXCEED THE LIMITS OF 2019 IRC SEC. M1502.4.5. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 2.5' FOR EACH 45° BEND & 5' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
20. NOT USED.
21. HOSE-BIB W/ BACKFLOW PREVENTER.
22. 22"x30" MIN. ATTIC ACCESS PER IRC SEC. R601. PROVIDE SWITCH LIGHT, OUTLET PASSAGEWAY & PLATFORM PER IRC SEC. M1503.3. SEE STRUCTURAL FOR EXACT LOCATION. ATTIC ACCESS IN GARAGE MUST ALSO BE 5/8" GWS SCREWED & GLUED TO 3/4" PLYWOOD.
23. AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1503.1.1.
24. PANTRY/LINEN, 5 FRAMED SHELVES.
25. CLOSET, PROVIDE 1 SHELF AND 1 ROD.
26. CLOSET, PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW.
27. A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
28. 1/2" GYP. BD. TYP. (PROVIDE HR. GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, ICB0 #2240).

NO.	DATE	DESCRIPTION

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1665 WEST ALAMEDA DRIVE, SUITE 130, TEMPE, ARIZONA 85282
PHONE: 480.476.8400 - FAX: 480.476.8401 - www.lennar.com

PLAN 3016
WESTERN ENCLAVE 2
PHOENIX, ARIZONA

FLOOR PLANS

Job No.:	---
Drawn By:	---
Checked By:	---
Scale:	AS NOTED
Date:	3/30/20

A1.1

Agave | Plan 3016 | Approx. 1,609 sq. ft.
3 Bedroom | 2 Baths | 2-Bay Garage



Elevation C | Craftsman



Elevation A | Spanish Colonial



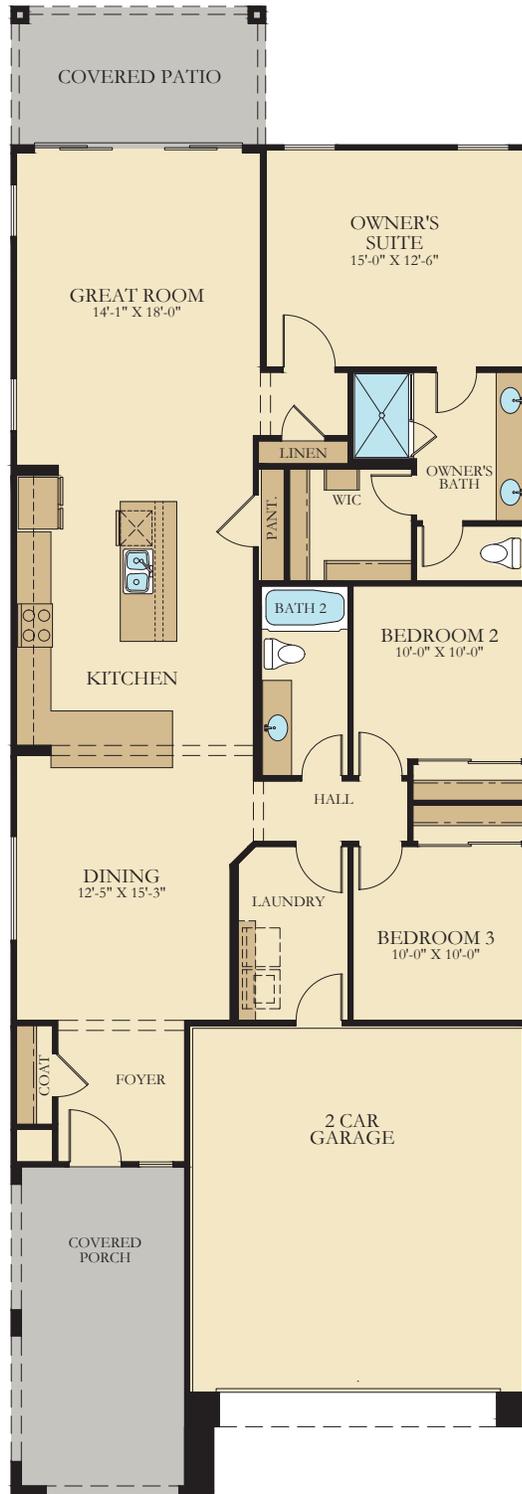
Elevation F | French Country



EVERYTHING'S
INCLUDED®

LENNAR®

Agave | Plan 3016 | Approx. 1,609 sq. ft.
3 Bedroom | 2 Baths | 2-Bay Garage



EVERYTHING'S
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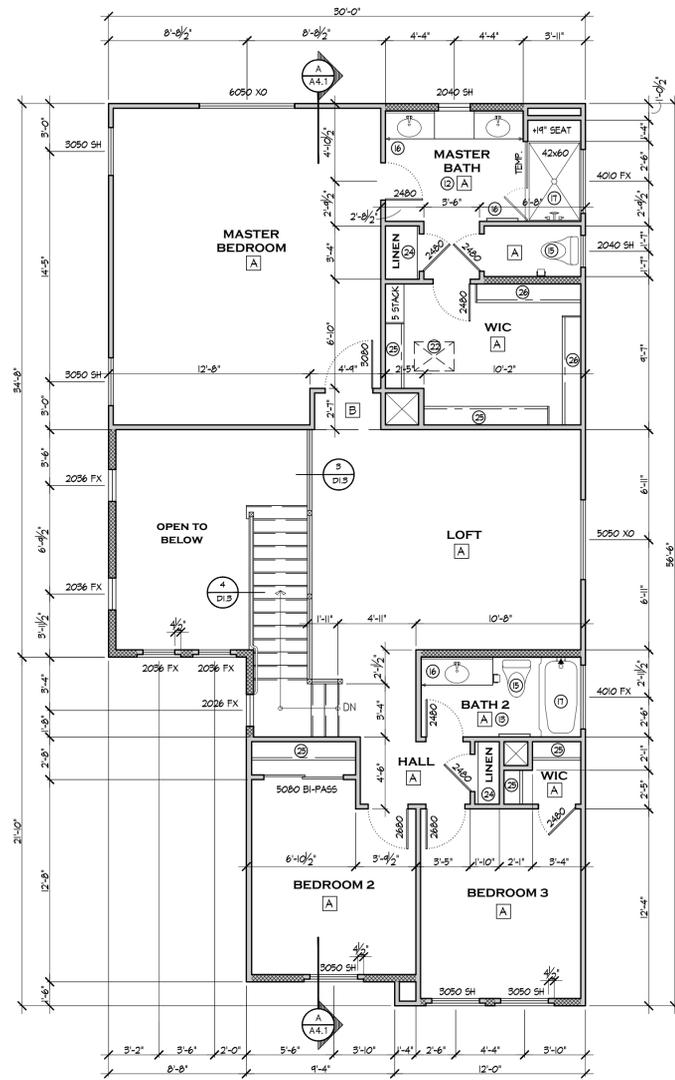
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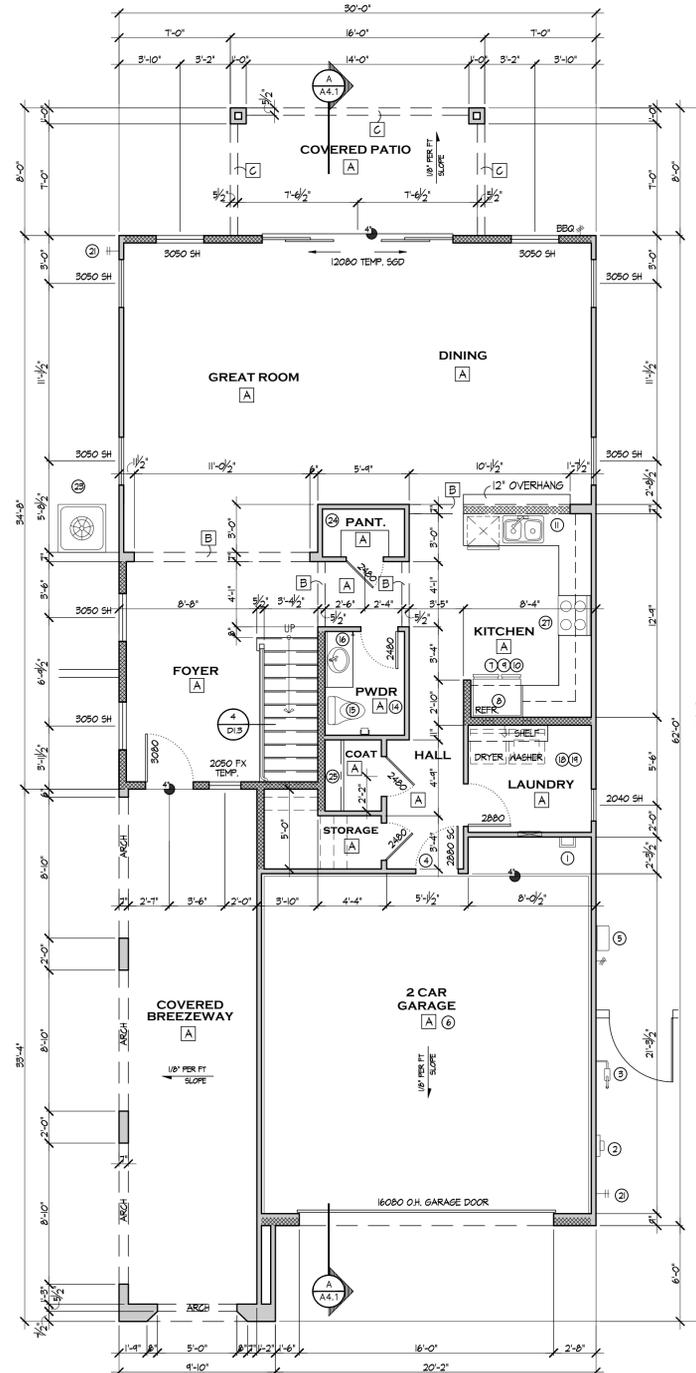
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Architecture Plans

Plan 3070



2ND FLOOR PLAN ELEVATION 'A'
SCALE: 3/16" = 1'-0"



1ST FLOOR PLAN ELEVATION 'A'
SCALE: 3/16" = 1'-0"

CEILING HEIGHTS	
A	9'-0" CEILING
B	8'-6" SOFFIT
C	8'-0" SOFFIT
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
	2x6 WALL

- GENERAL NOTES**
- A. DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
 - B. CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
 - C. VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
 - D. ALL EGRESS WINDOWS SHALL MEET IRC MIN. EGRESS REQUIREMENTS PER SEC. 310, 207 MIN. CLEAR WIDTH 24" MIN. CLEAR HEIGHT - 5.1 SQ. FT. MIN. AREA - MAX. SILL HEIGHT 44".
 - E. PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
 - F. EXTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
 - G. 2x4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
 - H. 2x4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
 - I. UNRACED & SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2x6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
 - J. LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
 - K. ALL PLUMBING & MECHANICAL ROOF JACKS TO BE LOCATED ON REAR OF HOME & NOT SEEN FROM FRONT ELEVATION.
 - L. ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
 - M. SIMPSON H25 OR A35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
 - N. PROVIDE ADEQUATE BRACING FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & FAMILY ROOM.
 - O. ALL PLATES (INTERIOR & EXTERIOR, LOAD BEARING & NON LOAD BEARING) SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
 - P. PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
 - Q. GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 7" O.C.
 - R. PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER IRC R313.
 - S. WINDOWS TO BE INSTALLED PER MANUFACTURERS SPECS - SEALING AND FLASHING (IRC 609.1).
 - T. DRAFT STOP IS REQUIRED AT CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS PER IRC SEC. R302.12.
 - U. SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (IRC SEC. R302.12).
 - V. GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER SEC. IRC R304.1.

- FLOOR PLAN NOTES -**
1. SOFT WATER LOOP.
 2. 22"x35" PANEL BACKING FOR THE ELECTRICAL PANEL.
 3. GAS METER LOCATION.
 4. 3/4" SOLID CORE, SELF-CLOSING, SELF-LATCHING, 20 MINUTE RATED DOOR, TIGHT FITTING.
 5. NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 1" CLEARANCE FROM ALL COMBUSTIBLES. REFER TO MANUFACTURER'S INSTRUCTIONS FOR THE INSTALLATION AND PROPER VENTING GUIDELINES.
 6. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GWS APPLIED TO THE GARAGE WALLS. GARAGE BENEATH LIVABLE SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GWS OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE FLOOR SUPPORTING STRUCTURE SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GWS OR EQUIVALENT.
 7. BASE CABINETS WITH TOP PER SPECIFICATIONS & 30" WALL MOUNT UPPER CABINETS.
 8. REFRIGERATOR SPACE: PROVIDE 1/2" WATER LINE FOR ICE MAKER.
 9. SLIDE-IN RANGE/OVEN WITH OPT. EXHAUST HOOD AND LIGHT. VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
 10. DEL. SINK, W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
 11. 2x6 PONY WALL TO 34 1/2".
 12. MASTER BATH, BASE CABINETS WITH TOP PER SPECIFICATIONS. SLIDE-IN TUB/SHOWER COMBO. SHOWER HEAD AT 60" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY. SHOWER DOOR TO BE TEMPERED GLASS.
 13. SECONDARY BATH, BASE CABINETS WITH TOP PER SPECIFICATIONS. FIBERGLASS TUB/SHOWER, NO MARBLE PANELS. SHOWER HEAD AT 60" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY.
 14. POWDER, BASE CABINET, SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST.
 15. WATER CLOSET TO HAVE 15" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN).
 16. TONEL HOOK / TONEL BAR.
 17. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC T02.4.2.
 18. WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF EXHAUST FAN (5 AIR CHANGES PER HOUR MIN) SHELF TOP AT 68 1/2". PROVIDE WATER AND WASTE FOR WASHER CONTROL VALVES RECESSED IN WALL.
 19. DRYER VENT NOT TO EXCEED THE LIMITS OF 2019 IRC SEC. M1502.4.5. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 2.5' FOR EACH 45° BEND & 5' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
 20. NOT USED.
 21. HOSE-BIB W/ BACKFLOW PREVENTER.
 22. 22"x30" MIN. ATTIC ACCESS PER IRC SEC. R601. PROVIDE SWITCH LIGHT, OUTLET PASSAGEWAY & PLATFORM PER IRC SEC. M1505.13. SEE STRUCTURAL FOR EXACT LOCATION. ATTIC ACCESS IN GARAGE MUST ALSO BE 5/8" GWS SCREWED & GLUED TO 3/4" PLYWOOD.
 23. AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1505.1.1.
 24. PANTRY/LINEN, 5 FRAMED SHELVES.
 25. CLOSET, PROVIDE 1 SHELF AND 1 ROD.
 26. CLOSET, PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW.
 27. A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
 28. 1/2" GYP. BD. TYP. (PROVIDE H.R. GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, ICB0 #2240).

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PLAN 3070
WESTERN ENCLAVE 2
PHOENIX, ARIZONA
FLOOR PLANS 'A' SPANISH

Job No.: --
Drawn By: --
Checked By: --
Scale: AS NOTED
Date: 3/30/20

A1.1

Primrose | Plan 3070 | Approx. 2,442 sq. ft.
3 Bedroom | Loft | 2.5 Baths | 2-Bay Garage



Elevation F | French Country



Elevation A | Spanish Colonial



Elevation C | Craftsman



EVERYTHING'S
INCLUDED®

LENNAR®

Primrose | Plan 3070 | Approx. 2,442 sq. ft.
 3 Bedroom | Loft | 2.5 Baths | 2-Bay Garage



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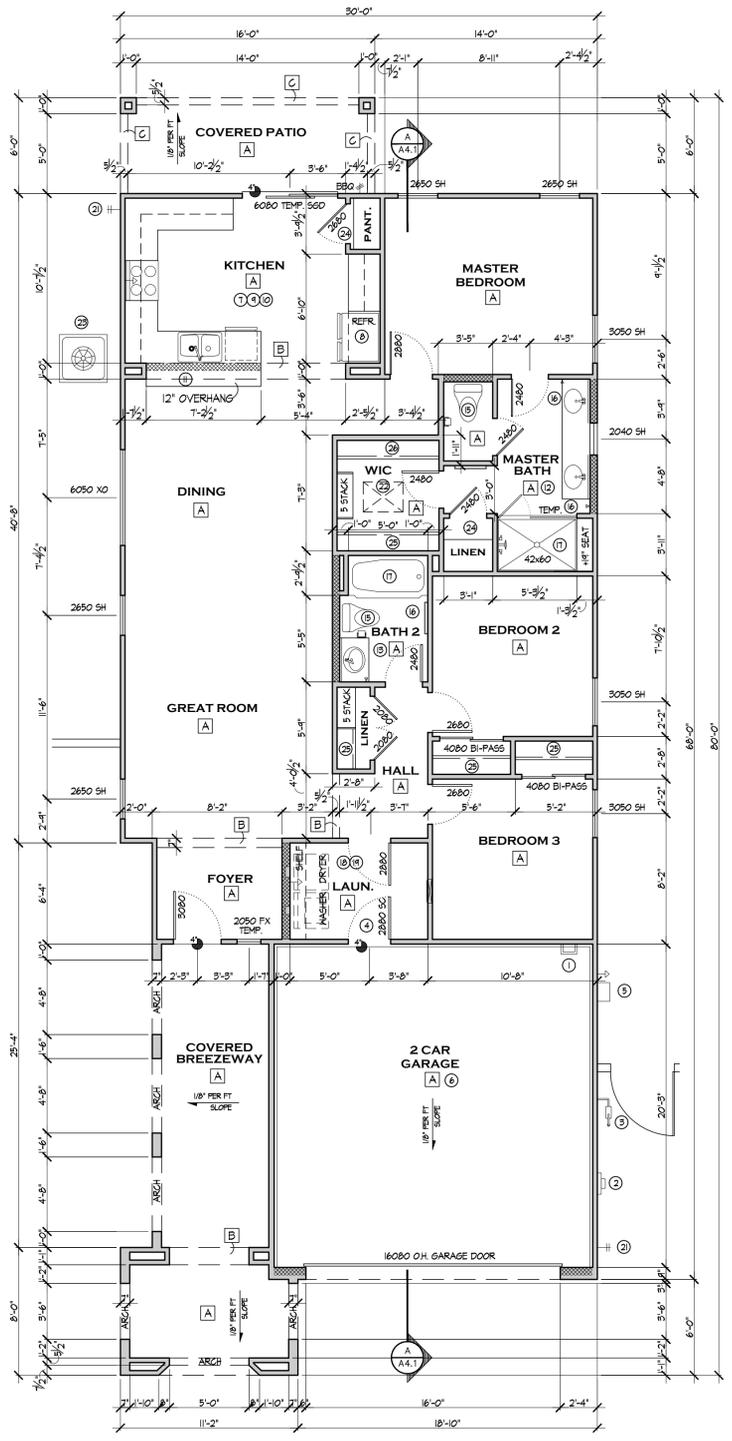
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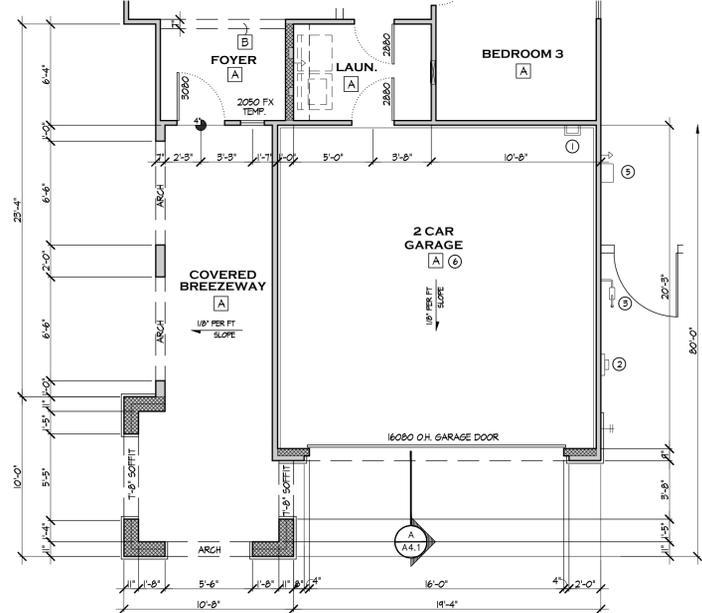


Architecture Plans

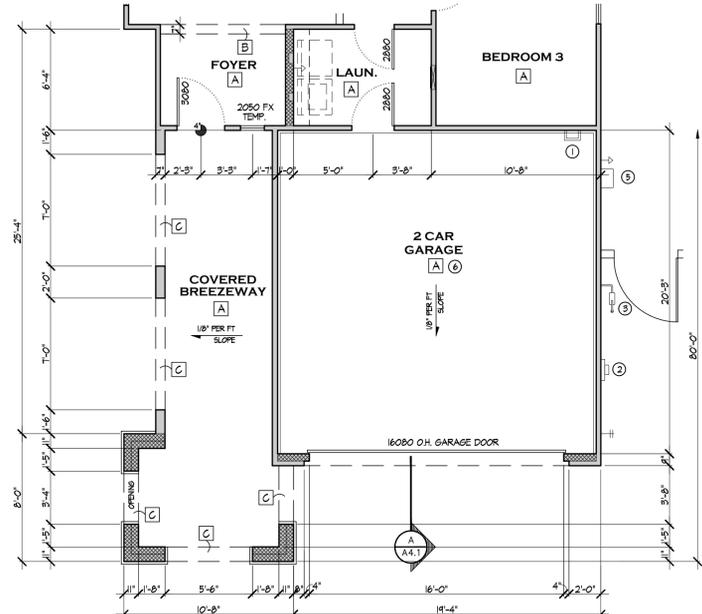
Plan 3074



FLOOR PLAN ELEVATION 'A'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'M'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'H'
SCALE: 3/16" = 1'-0"

CEILING HEIGHTS	
A	9'-0" CEILING
B	8'-6" SOFFIT
C	8'-0" SOFFIT
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
	2x6 WALL

GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
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- C. VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
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- E. PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
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- G. 2x4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
- H. 2x4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
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FLOOR PLAN NOTES -

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5. NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 1" CLEARANCE ABOVE AND 1" CLEARANCE AT THE BOTTOM FROM ALL COMBUSTIBLES. REFER TO MANUFACTURERS INSTRUCTIONS FOR THE INSTALLATION AND PROPER VENTING GUIDELINES.
6. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" 6x8 APPLIED TO THE GARAGE BENEATH LIVING SPACE. THE SEPARATION SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GWS OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE SEPARATION SHALL BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GWS OR EQUIVALENT.
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11. 2x6 PONY WALL TO 34 1/2".
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13. SECONDARY BATH, BASE CABINETS WITH TOP PER SPECIFICATIONS. FIBERGLASS TUB/SHOWER, NO MARBLE PANELS. SHOWER HEAD AT 80" A.F.F. MIRROR 42" IN HEIGHT & FULL WIDTH OF VANITY.
14. POWDER, BASE CABINET, SINK, WALL MOUNTED MIRROR 42" A.F.F. PER STANDARD FEATURES LIST.
15. WATER CLOSET TO HAVE 18" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN).
16. TONEL HOOK / TONEL BAR.
17. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC T02.4.2.
18. WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF. EXHAUST FAN (5 AIR CHANGES PER HOUR MIN) SHELF TOP AT 68". PROVIDE WATER AND WASTE FOR WASHER CONTROL VALVES RECESSED IN WALL.
19. DRYER VENT NOT TO EXCEED THE LIMITS OF 2018 IRC SEC. M1502.4.5. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 2.5' FOR EACH 45° BEND & 5' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
20. NOT USED.
21. HOSE-BIB W/ BACKFLOW PREVENTER.
22. 22"x30" MIN. ATTIC ACCESS PER IRC SEC. R601. PROVIDE SWITCH LIGHT, OUTLET PASSAGEWAY & PLATFORM PER IRC SEC. M1505.13. SEE STRUCTURAL FOR EXACT LOCATION. ATTIC ACCESS IN GARAGE MUST ALSO BE 5/8" GWS SCREWED & GLUED TO 3/4" PLYWOOD.
23. AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SURROUNDS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M1505.1.1.
24. PANTRY/LINEN, 5 FRAMED SHELVES.
25. CLOSET, PROVIDE 1 SHELF & 1 ROD.
26. CLOSET, PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW.
27. A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED, OR 24" TO PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
28. 1/2" GYP. BD. TYP. (PROVIDE HR. GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, ICB0 2240).

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PLAN 3074
WESTERN ENCLAVE 2
PHOENIX, ARIZONA
FLOOR PLANS

Job No.:	--
Drawn By:	--
Checked By:	--
Scale:	AS NOTED
Date:	3/30/20

A1.1

Orchid | Plan 3074 | Approx. 1,397 sq. ft.
3 Bedroom | 2 Baths | 2-Bay Garage



Elevation M | Cottage



Elevation H | Ranch Hacienda



Elevation A | Spanish Colonial



EVERYTHING'S
INCLUDED®

LENNAR®

Orchid | Plan 3074 | Approx. 1,397 sq. ft.
3 Bedroom | 2 Baths | 2-Bay Garage



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Ironwood | Plan 3518 | Approx. 1,943 sq. ft.
4 Bedrooms | 3 Baths | 2-Bay Garage



Elevation I



Elevation C



Elevation A



EVERYTHING'S
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Ironwood | Plan 3518 | Approx. 1,943 sq. ft.
4 Bedrooms | 3 Baths | 2-Bay Garage



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Bisbee | Plan 3565 | Approx. 1,400 sq. ft.
3 Bedrooms | 2 Baths | 2-Bay Garage



Elevation M



Elevation A



Elevation H



EVERYTHING'S
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Bisbee | Plan 3565 | Approx. 1,400 sq. ft.
3 Bedrooms | 2 Baths | 2-Bay Garage



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Barbaro | Plan 3570 | Approx. 1,800 sq. ft.
4 Bedrooms | 2 Baths | 2-Bay Garage



Elevation I



Elevation A



Elevation M



EVERYTHING'S
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Barbaro | Plan 3570 | Approx. 1,800 sq. ft.
4 Bedrooms | 2 Baths | 2-Bay Garage



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Sage | Plan 4022 | Approx. 2,273 sq. ft.
4 Bedroom | 3 Bath | 2-Bay Garage



Elevation C



Elevation A



Elevation H



EVERYTHING'S
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Sage | Plan 4022 | Approx. 2,273 sq. ft.
4 Bedroom | 3 Bath | 2-Bay Garage



FIRST FLOOR



EVERYTHING'S
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Revolution | Plan 4083 | Approx. 2,524 sq. ft.
4 Bedrooms | 3 Baths | 2-Bay Garage
Main Home 1,753 sq. ft. | Private Living Suite 771 sq. ft.



Elevation H | Ranch Hacienda



Elevation A | Spanish Colonial



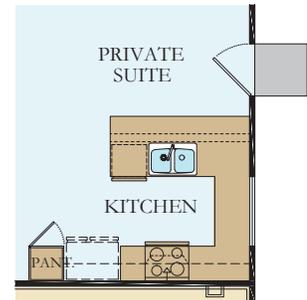
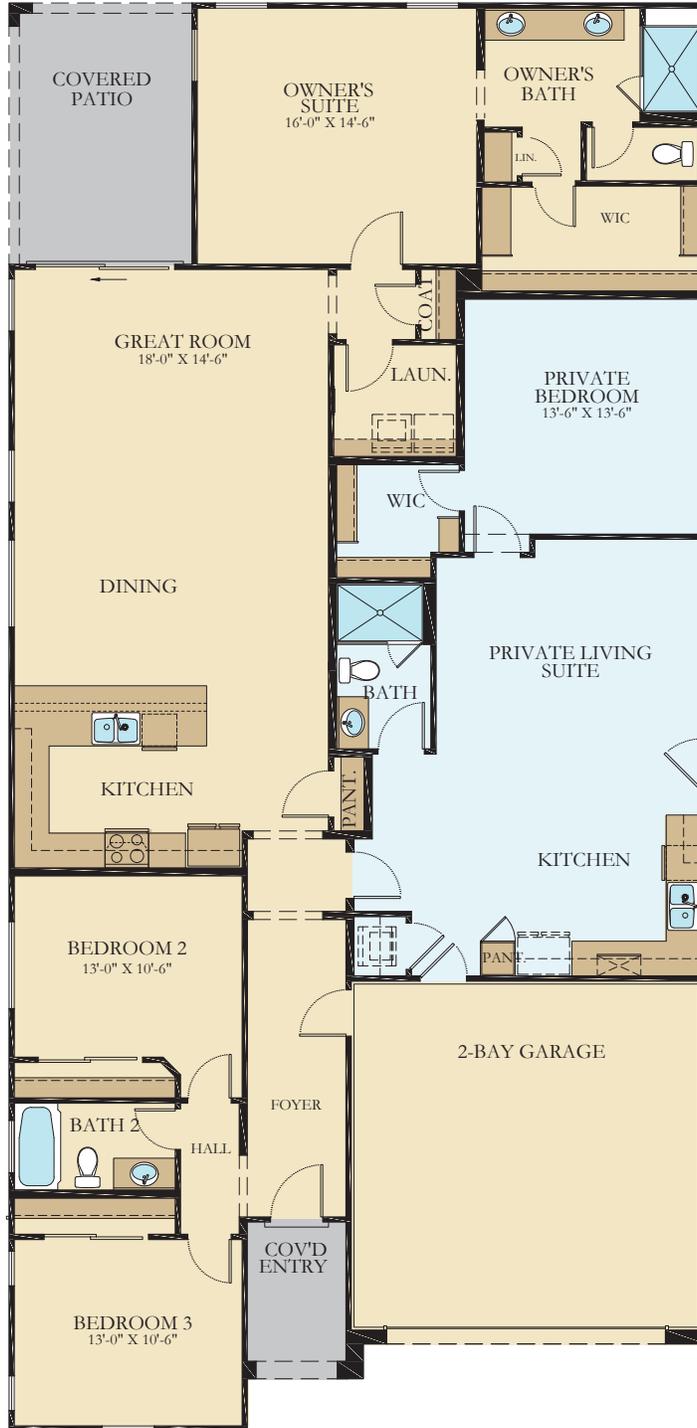
Elevation M | Cottage



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Revolution | Plan 4083 | Approx. 2,524 sq. ft.
 4 Bedrooms | 3 Baths | 2-Bay Garage
 Main Home 1,753 sq. ft. | Private Living Suite 771 sq. ft.



PLATINUM OPTION
 PRIVATE SUITE KITCHEN



NEXTGEN[®]
 THE HOME WITHIN A HOME[®]



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LENNAR[®]

Architecture Plans

Plan 4578

Aspen | Plan 4578 | Approx. 2,375 sq. ft.
4 Bedrooms | 3 Baths | Teen Room | 3-Bay Tandem Garage



Elevation F | French Country



Elevation A | Spanish Colonial



Elevation H | Ranch Hacienda



EVERYTHING'S
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Aspen | Plan 4578 | Approx. 2,375 sq. ft.
 4 Bedrooms | 3 Baths | Teen Room | 3-Bay Tandem Garage



EVERYTHING'S INCLUDED®

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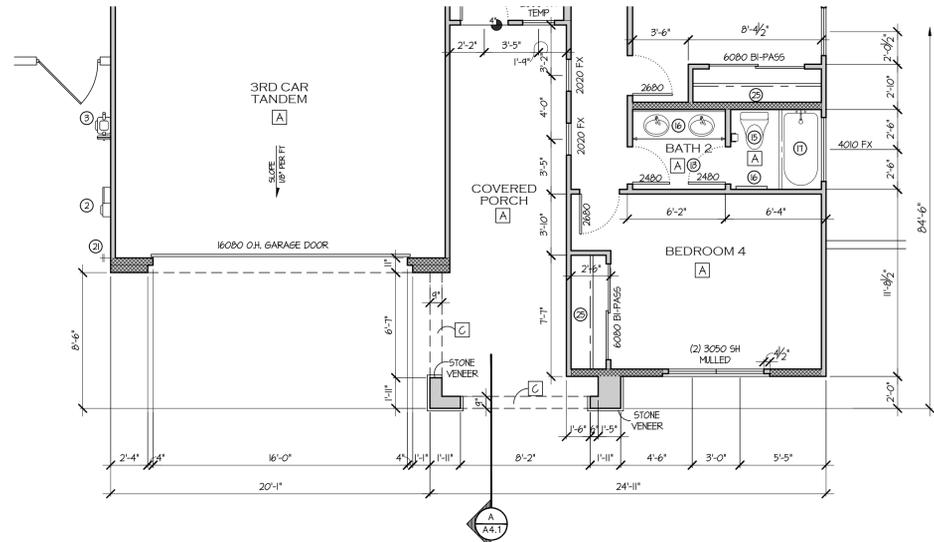
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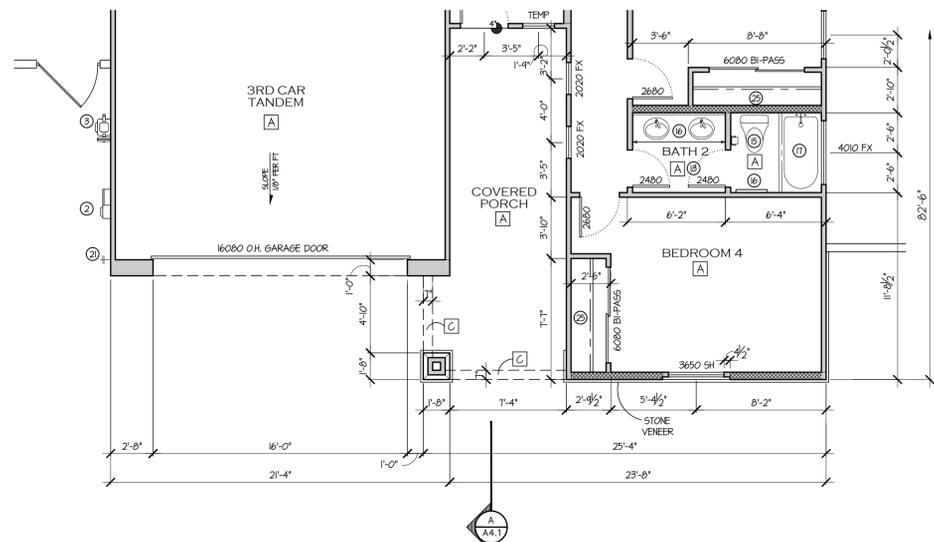


Architecture Plans

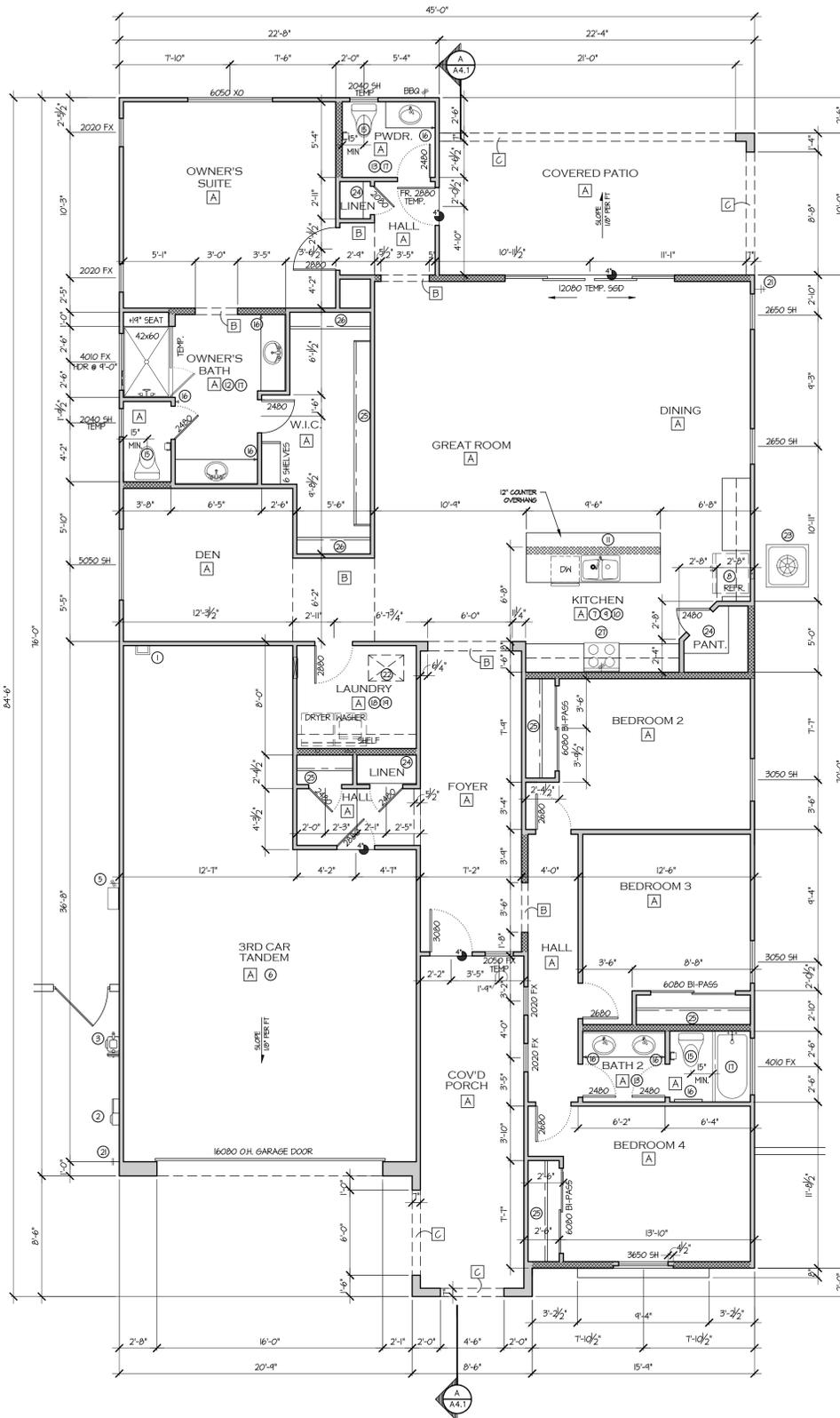
Plan 4584



FLOOR PLAN ELEVATION 'L'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'C'
SCALE: 3/16" = 1'-0"



FLOOR PLAN ELEVATION 'A'
SCALE: 3/16" = 1'-0"

CEILING HEIGHTS	
A	10'-0" CEILING
B	9'-0" SOFFIT
C	8'-6" SOFFIT
D	11'-0" CEILING
MEASURED ABOVE FINISHED FLOOR	

LEGEND	
	2x6 WALL

GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE OF STUD TYP. (UNO.)
- B. CONTRACTOR TO VERIFY ROUGH OPENINGS FOR ALL DOOR & WINDOWS.
- C. VERIFY ALL EXTERIOR DOOR & WINDOW HEADER HEIGHTS PRIOR TO INSTALLATION.
- D. ALL EGRESS WINDOWS SHALL MEET 2018 IRC MIN. EGRESS REQUIREMENTS: 20" MIN. CLEAR WIDTH 24" MIN. CLEAR HEIGHT - 5.7 SQ. FT. MIN. AREA - MAX. BILL HEIGHT 44".
- E. PROVIDE DRAFT STOPS IN ALL WALLS GREATER THAN 10'-0" IN HEIGHT.
- F. EXTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. (UNO.) PROVIDE R-13 INSULATION AT ALL EXTERIOR LIVING WALLS.
- G. 2x4 STUDS AT 16" O.C. TYP. INTERIOR BEARING WALLS FULL HEIGHT.
- H. 2x4 STUDS AT 24" O.C. TYP. INT. NON-BEARING WALLS.
- I. UNBRACED 4 SHEAR WALLS ABOVE 14'-0" IN HEIGHT TO BE 2x6 STUDS AT 16" O.C. PROVIDE R-13 INSULATION BETWEEN GARAGE & LIVING SPACE.
- J. LOCATION OF ALL CLEAN OUTS TO BE VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- K. ALL BEARING PARTITIONS TO HAVE DOUBLE TOP PLATE.
- L. SIMPSON HD5 OR A35 CONNECTORS ARE REQUIRED AT EVERY OTHER STUD, TOP & BOTTOM.
- M. PROVIDE ADEQUATE BRACINGS FOR OPTIONAL CEILING FANS AT ALL BEDROOMS, DINING ROOM, LIVING ROOM & FAMILY ROOM.
- N. ALL PLATES (INTERIOR & EXTERIOR, LOAD BEARING & NON LOAD BEARING) SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- O. PROVISION SHALL BE MADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- P. GYP. BOARD SHALL BE ATTACHED WITH 5d COOLER NAILS AT 7" O.C.
- Q. PROVIDE LANDINGS AT ALL EXTERIOR DOORS PER 2018 IRC.
- R. WINDOWS TO BE INSTALLED PER MANUFACTURER'S SPECS - SEALING AND FLASHING.
- S. DRAFT STOP IS REQUIRED AT CONCEALED SPACE-EAVES, 10 FEET ON CENTER PER 2018 IRC.
- T. SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- X. GARAGE FLOOR SURFACES TO BE NON-COMBUSTIBLE MATERIAL SLOPED TO DRAIN OR VEHICULAR ENTRY DOORWAY PER 2018 IRC.

FLOOR PLAN NOTES -

1. SOFT WATER LOOP.
2. 27x39" PANEL BACKING FOR THE ELECTRICAL PANEL.
3. GAS METER LOCATION.
4. 1/2" SOLID CORE SELF-CLOSING, SELF-LATCHING, 20 MINUTE RATED DOOR WITH FITTING.
5. NATURAL GAS TANKLESS WATER HEATER WITH CONCENTRIC VENTING MOUNTED TO THE EXTERIOR GARAGE WALL. MAINTAIN 6" CLEARANCE ON TOP AND 18" CLEARANCE ON BOTTOM FROM ALL COMBUSTIBLES. REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION AND PROPER VENTING GUIDELINES.
6. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" GIB APPLIED TO THE GARAGE SIDE. GARAGE BENEATH LIVABLE SPACE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GIB OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GIB OR EQUIVALENT.
7. BASE CABINETS WITH TOP PER OWNER & 30" HALL MOUNT UPPER CABINETS.
8. REFRIGERATOR SPACE. PROVIDE 1/2" WATER LINE FOR ICE MAKER.
9. SLICE-A-RANGE OVEN WITH OPT. EXHAUST HOOD AND LIGHT. A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED CEILING IS REQUIRED. AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
10. DBL. SINK W/ DISPOSAL & DISHWASHER W/ 1" AIR GAP.
11. 2x6 PANTY HALL TO 3/4".
12. OWNER'S BATH. BASE CABINETS & COUNTERTOPS AND SHOWER SPECIFICATIONS PER STANDARD FEATURES LIST. SHOWER HEAD AND VANITY MIRROR HEIGHTS PER SPECIFICATIONS. SHOWER DOOR TO BE TEMPERED GLASS.
13. SECONDARY BATH. BASE CABINETS & COUNTERTOPS AND SHOWER SPECIFICATIONS PER STANDARD FEATURES LIST. FIBERGLASS TUB-SHOWER NO MARBLE PANELS. SHOWER HEAD AND VANITY MIRROR HEIGHTS PER SPECIFICATIONS.
14. OWNER'S BATH. CABINET SINK WALL MOUNTED MIRROR HEIGHT PER STANDARD FEATURES LIST.
15. WATER CLOSET TO HAVE 15" CLEAR ON SIDES AND 21" CLEAR IN FRONT WITH EXHAUST FAN (5 AIR CHANGES PER HOUR MIN).
16. TOWEL BAR/ TOWEL HOOK.
17. CEMENT FIBER CEMENT OR GLASS MAT GYPSUM BACKERS BEHIND TILE IN TUB OR SHOWER AREAS PER IRC 107.2.
18. WASHER & DRYER SPACE WITH 4" DIA. VENT THRU ROOF EXHAUST FAN. SHELF TOP @ 68"; PROVIDES WATER AND WASTE FOR WASHER CONTROL VALVES RECESSED IN WALL.
19. DRYER VENT NOT TO EXCEED THE LIMITS OF 2018 SEC. M502. THE MAXIMUM LENGTH OF 2 CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25' FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH SHALL BE REDUCED BY 2' FOR EACH 45° BEND & 1' FOR EACH 90° BEND. THE MAXIMUM LENGTH DOES NOT INCLUDE THE TRANSITION DUCT.
20. SMOKE DETECTORS PERMANENTLY WIRED AND INTER-CONNECTED WITH BATTERY BACKUP. MIN. 3' FROM DUCT OPENING. LOCATE NEAR CENTER OF ALL BEDROOMS AND MINIMUM ONE PER FLOOR. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. SEE ELECTRICAL SHEETS FOR LOCATIONS.
21. HOSE-BIB W/ BACKFLOW PREVENTER.
22. 27x30" MIN. ATTIC ACCESS PER 2018 IRC SEC. R801. PROVIDE SWITCH LIGHT. OUTLET RADIATIONWAY & FLATTOP PER IRC SEC. M109.1.3. SEE STRUCTURAL FOR EXACT LOCATION. ATTIC ACCESS IN GARAGE MUST ALSO BE 1/2" GIB SCREWED & GULFED TO 1/2" PLYWOOD.
23. AIR CONDITIONING EQUIPMENT TO BE INSTALLED ON A CONCRETE SLAB THAT COMPLETELY SUPPORTS THE EQUIPMENT AND IS ELEVATED A MIN. 3" ABOVE ADJOINING GROUND LEVEL PER IRC SEC. M409.2.
24. PANTRY/LINEN: 5 FRAMED SHELVES.
25. CLOSET: PROVIDE 1 SHELF AND 1 ROD.
26. CLOSET: PROVIDE 2 SHELVES & 2 RODS, 1 HIGH AND 1 LOW. SEE.
27. A VERTICAL CLEARANCE ABOVE A COOKTOP OF 30" TO UNPROTECTED CEILING IS REQUIRED. AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING ON THE UNIT.
28. 2 GYP. BD. TYP. (PROVIDE WR GYP. BD. AT ALL WET AREAS & EXT. SOFFITS, (CBO #2240).

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ROC 228123

PLAN 4584
ASHER POINTE
CHANDLER, ARIZONA
FLOOR PLANS

Job No.:	--
Drawn By:	--
Checked By:	--
Scale:	AS NOTED
Date:	1/24/20
A1.1	

Juniper | Plan 4584 | Approx. 2,468 sq. ft.
4 Bedrooms | Den | 2.5 Baths | 3-Bay Tandem Garage



Elevation C | Craftsman



Elevation A | Spanish Colonial



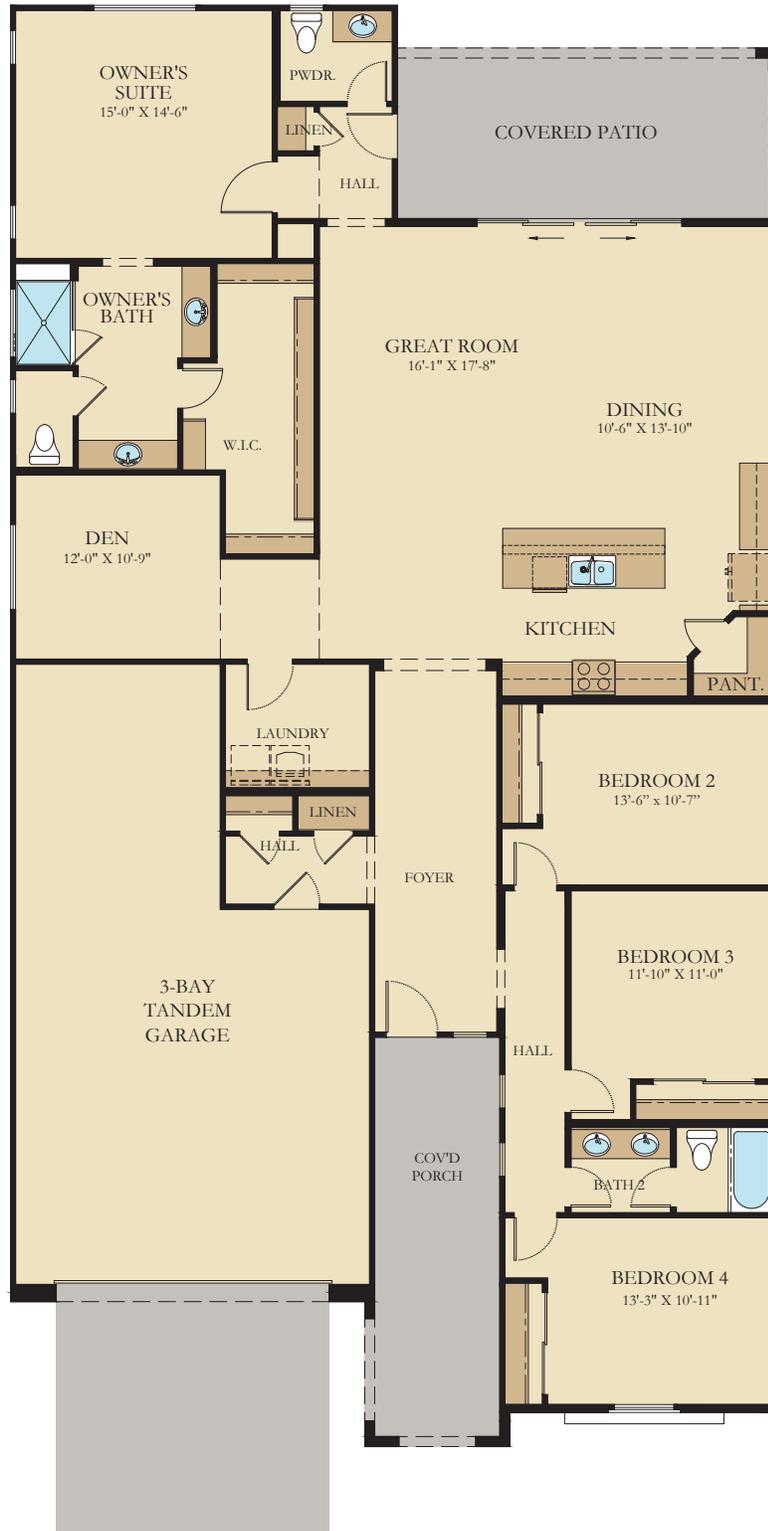
Elevation L | Desert Prairie



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 4 Bedrooms | Den | 2.5 Baths | 3-Bay Tandem Garage



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Department website www.azre.gov. Broker Lennar Sales Corp. Lennar Arizona, Inc. dba Lennar Homes ROC# 232731, Lennar Arizona Construction, Inc. ROC# 228129, Lennar Communities Development, Inc., ROC# 137295, US Home of Arizona Construction Company ROC# 065983, Greystone Construction, Inc. ROC# 256680. Copyright © 2021 Lennar Corporation. All rights reserved. Lennar, the Lennar logo, Everything's Included, the Everything's Included logo, NextGen and the NextGen logo are U.S. registered service marks or service marks of Lennar Corporation and/or its subsidiaries. 2.1.21



Architecture Plans

Plan 4585

Trillium | Plan 4585 | Approx. 2,649 sq. ft.
4 Bedrooms | 3 Baths | 3-Bay Garage
Main Home 1,967 sq. ft. | Private Living Suite 682 sq. ft.



Elevation H | Ranch Hacienda



Elevation A | Spanish Colonial



Elevation C | Craftsman



EVERYTHING'S
INCLUDED®

LENNAR®

Trillium | Plan 4585 | Approx. 2,649 sq. ft.
 4 Bedrooms | 3 Baths | 3-Bay Garage
 Main Home 1,967 sq. ft. | Private Living Suite 682 sq. ft.



NEXTGEN
 THE HOME WITHIN A HOME®



**EVERYTHING'S
 INCLUDED**

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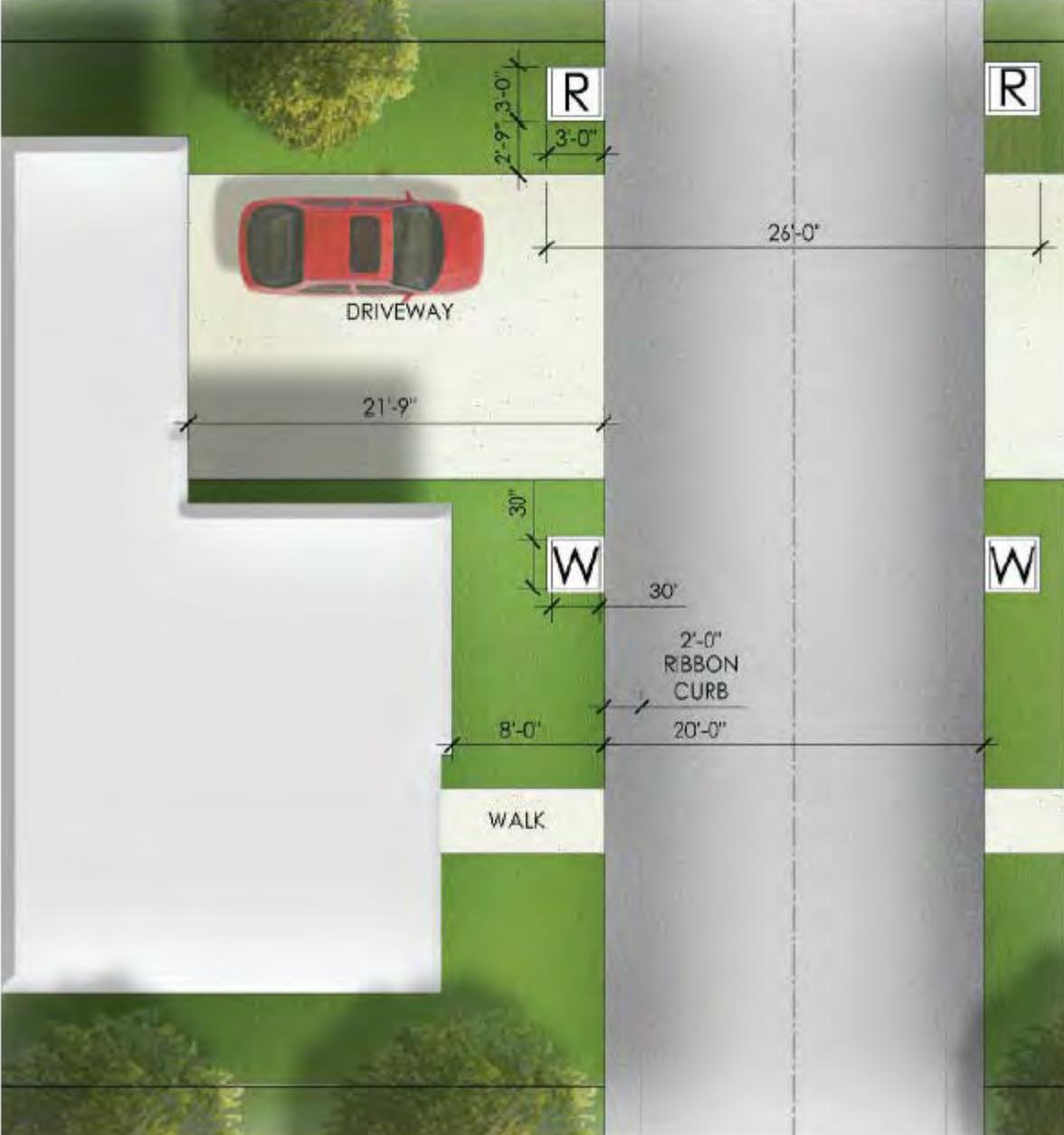
4135 N. 93rd Lane | Phoenix, AZ 85037 | 800-864-1058 | Lennar.com

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Motor Court - Lot Enlargement



Motor Court "Pod" Enlargement

30" x 30" RECYCLE BIN
ON 3' x 3' PAD (TYP.)

30" x 30" WASTE BIN
ON 3' x 3' PAD (TYP.)

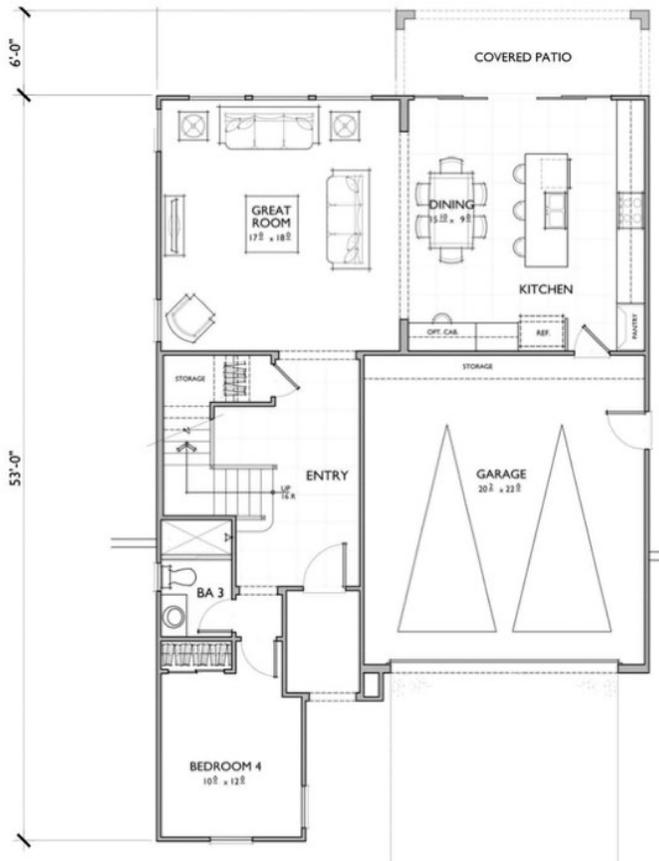
SIDEWALK (TYP.)

63'-0"

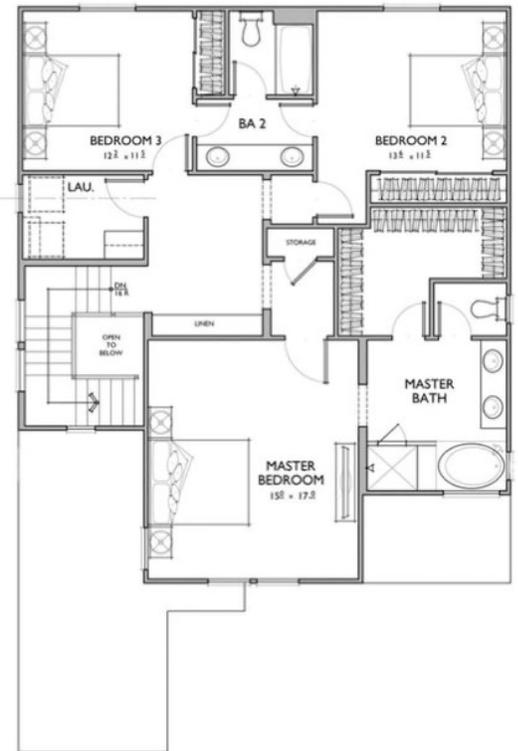


Casita Series

Floor Plan 3522 (2,246 sq. ft.)



FIRST FLOOR



SECOND FLOOR

LENNAR®

Casita Series

Floor Plan 3522 (2,246 sq. ft.)



ELEVATION G - ITALIANATE



ELEVATION F - FRENCH COUNTRY

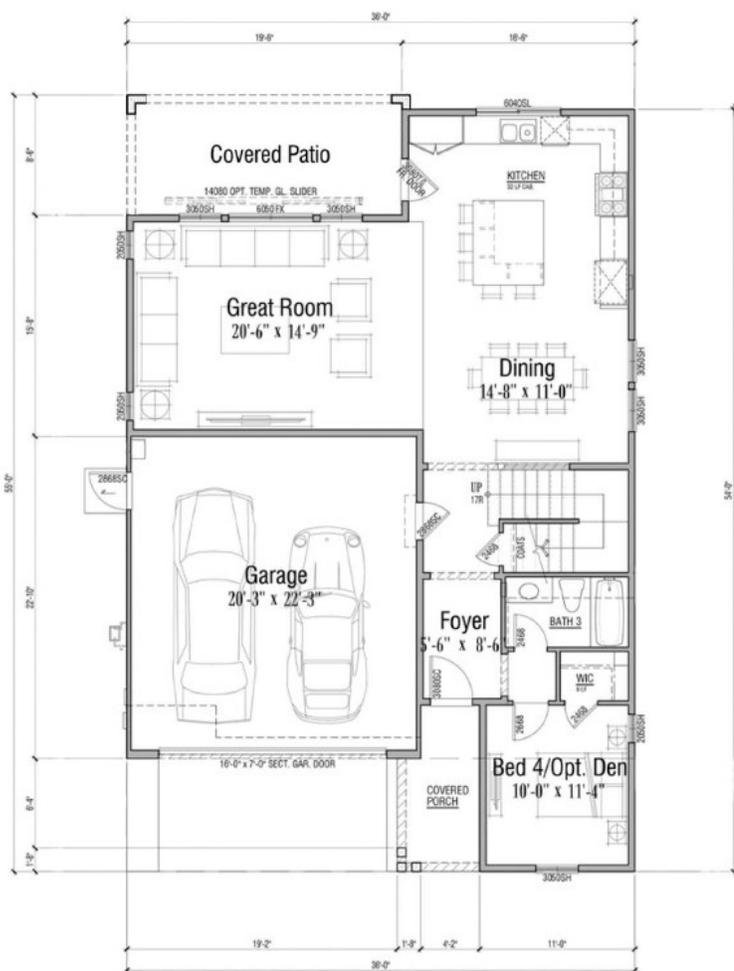


ELEVATION E - TUSCAN

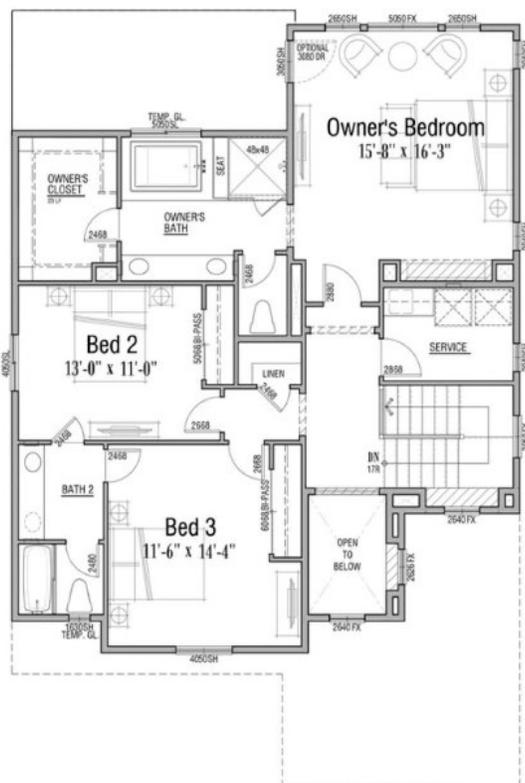
LENNAR®

Casita Series

Floor Plan 3623 (2,311 sq. ft.)



FIRST FLOOR



SECOND FLOOR

LENNAR®

Casita Series

Floor Plan 3623 (2,311 sq. ft.)



ELEVATION K - FARMHOUSE



ELEVATION F - FRENCH COUNTRY

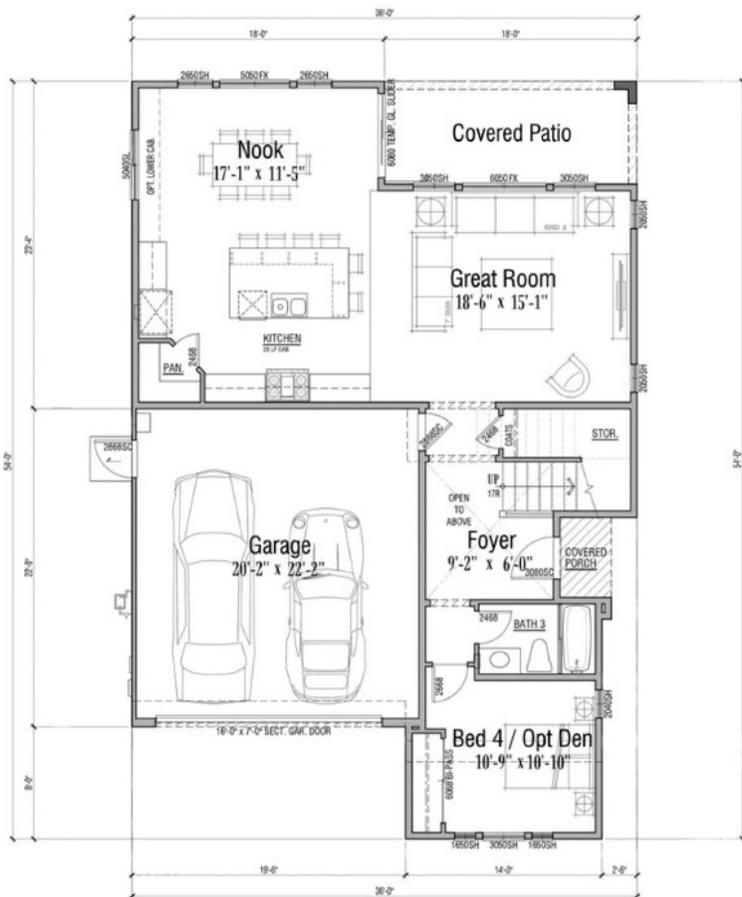


ELEVATION C - CRAFTSMAN

LENNAR®

Casita Series

Floor Plan 3624 (2,428 sq. ft.)



FIRST FLOOR



SECOND FLOOR

LENNAR®

Casita Series

Floor Plan 3624 (2,428 sq. ft.)



ELEVATION D - MONTEREY



ELEVATION F - FRENCH COUNTRY

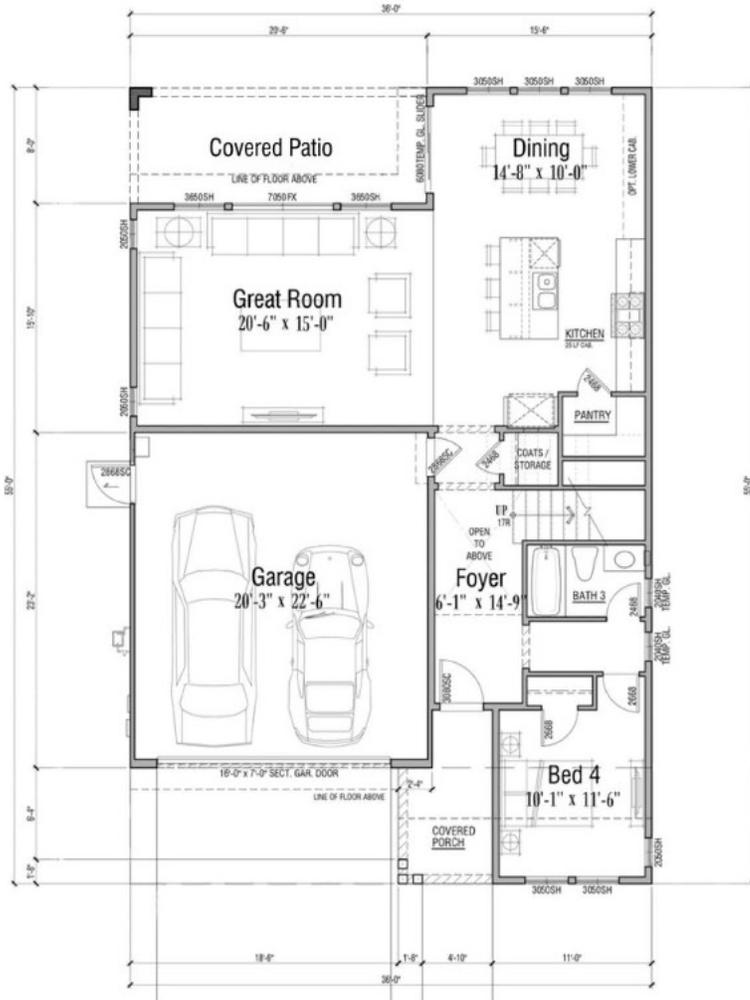


ELEVATION C - CRAFTSMAN

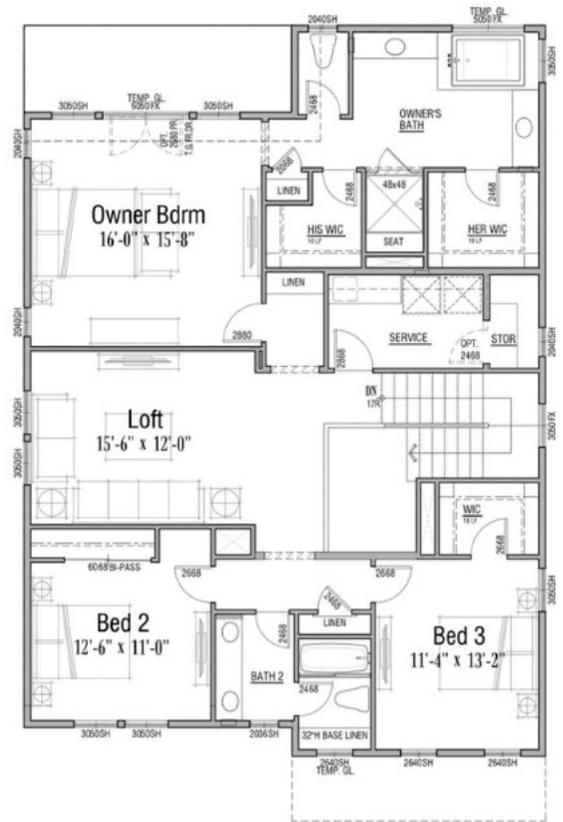
LENNAR[®]

Casita Series

Floor Plan 3626 (2,659 sq. ft.)



FIRST FLOOR



SECOND FLOOR

LENNAR®

Casita Series

Floor Plan 3626 (2,659 sq. ft.)



ELEVATION K - FARMHOUSE



ELEVATION F - FRENCH COUNTRY



ELEVATION C - CRAFTSMAN

LENNAR®

Motor Court

Floor Plan 4521 (2,101 sq. ft.)



2nd Floor



1st Floor

LENNAR®

Motor Court

Floor Plan 4521 (2,101 sq. ft.)



LENNAR®

Motor Court

Floor Plan 4522 (2,233 sq. ft.)



2nd Floor



1st Floor

LENNAR®

Motor Court

Floor Plan 4522 (2,233 sq. ft.)



LENNAR®

Motor Court

Floor Plan 4527 (2,593 sq. ft.)



2nd Floor



1st Floor

LENNAR®

Motor Court

Floor Plan 4527 (2,593 sq. ft.)



LENNAR®

EXHIBIT H





EXHIBIT I



AMENITY BUILDING STYLE



GATHERING LOUNGE



LAKE EDGE PLAZA



OPEN AIR AMENITY



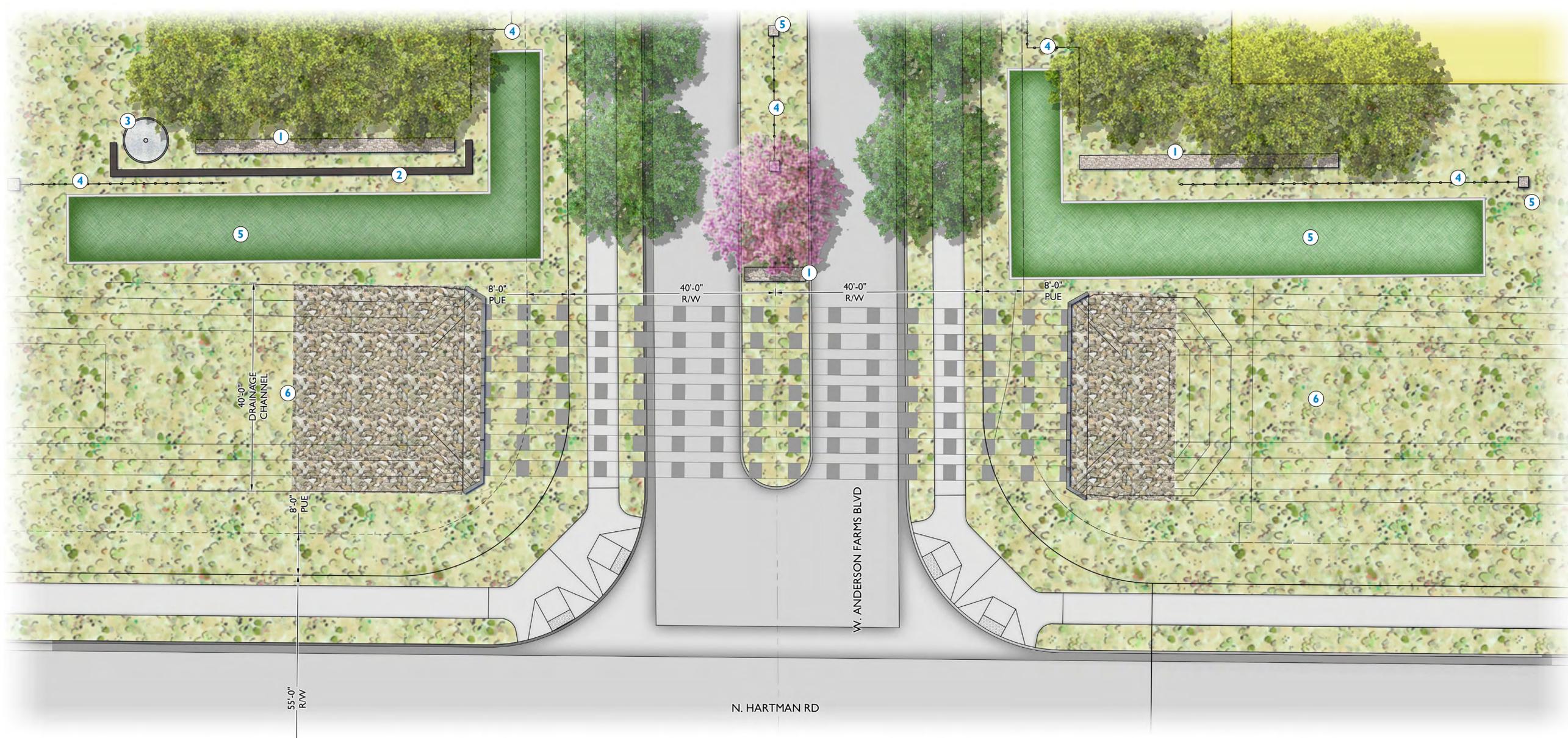
WALKING PATHS



POOL COMPLEX



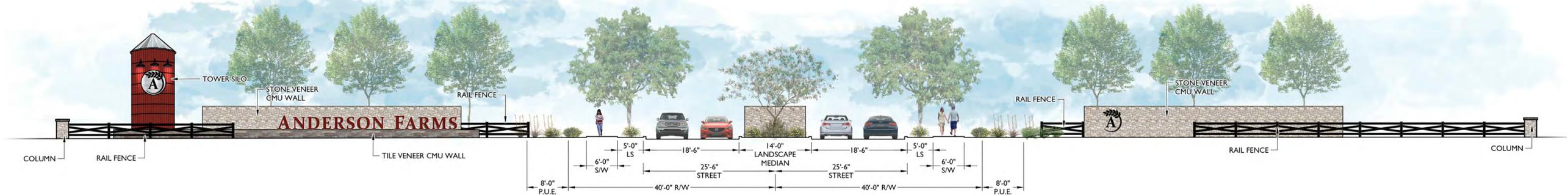
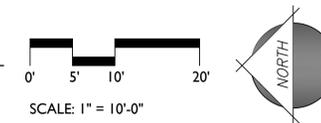
TOT LOT



KEYNOTES

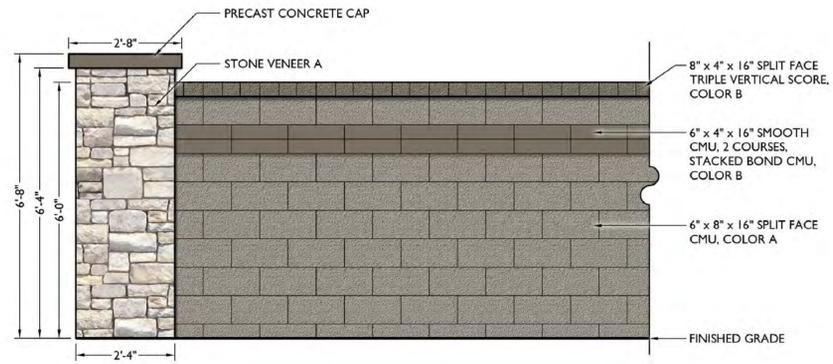
- 1 STONE VENEER ENTRY WALL
- 2 TILE VENEER WALL WITH ENTRY SIGN
- 3 TOWER SILO
- 4 RAIL FENCE
- 5 DECORATIVE COLUMN
- 6 DRAINAGE CHANNEL

1 ENTRY ENLARGEMENT PLAN
Scale: 1" = 10'-0"

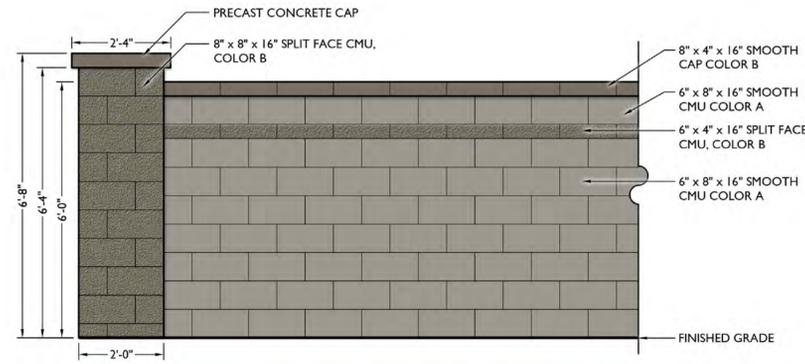


2 ENTRY ENLARGEMENT ELEVATION
Scale: 1" = 10'-0"

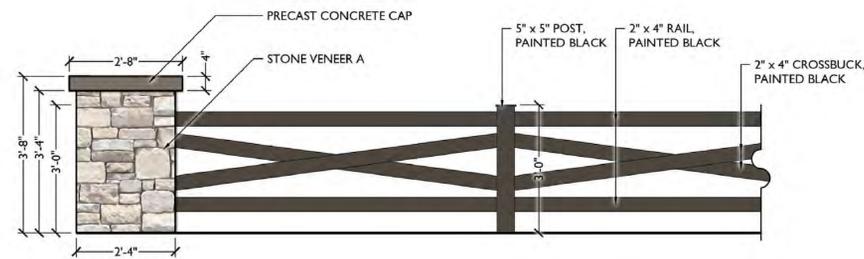




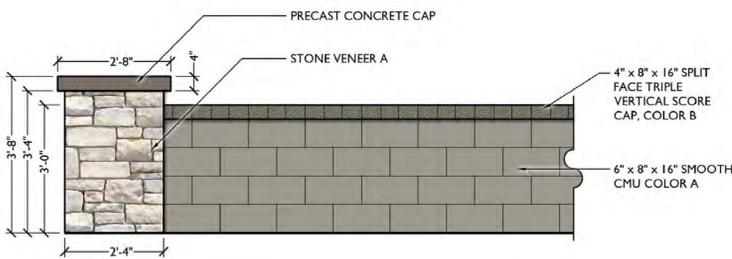
1 PRIMARY THEME WALL
Scale: 1/2" = 1'-0"



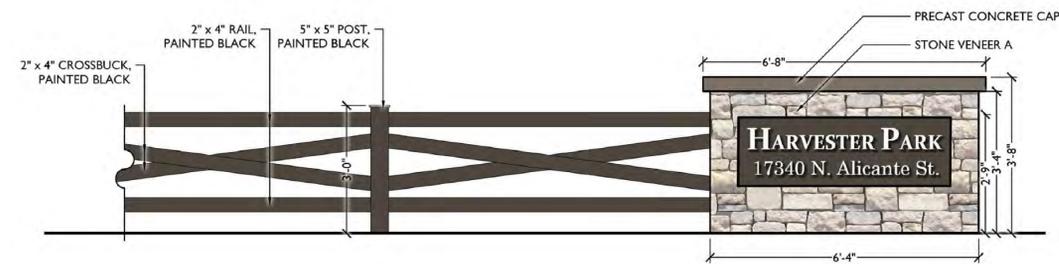
2 SECONDARY THEME WALL
Scale: 1/2" = 1'-0"



3 CROSSBUCK STYLE RAIL FENCE
Scale: 1/2" = 1'-0"



4 DECORATIVE LOW WALL
Scale: 1/2" = 1'-0"



5 PARK SIGNAGE
Scale: 1/2" = 1'-0"



COLOR A
Color: Sherwin Williams
SW9170 Acier OAE



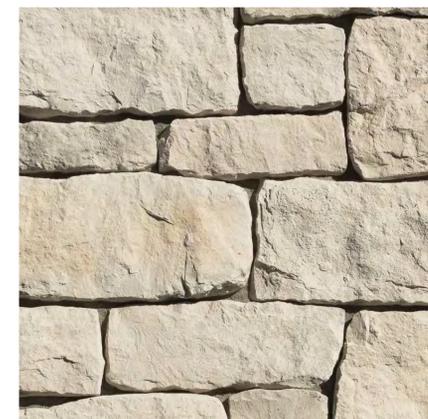
COLOR B
Color: Sherwin Williams
SW9614 Carriage Stone OAE



COLOR C
Color: Sherwin Williams
SW7020 Black Fox OAE



CONCRETE CAP
Color: Ostrich by Mesa Precast OAE



STONE VENEER
Rough Cut, Color Casa Blanca
by Eldorado Stone OAE

EXHIBIT J

KEYNOTES

- ① MAIN PARK AMENITY
- ② NEIGHBORHOOD PARK
- ③ PEDESTRIAN PASEO



① PEDESTRIAN PASEO ILLUSTRATIVE CROSS SECTION

NOTES:

1. SEATING NODES AND TRASH RECEPTACLES WILL BE LOCATED PERIODICALLY ALONG THE PASEO BETWEEN NEIGHBORHOOD PARKS.
2. BOLLARD LIGHT SPACING TO ACCOMMODATE WAYFINDING. FINAL LOCATIONS TO BE DETERMINED BY ELECTRICAL ENGINEER.



LANDSCAPE BENCH
Model: Rendezvous
Color: Grey, By Anova, OAE



TRASH RECEPTACLE
Model: Rendezvous
Color: Grey, By Anova, OAE



BOLLARD LIGHT
Exact fixture to be determined at final design.

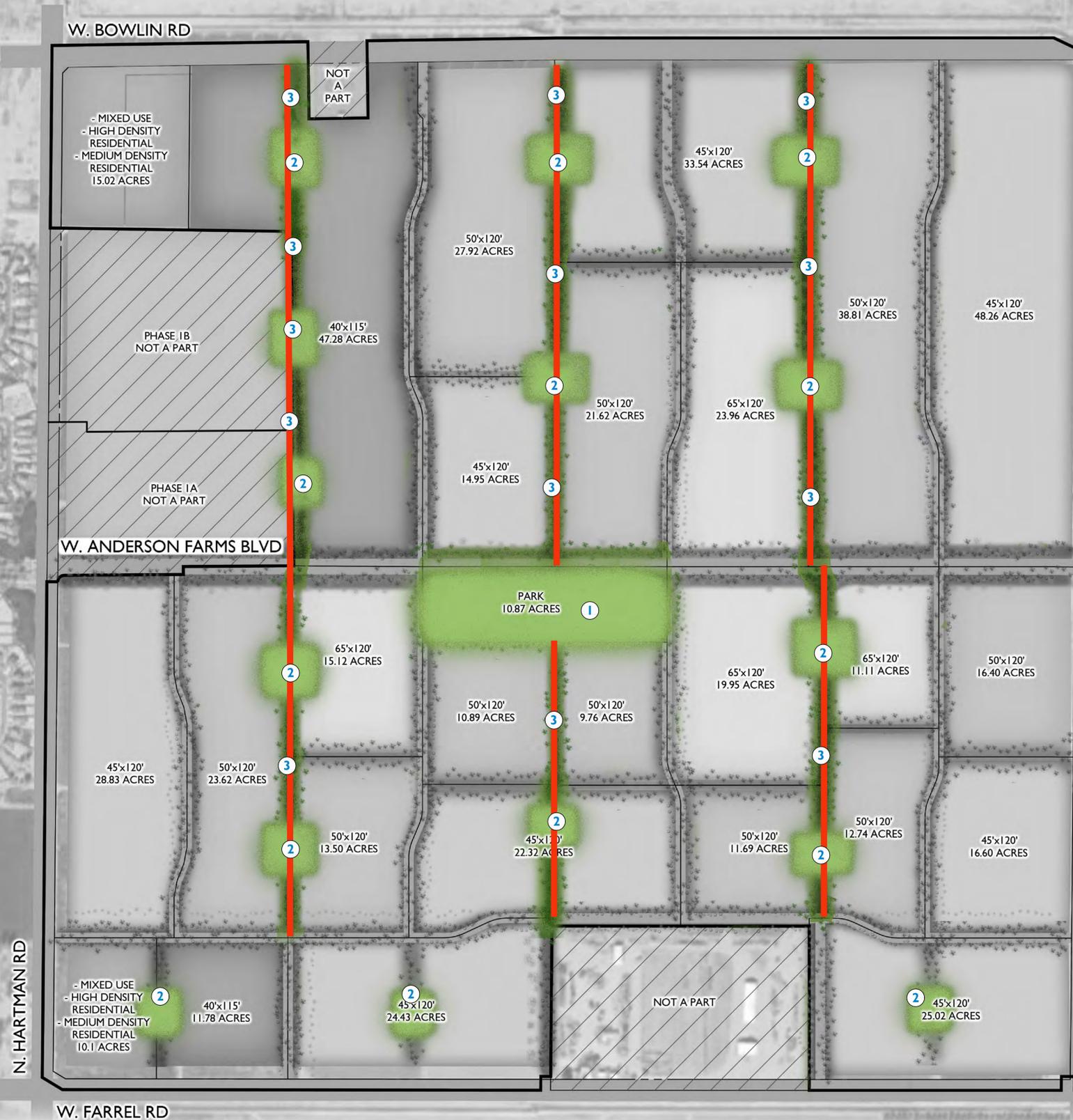


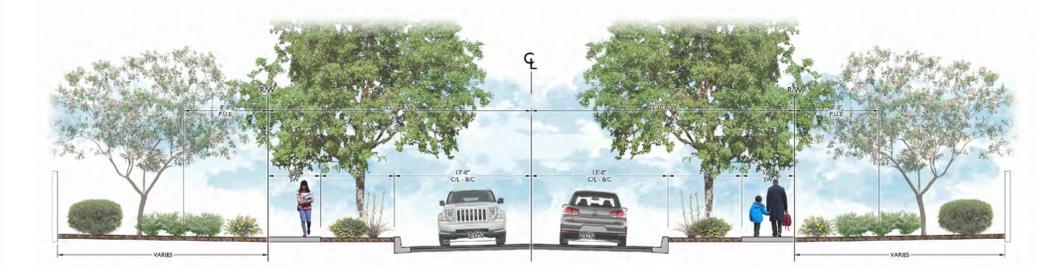
EXHIBIT K

LEGEND

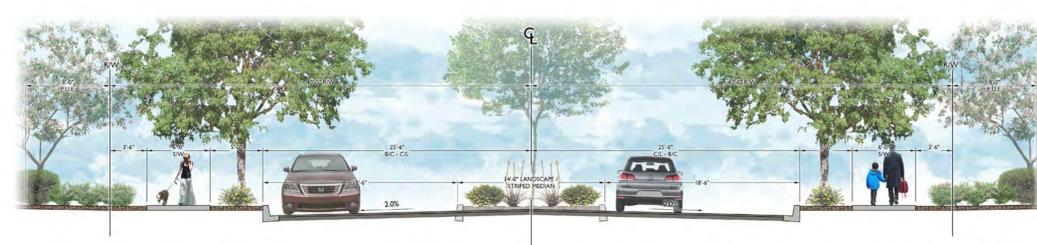
SYMBOL	ITEM
	PEDESTRIAN PASEO
	ENHANCED LOCAL (DETACHED SIDEWALK)
	COLLECTOR (DETACHED SIDEWALK)



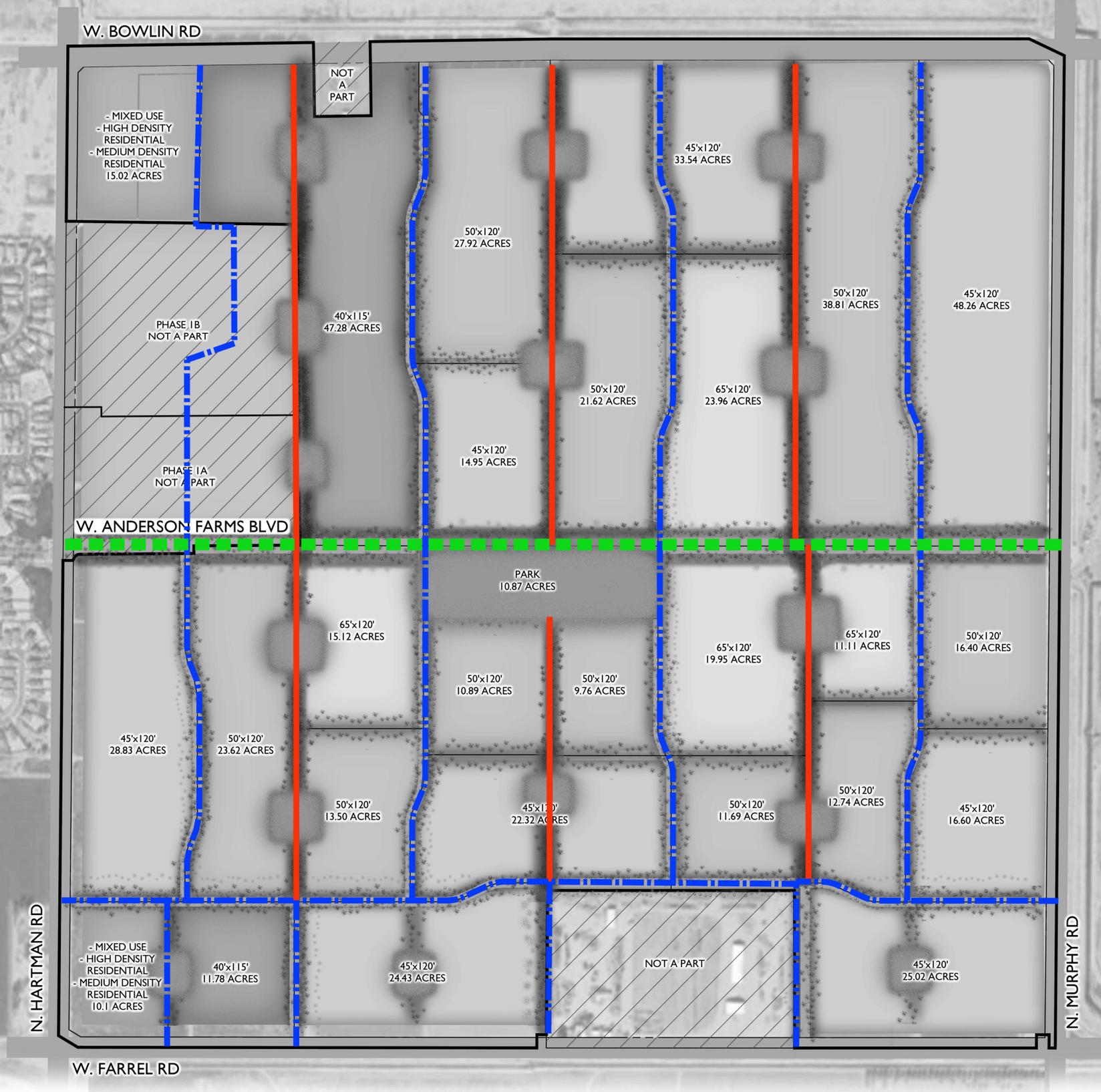
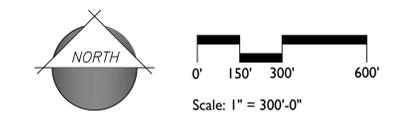
1 PEDESTRIAN PASEO

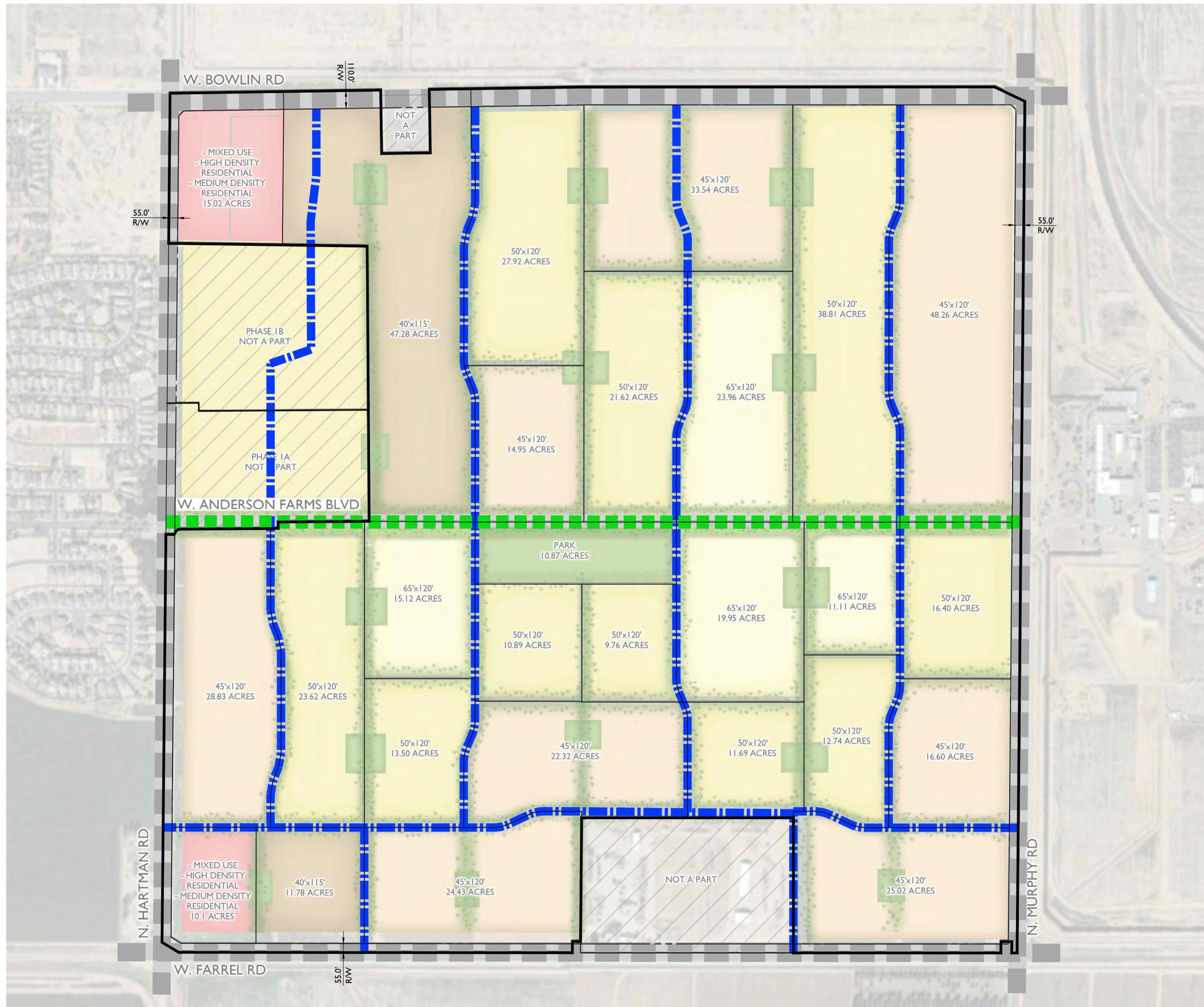


2 ENHANCED LOCAL STREET (DETACHED SIDEWALK)



3 COLLECTOR STREET (WITH MEDIAN)





LEGEND

- ARTERIAL (DETACHED SIDEWALK)
- ENHANCED LOCAL (DETACHED SIDEWALK)
- COLLECTOR (DETACHED SIDEWALK)
- PROPERTY BOUNDARY

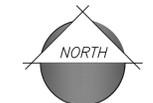
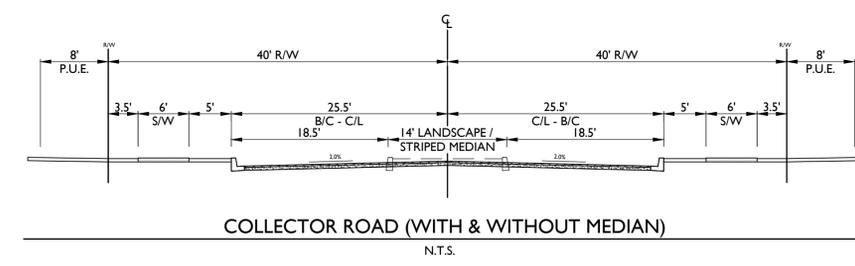
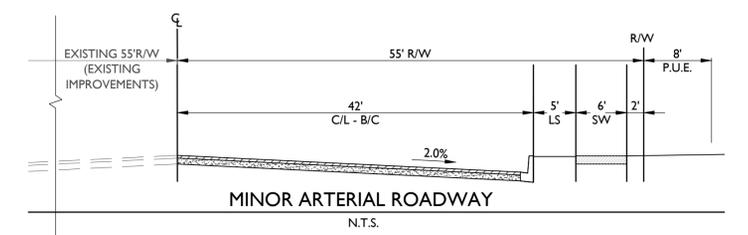
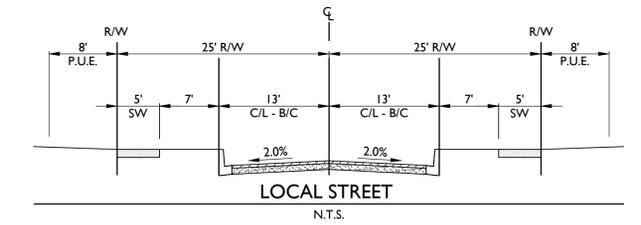
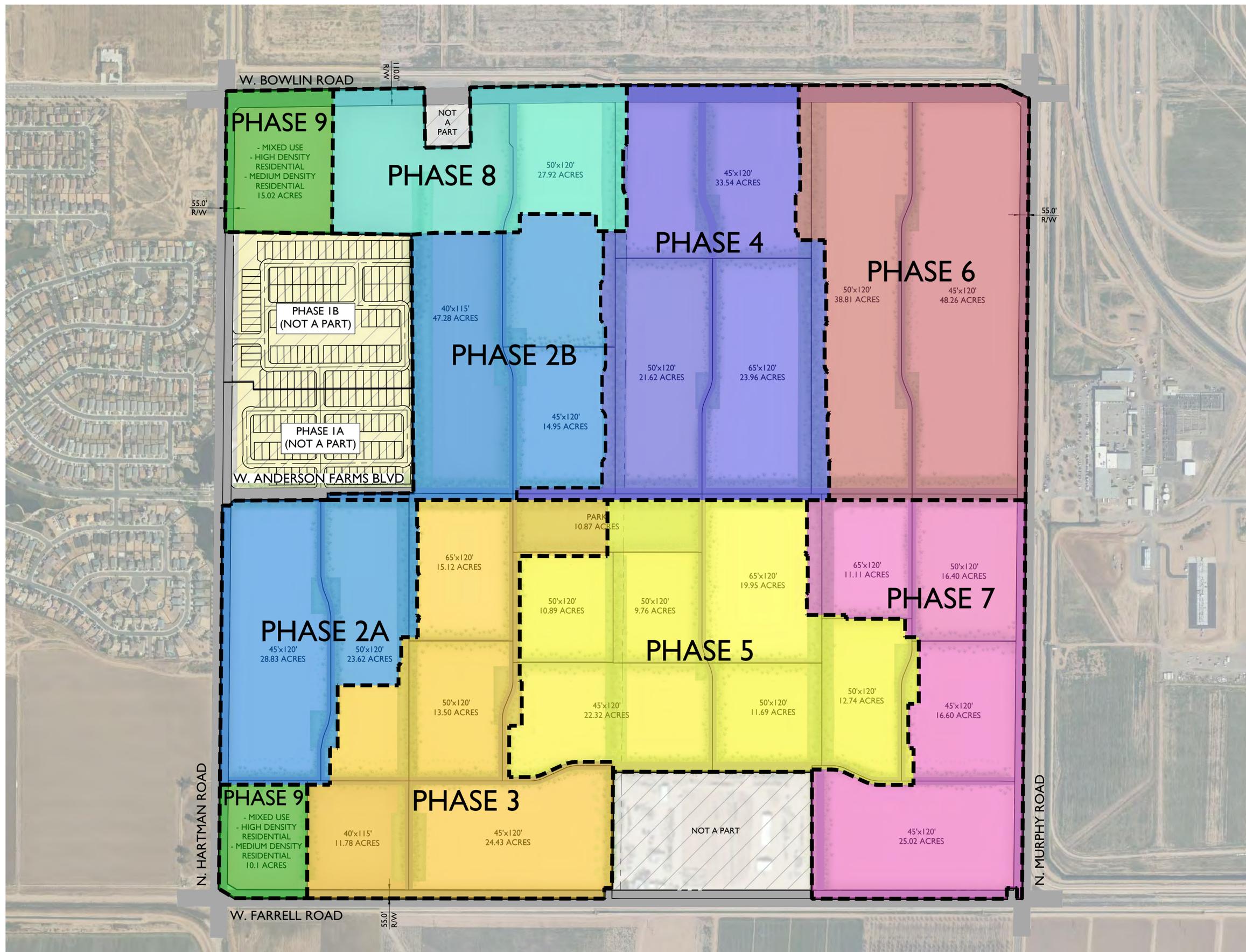


EXHIBIT L



PHASING SUMMARY

PHASE 2A	46.13 ACRES
PHASE 2B	51.21 ACRES
PHASE 3	77.83 ACRES
PHASE 4	84.88 ACRES
PHASE 5	89.09 ACRES
PHASE 6	86.44 ACRES
PHASE 7	67.69 ACRES
PHASE 8	38.06 ACRES
PHASE 9	24.80 ACRES
TOTAL	566.13 ACRES

