



West Maricopa Village PAD

JANUARY 2021

EXHIBIT A

WEST MARICOPA VILLAGE

PLANNED AREA DEVELOPMENT NARRATIVE

SUBMITTED BY:

RONALD L. SMITH, P.E.
MATRIX EQUITIES, INC.
10446 NORTH 74TH STREET, STE. 200
SCOTTSDALE, AZ 85258
214.789.6088
RON@MATRIX-EQUITIES.COM

AND

THOMAS DURANT, RLA, LEED AP
ABLA
310 EAST RIO SALADO PARKWAY
TEMPE, AZ 85258
480.530.0077
TOM.DURANT@ABLASTUDIO.COM

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I. INTRODUCTION

MatrixEquities, Inc. and Maricopa 35, LLC (henceforth known as the “Applicant”) are excited to bring to the City of Maricopa (henceforth known as the “City”), West Maricopa Village. West Maricopa Village is a 35.24-gross acre (approximately 33.81 net acres) master-planned community located at the southeast corner of the intersection of Loma Road and West Smith Enke Road (State Route 238) (henceforth known as the “Property” or “Site”) (See **Exhibit A: Aerial Vicinity Map**).

Purpose & Intent

West Maricopa Village is proposed as a mixed-use project that permits uses such as single-family for rent, multifamily residential, and commercial/retail. The conceptual locations for these uses can be found on **Exhibit B: Conceptual Bubble & Phasing Plan**. Land uses and development standards will be regulated by Section 4 of this Planned Area Development document (henceforth known as the “PAD”). The PAD district structure is flexible in nature and will both optimize the City’s interests and allow the applicant to develop the Property to the highest and best use. Development of this PAD allows the applicant to bring a vital and vibrant, village-scaled development to the City of Maricopa.

Lot 1, approximately 16.35 acres, is planned for a multifamily development that functions as a single-family for rent product. The development will consist of a mixture of two-bedroom detached units and one-bedroom duplex units, at approximately 11 dwelling units per net acre (du/ac). An amenity package will be developed as part of the cluster project, which includes a resort style swimming pool and clubhouse.

Lot 2, approximately 14.01 acres, is planned for multifamily uses such as an apartment complex with amenity package that may include a swimming pool and a social pavilion with exercise facilities.

Lot 3, approximately 1.44 acres, is planned for commercial uses which may include a corner gas

station, convenience market, and/or automated car wash.

Lots 4 and 5, approximately 2.01 acres total, allow for retail and/or commercial office or medical office uses. These lots may be combined to accommodate a single user.

Request

In order to develop West Maricopa Village, the Applicant is requesting to rezone the subject site from Industrial (CI-2) to Planned Area Development (PAD) pursuant to this document.

II. EXISTING CONDITIONS

Site Location & Conditions

The Site is an approximately 35-acre parcel located at the southeast corner of the intersection of Loma Road and West Smith Enke Road (State Route 238). The Site has approximately 1,216 feet of frontage on SR 238 and 1,265 feet of frontage on Loma Road.

The Site is predominantly located in FEMA Flood Zone A0, with portions of the Site in Flood Zone X. Flood Zone A0 is the designation for areas of shallow flooding, between 1 & 3 feet. According to the drainage study prepared by EPS Group, pursuant to the Edison Road (Loma Road) improvements, the depth of flooding on the subject site is less than 0.5 feet.

Existing Zoning & General Plan Land Use

The Property is designated as Mixed Use (MU) on the City of Maricopa General Plan (See **Exhibit C: Existing General Plan Map**) and currently zoned Industrial (CI-2) (See **Exhibit D: Existing Zoning Map**). The current zoning of CI-2 does not conform to the City’s General Plan land use designation of Mixed Use; however, the requested rezoning to PAD will better align the Site with General Plan goals and objectives.

The Site is located within the Transportation Corridor Overlay District (TC). The purpose of the TC

Overlay District is to allow for a mix of uses that engages residents at a pedestrian scale, achieve walkable and bikeable developments, and create complex and detailed architecture and urban form. The West Maricopa Village development meets the goals, policies, and intent of the City's General Plan and demonstrates compatibility between new development and existing neighborhoods by incorporating a compatible residential scale.

Surrounding Zoning & Land Uses

Adjacent and abutting the Site to the east are existing single-family homes within the Acacia Crossings Subdivision (Acacia Crossings, Parcel 1), zoned Single Family Residence (CR-3) and designated Medium Density Residential (2-6 du/ac) on the General Plan.

Adjacent and abutting to the south is a vacant fallow field known as the Estrella Gin property, zoned Light Industrial (LI) and designated as both Mixed Use and Employment/Industrial on the General Plan. The Estrella Gin property is currently being planned as an employment center with light industrial, flex space, and office uses. Flex space has a retail front with storage and/or light industrial in the back. The Estrella Gin development plan provides for 300,000 square feet of flex space and three 45,000 square-foot, office buildings at three-stories.

To the north, across Smith Enke Road (SR-238), is land currently owned by the State of Arizona, and consists of undeveloped desert, which is designated as Employment/Industrial on the General Plan.

To the west, across Loma road, is fallow agricultural land, zoned CI-2 and designated for Commercial on the General Plan.

Existing Grading & Drainage

Off-site runoff which enters the Site from the south, as primarily unconcentrated sheet flow, will be collected in an interceptor basin and conveyed to the existing culvert structure under Loma Road. All storm water generated on the

Site will be managed by on-site within retention basins located on each development parcel (See **Exhibit E: Conceptual Drainage Plan**).

III. GENERAL PLAN CONFORMANCE

Background

The subject property is currently zoned CI-2: Industrial (See **Exhibit D: Existing Zoning Map**). Under the City of Maricopa's General Plan, the Site is designated as MU: Mixed-Use (See **Exhibit C: Existing General Plan Map**).

MU – Mixed-Use

Purpose: The Mixed-Use designation is intended to foster creative design for developments that desire to combine commercial, office and residential components. Single use projects are discouraged in the MU designation. Proposed MU projects should provide a true combination of uses that inter relate in design and function with a pedestrian oriented environment. Higher density residential products (such as apartments and condominiums), 8.0 or more dwellings per acre, are expected in Mixed Use projects.

Conformance

A few of the Goals and Objectives within the General Plan that support rezoning of the Property to PAD are listed below:

Goal B1.1: Identify and implement policies to develop multiple mixed-use village core areas with commercial and employment centers served by restaurants, retail shopping and cultural opportunities such as art districts and galleries.

Objective B1.1.2: Encourage certain areas of the City to rezone to mixed use and higher density housing consistent with redevelopment plans and General Plan land uses.

Objective B1.1.4: Develop a walkable community with commercial nodes and amenities for residents.

Objective B1.1.5: Promote commercial and office development in close proximity to neighborhood nodes, along arterials, and other appropriate locations.

Goal B1.3: Encourage mixed-use development.

Objective B1.3.1: Encourage the location of neighborhood commercial and mixed uses adjacent to or within residential communities.

Objective B1.3.2: Encourage developers to take advantage of opportunities provided by mixed-use standards especially within the designated redevelopment areas and along transit corridors.

Objective B1.3.3: Promote a variety of commercial and retail spaces to expand opportunities for small businesses.

Objective B1.3.5: Establish guidelines for the appropriate inclusion of green spaces, paths and other people-oriented amenities.

Goal G1.c.1: Trails and open space design required emphasis on walkability and connectivity across the property complete with connections to adjacent properties.

Objective G1.c.1.4: Future developments should incorporate open space, trails, and recreation as an integral design element, providing direct access and visibility to open space corridors from public ways.

IV. PERMITTED USES & DEVELOPMENT STANDARDS

Any standard not addressed in the PAD shall follow the City of Maricopa Zoning Code.

Permitted Uses

Lot 1

Lot 1 shall follow the permitted uses as outlined in the RM Zoning District of the City of Maricopa

Zoning Code.

Lot 2

Lot 2 shall follow the permitted uses as outlined in the MU-N Zoning District of the City of Maricopa Zoning Code.

Lot 3

Lot 3 shall follow the permitted uses as outlined in the GC Zoning District of the City of Maricopa Zoning Code.

Lots 4 and 5

Lots 4 and 5 shall follow the permitted uses as outlined in the MU-G Zoning District of the City of Maricopa Zoning Code.

Development Standards

Lot 1

Lot 1 shall follow the development standards required in the RM Zoning District as outlined in the City of Maricopa Zoning Code, except as noted in the table below.

Lot 2

Lot 2 shall follow the development standards required in the RH Zoning District as outlined in the City of Maricopa Zoning Code, except as noted in the table below.

Lot 3

Lot 3 shall follow the development standards required in the GC Zoning District as outlined in the City of Maricopa Zoning Code, except as noted in the table below.

Lots 4 & 5

Lots 4 & 5 shall follow the development standards required in the MU-G Zoning District as outlined in the City of Maricopa Zoning Code, except as noted in the table below.

DEVELOPMENT STANDARDS TABLE								
	RM (Code)	RM Proposed (Lot 1)	RH (Code)	RH Proposed (Lot 2)	GC (Code)	GC Proposed (Lot 3)	MU-G (Code)	MU-G Proposed (Lots 4 & 5)
Lot Standards								
Minimum Lot Area (s.f.)	7,000	7,000	7,000	7,000	5,000	5,000	7,000	7,000
Minimum Lot Width (ft.)	60	60	60	60	25	25	60	60
Minimum Lot Depth (ft.)	N/A	N/A	N/A	N/A	75	75	N/A	N/A
Maximum Density (units/net ac)	12	12	20	26	20	20	24	24
Maximum Lot Coverage	50%	50%	50%	50%	N/A	N/A	N/A	N/A
Maximum FAR	N/A	N/A	N/A	N/A	N/A	N/A	1.2	1.2
Building Standards								
Maximum Building Height	36	36	42	42	40	40	40	40
Minimum Building Height	N/A	N/A	N/A	N/A	N/A	N/A	2	2
1 st Floor Ceiling Height, Non-	N/A	N/A	N/A	N/A	N/A	N/A	23	N/A
Front (ft.)	20	20	20	20	20	15**	10	15**
Interior Side (ft.)	5	5	5	5	0	0	5	5
Interior Side to Residential (ft.)	N/A	N/A	N/A	N/A	N/A	N/A	0	0
Street Side (ft.)	20	20	20	20	20	10	10	10
Rear (ft.)	20	20	20	20	30	10	20	20
Maximum Front Setback (ft.)*	N/A	N/A	N/A	N/A	N/A	20	20	20
Other Standards								
Outdoor Living Area (sf/unit)	120 - Ground Floor 80 - Second Floor 48 - Third Floor	120	120 - Ground Floor 80 - Second Floor 40 - Third Floor	29	N/A	N/A	120	N/A
Open Space	20% of site	20% of site	20% of site	18% of site	N/A	N/A	N/A	N/A

Notes:

The front side of Lots 3, 4, & 5 will be defined as the side of the lot fronting the private mainstreet.

*Front setback and maximum front setbacks for Lots 3, 4, and 5, will be measured from back of sidewalk.

Additional Private Main Street Standards

Development along the private main street, between Lot 2 and Lots 3-5, is intended to be a mixed-use development that encourages walkability and placemaking. The additional standards below will ensure that future developments provide convenient access to and from the main street, create public gathering spaces, and a walkable and well-landscaped streetscape.

Requirements

- Sidewalks adjacent to the north side of main street shall be a minimum of 8 feet wide.
- A frontage type (i.e., gallery and arcade, shopfront and awning, stoop, forecourt, etc.) shall be assigned to fronting on main street.
- Benches and bicycle racks shall be provided.
- A minimum of three of the following design features, or similar, shall be provided:
 - Street furniture
 - Waste stations/Pet waste stations
 - Drinking fountains/Pet drinking fountains
 - Tree wells
 - Directional/Themed signage
- Where a restaurant, café, convenience store, or other food establishment is developed, an outdoor eating area shall be provided along the main street frontage.
- Where an outdoor eating area will be installed, the building may be up to 12 feet further than the maximum setback line if at least 40% of the building façade is devel-

oped at the maximum setback.

Private Storage Space

A minimum of 72 private storage units shall be provided for Lot 2. Each storage unit shall have at least 300 cubic feet of enclosed, weather-proofed, and lockable private storage space with a minimum horizontal dimension of three feet. All storage structures shall be designed and constructed in a manner consistent with and complimentary to the primary building architecture.

Parking Regulations

General

West Maricopa Village intends to meet the parking standards per the City of Maricopa Zoning Code with exceptions as noted within this PAD. The development will have ample parking available throughout via centralized parking areas, optional carport, and/or garage parking. Guest parking will be provided in accordance with the City's parking code. In addition to providing adequate parking, the layout of the community gives residents the ability to properly locate their trash receptacles allowing waste management services to collect them efficiently and with ease.

Electric Vehicle charging stations are proposed to be provided within the West Maricopa Village site at a minimum of 1.5% with the ability to add additional stations at 3.5% in the future depending on demand.

Lot 1

Parking for Lot 1 will be provided in accordance with the City's parking code. Lot 1 will have ample parking available throughout the development in the form of covered and uncovered parking and garage parking. The need for guest parking will be provided in accordance with the City's parking code. The Electric Vehicle charging stations may be provided in uncovered, covered or garage parking spaces.

Lot 2

Lot 2 will follow reduced parking standards noted below:

Lot 2 Parking Standards	
Required	Guest- 0.2 space per unit Studio- 1 space per unit 1 Bedroom- 1.5 spaces per unit 2 Bedroom- 2 spaces per unit 3 Bedroom- 2.5 spaces per unit 4 Bedroom- 3 spaces per unit
Proposed	1.5 spaces per dwelling unit

The Lot 2 parking standards are proposed to be reduced in order to accommodate a more walkable, pedestrian friendly community. A reduction in parking allows for increased open space and amenity areas which result in a more socially vibrant community. Lot 2 will provide adequate parking for residents without creating a field of parking on the site. The proposed parking ratio is compatible with nearby properties, as well as developments of similar size and scale. Lot 2 is located adjacent to the private main street which is planned to provide on-street parking options. This on-street parking will provide residents and visitors easy and convenient access to the adjacent uses. Additionally, a transit station is being proposed adjacent to Lot 2, on Loma Road, which will provide easy access to an alternative form of transportation for residents. Further, the highest concentration of employment opportunities in the City of Maricopa are located within three to four miles of the Site, which makes West Maricopa Village, and Lot 2 specifically, an opportunity site to discourage vehicular mobility encourage pedestrian movement.

Lots 3-5

Parking for Lots 3-5 will be provided in accordance with the City's parking code.

Architectural Design Guidelines

General

West Maricopa Village will be a distinctive example of New Urban Design, providing several housing types, promoting walkable neighborhoods, and offering accessible common open spaces. The following architectural design elements are encouraged:

- Variation of wall planes, roof lines, and building form
- High-quality and durable building materials
- Architectural features such as windows, decorative moldings, awnings, shutters, chimneys, balconies, and railings
- Creative and appropriate use of color
- Projected or recessed patios or balconies

Housing Product

The applicant is proposing to develop two distinct residential rental housing products in West Maricopa Village. The first is Innovation Villas; a unique multifamily development that is single-family in scale and provides each rental unit the benefits of having a privately enclosed backyard. The second product is planned to be a traditional apartment complex with site security and attractive site amenities. Though planned for multifamily residential, specific elevations have not been determined at this time. Character images for multifamily can be found in **Exhibit I: Multifamily Character Images**. The two types of rental housing projects will address the City of Maricopa's need for additional rental housing, as well as providing for diversity in rental housing options as recommended in the 2017 Housing Needs Assessment for the City of Maricopa.

According to the 2017 Housing Needs Assessment for the City of Maricopa:

➤ Apartments

- Maricopa currently has a severe shortage of rental housing, with vacancy rates less than 4% (healthy rates are between 6% - 8%). Even though nearly all the city's housing stock is a single-family home built for home ownership, 23% of all households are renters. The short age is so severe, there are wait lists for rental homes, and most units never get listed due to demand. Based on survey data, the majority of renters (52%) prefer an apartment over a single-family home.

➤ Housing Diversity

- Regardless of income, not everyone wants to live in a single-family home. Based on a 2016 national preference survey published by the Zillow Group, approximately 20% of homebuyers, and 52% of renters choose an apartment, condo or townhome. If we consider the regional population growth over the next ten years, there will be approximately 22,000 new buyers and renters who will not be interested in single family homes, and will therefore not choose to live in Maricopa.

Innovation Villas for Rent

While considered a multiple unit dwelling, Innovation Villas at West Maricopa Village is a horizontal rental community that functions more like a single-family community. This product is a grouping of attached and detached single-family buildings that are akin to a compact single-family subdivision with the amenities and security

of apartment style living. The Villas are planned for approximately 182 units with a net density of approximately 11 to 12 dwelling units per acre but can be developed with up to 24 dwelling units per acre, per the Development Standards Table in this section. Approximately sixty-nine percent of the units are planned to be two-bedroom units and approximately thirty-one percent of the units will be one-bedroom duplex units. On-site parking will be provided at a rate of 2 parking spaces per unit. A conceptual site plan has been provided to depict how the Site could develop (See **Exhibit F: Lot 1 Conceptual Site Plan** and **Exhibit G: Lot 1 Conceptual Community Pool Concept**).

The proposed architecture will be a blend of "Chalet" and "Artisan" motifs. The use of two different, but compatible, architectural designs, along with color variation of the units will create a character similar to a well-designed single-family subdivision. Unit elevations along with elevations of various project amenities are shown in **Exhibit H: Lot 1 Elevations**.

Unlike the typical vertical apartment complexes that are two or more stories, horizontal communities are single story and, in the case of Innovation Villas at West Maricopa Village, are luxury homes that are for rent. Buildings are grouped to create intimate courtyards, anchored by a shade trees to support healthy neighborhood interaction. There is a main communal area for recreation planned that will be central to the development and consist of a fitness center, community swimming pool and spa, a covered ramada, and turf for recreation. Each unit will offer a small private backyard similar to a single-family home; however, this yard will be maintained by the site manager, just like the remainder of the property.

Innovation Villas at West Maricopa Village will fill a niche market for those Maricopa renters who do not want a typical single-family lot or the maintenance that comes along with a yard, but also don't want the traditional apartment experience. This planned community will bring the benefits of single-family living and apartment style amenities, security, and maintenance.

Non-Residential

Elevations for Lots 3 through 5 will be determined at a future date and will meet the standards set forth in the PAD document. Conceptual character image examples for these land uses are depicted in **Exhibit J: Office Character Images** and **Exhibit K: Commercial / Retail Character Images**.

This Site is an appropriate location to introduce this unique housing product and mixed-use community. The applicant intends for the West Maricopa Village development to become a point of pride within the City, offering a variety of architecturally distinct housing choices and thematic architectural and landscape elements will be designed and implemented. The quality and proposed aesthetics of West Maricopa Village reflects the Applicant's commitment to progressive community design and development. These elements will benefit both current and future residents of the City of Maricopa.

Signs

All signage regulations as they relate to West Maricopa Village will follow Article 409 of the City of Maricopa Zoning Code (See **Exhibit L: Sign Character Images**).

V. LANDSCAPE & OPEN SPACE

Each one of the development parcels will include ample open space. The open space has been dispersed throughout the Development to provide efficient storm water retention as well as visual relief across the development. Centralized, easily accessible community amenity areas are prominently featured within each of the residential projects, supporting recreational activity and social interaction (See **Exhibit M: Landscape Plan**). As a major component of the community's identity, the amenity areas will complement the architectural style of the residential components. The amenity areas will feature a shade structure with seating, shade trees, and turf; integrating amenities that provide both active and passive recreational opportunities.

The project has been designed to encourage

pedestrian connectivity and provide an active street scene. A trail system will be developed in the landscaped buffer areas on the east and south boundaries of the project, as well as along the western boundary of the site adjacent to the drainage channel. These trails will connect to Loma Road on the west and Smith Enke Road on the north. Additionally, a multi-purpose trail will be developed in West Village Parkway that will also link Loma Road to Smith Enke Road.

The interior and exterior landscape theming of West Maricopa Village will feature motifs which will help reflect the community's distinct style while maintaining an aesthetic balance with the surrounding area. The primary entrance to the community is West Village Parkway off of Smith Enke Road located at the approximate center of the Property, between Lot 1 and Lot 5. West Village Parkway will connect through to Loma Road to form a secondary ingress/egress. The community entrance will include a signage monument, employing a regional contemporary style. The entry of Smith Enke Road will be accentuated with enhanced ornamental desert plantings organized in formal massing and pattern. A corner monument will be located at the southwest corner of Smith Enke Road and West Village Parkway and will provide for a community announcement in order to establish the project character and theming.

Walls & Fences

Screen walls and/or vegetation screening will be placed appropriately around lots 2-5 and will be a minimum of three feet (3') in height. Screen walls will consist of split face block, honed block with deep raked joints, and stone veneer with a precast honed block cap. Theme walls will be located around the perimeter of Lot 1 and approximately five feet and eight inches (5' 8") in height. Theme walls will consist of split face block and honed block with deep raked joints and a precast honed block cap. The roundabout directional signage wall will be approximately twenty-four inches (24") to forty-eight inches (48") in height and consist of cast-in-place concrete. The design of

all walls reflects the quality and character of the Property. Specific locations of walls are shown on **Exhibit N: Wall Plan & Details**.

VI. SITE ACCESS & CIRCULATION

Access

Access to the Site will be from Loma Road and Smith Enke Road (SR 238). Loma Road is fully improved to the southwest corner of the Property, including two lanes of pavement in each direction, median, curb & gutter, sidewalk and landscaping. Loma Road is partially improved along the subject Property's frontage, including one lane of pavement in each direction and median. Smith Enke Road (SR-238) is improved with one lane of pavement in each direction.

Access to the proposed development is as follows (See **Exhibit O: Street & Trail Sections**):

- Retail Site - Right-in & right-out connection to Loma Road between Lots 3 and 4.
- Development access on SR-238 - West-bound left turn in and right-in and right-out located between Lots 1 and 5. A raised median has been placed to restrict left turns out onto SR-238.
- Development access on Loma Road - Full intersection located between Lots 2 and 3.
- Lots 2, 3, 4, & 5 will be planned with cross access and cross parking easements, connecting West Village Parkway to Loma Road. The connection will be via a small, pedestrian friendly street with on-street parking spaces.

Circulation

West Maricopa Village will feature a high level of interconnectivity throughout the development. The way communities are designed affects whether it is easy or convenient for people to

walk, bike, or interact with their community. Because of this, West Maricopa Village has proposed pedestrian-friendly connections that will link each site within the development.

Pedestrian pathways will run along the perimeter of the Site, as well as internally. Eight-foot-wide stabilized decomposed granite trails will be provided along the eastern, southern, and western boundaries of the West Maricopa Village Site. Additionally, six-foot wide concrete sidewalks will be provided along SR-238 and Loma Road to create safe and pedestrian friendly paths along the major roadways. The eight-foot wide concrete sidewalks will also be located along both sides of the private street located between Lot 2 and Lots 3-5.

The Site proposes two private streets and one public street within the development. One private street will run east-west through Lot 2. This accessway will provide an entry to the multifamily development from Loma Road. The second private street functions as a main street. The main street will have on-street parking on both sides and is planned to be developed with the pedestrian scale in mind to create comfortable and convenient connections from West Village Parkway to Loma Road. Providing easy access to the commercial and retail uses that are planned here will turn this street into not only a connection, but a destination for residents, employees, and visitors alike.

The public street, West Village Parkway, is an eighty-foot (80') collector street that runs internal from the main entry into the Site (SR 238). As part of the comprehensive strategy to encourage pedestrian and bicycle traffic, the Property will have five-foot wide concrete sidewalks planned on both sides of West Village Parkway, as well as an eight-foot-wide stabilized decomposed granite trail on the east side of the parkway adjacent to Lot 1. These trails and sidewalks will provide residents, employees, and visitors of West Maricopa Village safe and convenient connections to the residential, office, and commercial uses with-

in the Site. Providing these types of connections creates a live, work, play type of environment that will attract current and future Maricopa residents (See **Exhibit P: Circulation Plan**).

In addition to trails and sidewalks, building design and traffic calming measures are planned for the Site in order to create a safe and pedestrian and bicycle-friendly environment. Strategies such as street defining building, 5-foot detached concrete sidewalks, directional signage, trees in median islands and along streets, and a centralized traffic roundabout are planned for the Site. The roundabout will have a low cast-in-place wall for directional signage. Texture/material changes at crossings are planned with median refuges. The decorative pavement at the crosswalks will connect to concrete sidewalks and small landscaped areas with canvas shades and tables and seating (See **Exhibit Q: Roundabout**).

VII. PUBLIC UTILITIES & SERVICES

Companies providing services to West Maricopa Village include:

Water	Global Water - Palo Verde Utilities Company
Sewer	Palo Verde Utilities Company
Gas	Southwest Gas
Electric	Electrical District 3
Communications	Century Link, Orbitel
Police	Maricopa Police
Fire	City of Maricopa

VIII. PHASING

The proposed lots will be developed in multiple phases. Infrastructure improvements such as roadway improvements and lighting, landscaping and trail improvements, drainage, and water/sewer/utilities, will be developed prior to and/or concurrently with the following phases (See Exhibit B: Conceptual Bubble & Phasing Plan):

Phase 1 will consist of the development of the In-

novation Villas on Lot 1.

Phase 2 will consist of Lot 3 which is planned for a convenience store and gas station.

Phase 3 will consist of Lot 2, the proposed apartments, which will develop as market conditions dictate.

Phases 4 and 5 will consist of Lots 4 and 5, the proposed commercial/retail, which will develop as market conditions dictate.

IX. CONCLUSION

West Maricopa Village will be a high-quality, sustainable, and dynamic development on this currently undeveloped Site. The proposed rezoning to PAD meets the goals of the City by creating a vibrant community that is visually attractive and provides unique residential communities. Further, West Maricopa Village satisfies the goals of the General Plan by providing diverse housing that will offer additional support to the existing and planned retail and employment uses in the area. The proposed amenities will help to create a close community and provide a creative and unique central amenity for families, friends, and neighbors to enjoy together. Cohesive pedestrian connectivity throughout the development reinforces a desirable lifestyle and embraces place-making principles. The architectural design, ample landscaping and open space, and engaging thematic elements, assure that West Maricopa Village will be a valuable asset to the City and immediate area. We request your approval.

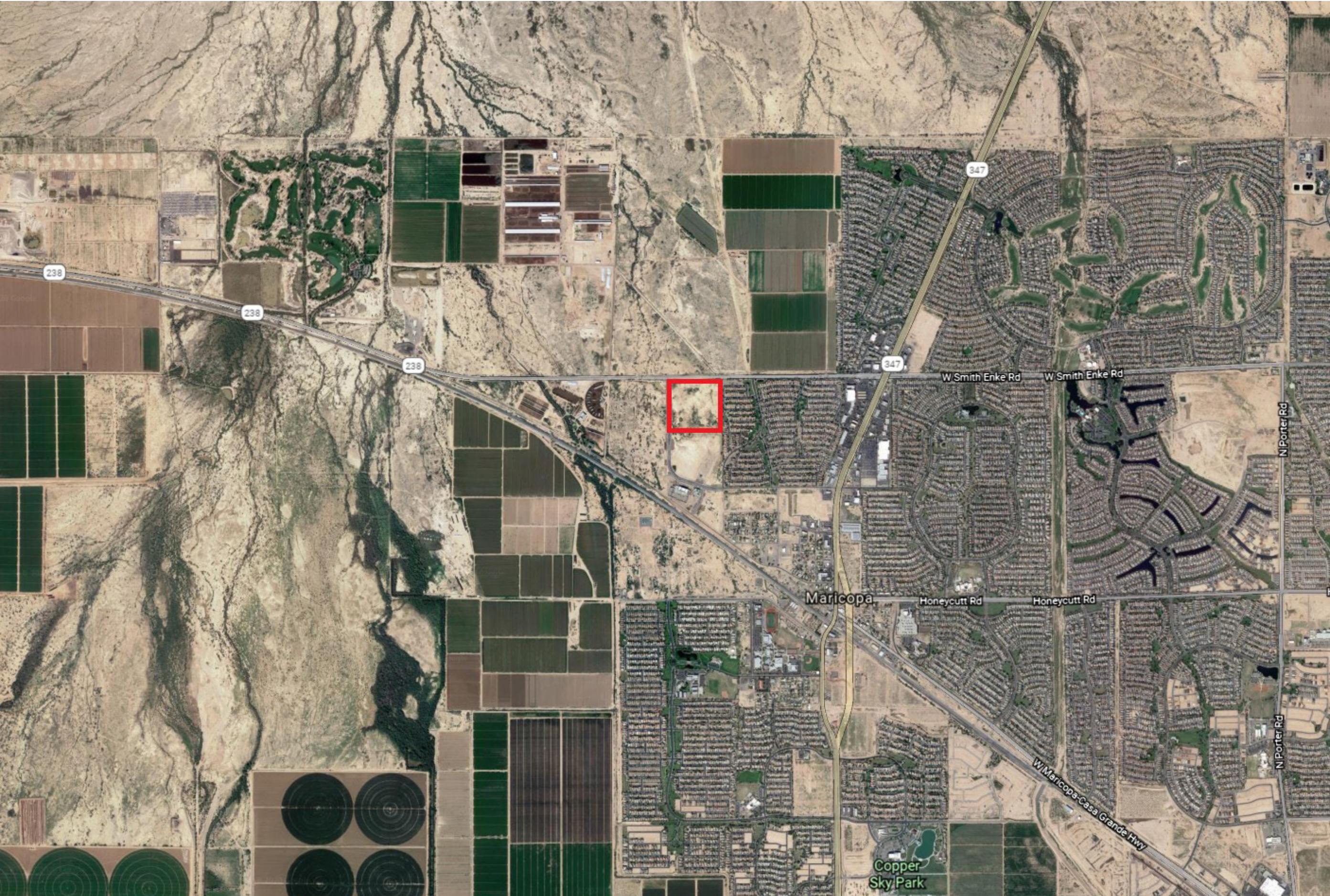
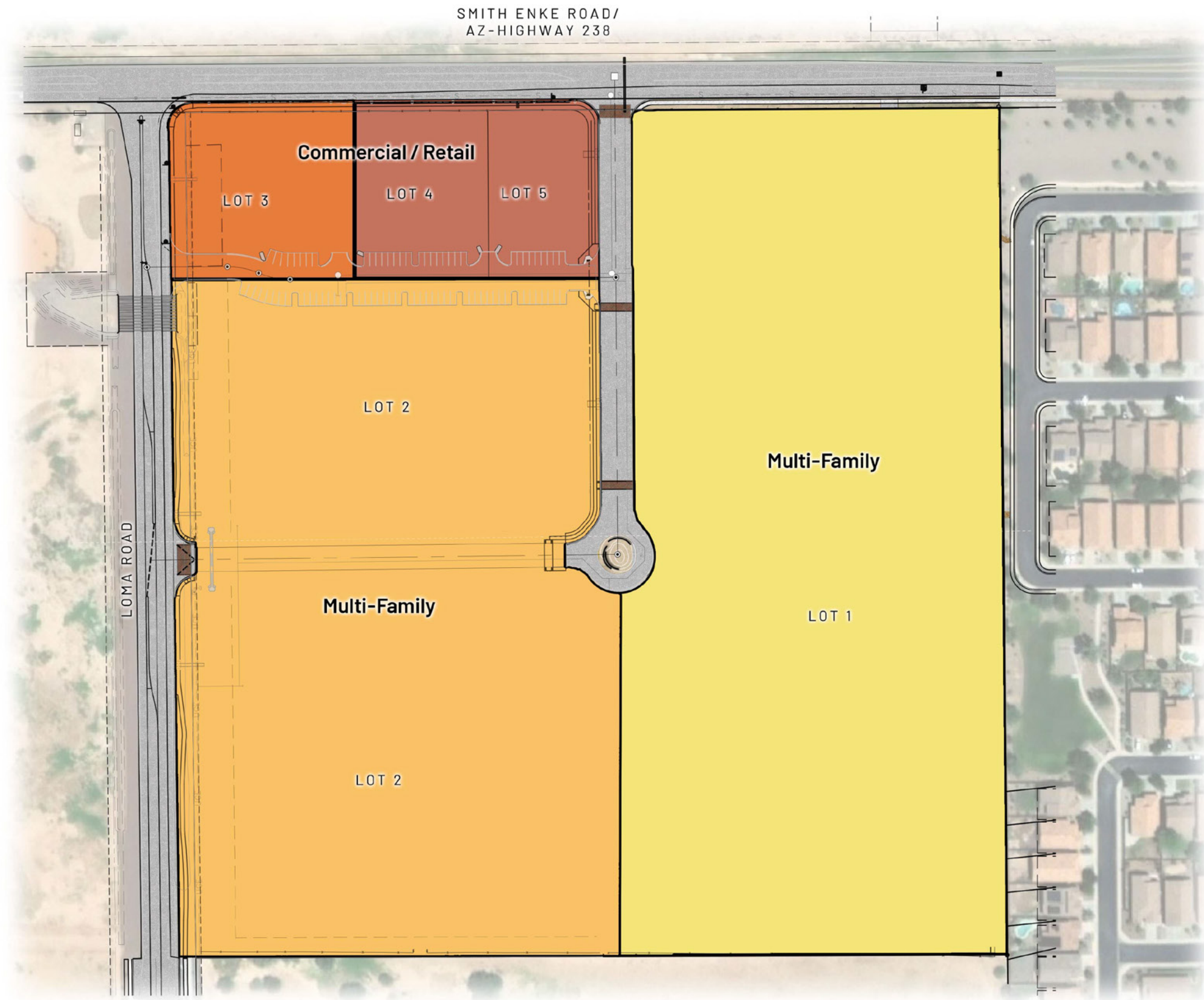
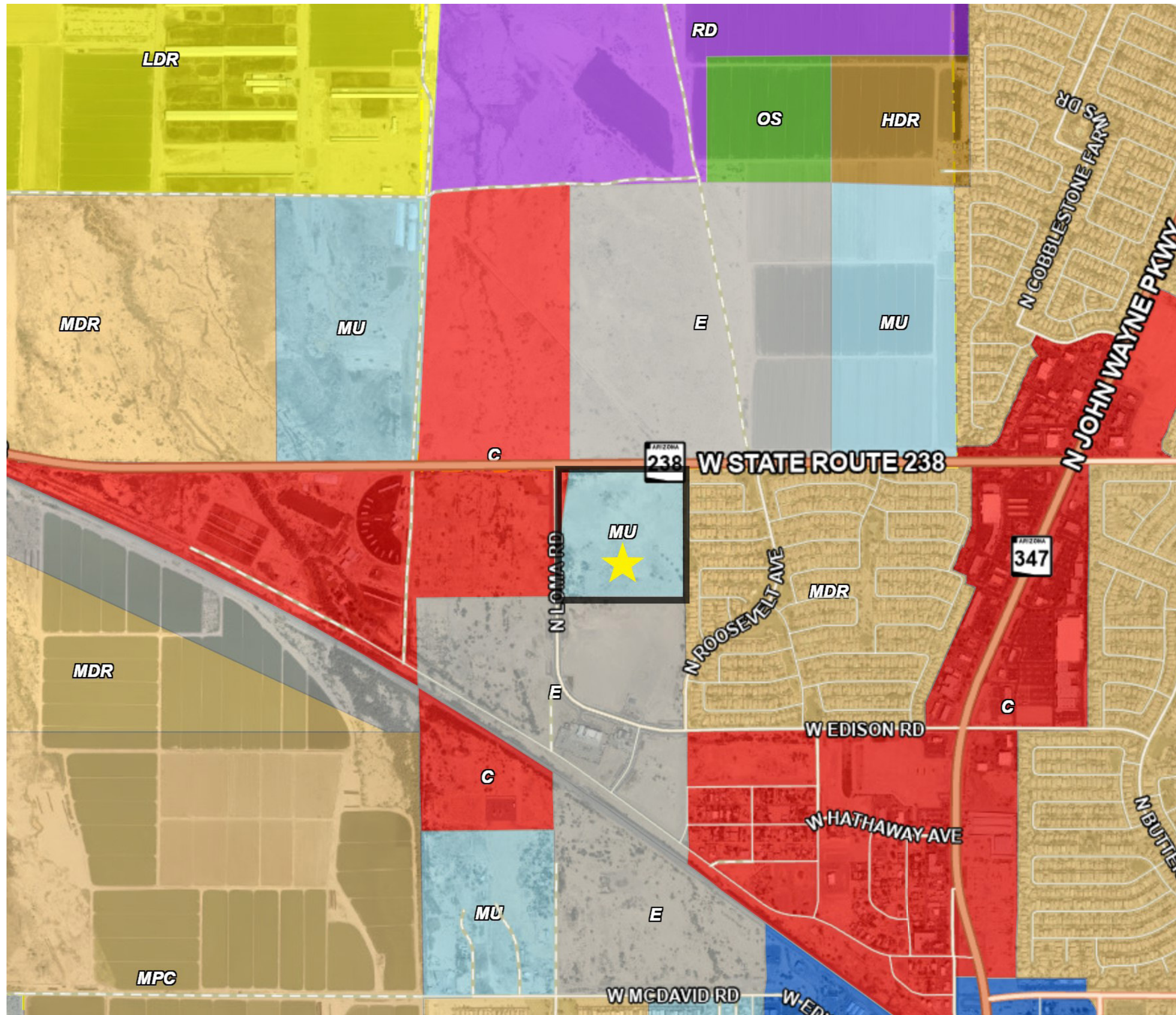


EXHIBIT A: AERIAL VICINITY MAP
















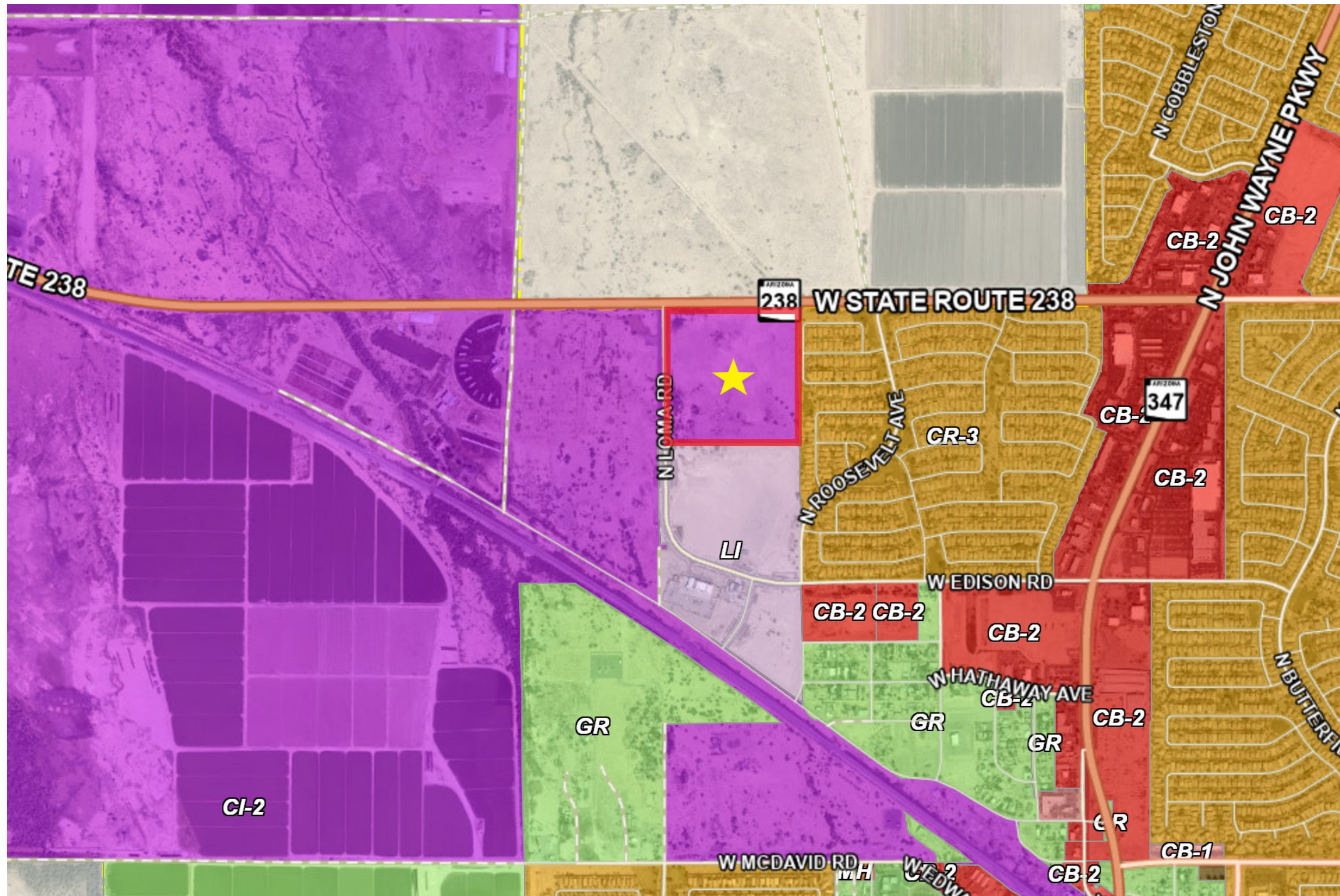


- Legend
- PHASE 1
 - PHASE 2
 - PHASE 3
 - PHASE 4



General Plan Future Land Use

-  Rural
-  Low Density Residential (1-2 du/ac)
-  Medium Density Residential (2-4 du/ac)
-  High Density Residential (>6 du/ac)
-  Master Planned Community
-  Mixed Use
-  Commercial
-  Employment
-  Light Industrial
-  Research and Development
-  Public / Institutional
-  Agriculture
-  Parks / Open Space



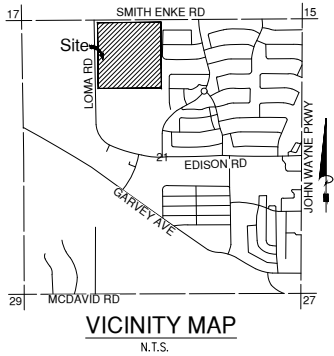
Zoning

Label

- CB-1 : Local Business Zone
- CB-2 : General Business Zone
- CI-1 : Light Industry & Warehouse Zone
- CI-2 : Industrial Zone**
- CR-1 : Single Family Residence
- CR-2 : Single Family Residence
- CR-3 : Single Family Residence
- CR-4 : Multiple Residence Zone
- CR-5 : Multiple Residence Zone
- GC : General Commercial
- GI : General Industrial
- GR : General Rural Zone
- LI : Light Industrial
- MH : Manufactured/Mobile Home Zone
- MU-G : General Mixed Use
- OS-POS : Privately Owned Open Space
- PAD : Planned Area Development
- PI : Public-Institutional
- RM : Multiple Unit Residential
- RS-5 : Medium Density Residential
- SR : Suburban Ranch Zone
- TR : Transitional Zone

WEST MARICOPA VILLAGE
GRADING PLANS
CITY OF MARICOPA, ARIZONA

A PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 3 EAST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA



Bowman
CONSULTING

Bowman Consulting Group, Ltd.
1200 West Washington Street, Suite 108
Tempe, Arizona 85281
Phone: (480) 829-8830
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

OWNER/DEVELOPER

MARICOPA 35, LLC
10446 N 74TH STREET
SUITE 200
SCOTTSDALE, AZ 85258
PHONE: 480.945.9292
CONTACT: RONALD SMITH P.E.

CIVIL ENGINEER

BOWMAN CONSULTING
1200 WEST WASHINGTON STREET
SUITE 108
TEMPE, AZ 85281
PHONE: 480.829.8830
ENGINEER: JEFF RYBARCZYK

SITE BENCHMARK

NCS CONTROL POINT, DESIGNATION - Z284, PID: - DV0333, BEING A COAST AND GEODETIC SURVEY BENCHMARK DISK SET IN TOP OF CONCRETE MONUMENT. LOCATED IN SECTION 1, TOWNSHIP 4 SOUTH, RANGE 3 EAST. ELEVATION = 1166.52 FEET (NAVD 88)

BASIS OF BEARING

NORTH 89 DEGREES 38 MINUTES 46 SECONDS EAST ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA, AS SHOWN ON THE FINAL PLAT OF ESTRELLA GN BUSINESS PARK FEE NO. 2016-059695, P.C.R.

FLOODPLAIN STATEMENT

THE SUBJECT PROPERTY IS LOCATED WITHIN BOTH ZONE "AO" AND "X". ZONE "X" DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREA PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. AND, ZONE "AO" DEFINED AS FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED PER FIRM MAP NO. 04021C0735F DATED JUNE 16, 2014.

CITY OF MARICOPA PLAN APPROVAL

CITY ENGINEER _____ DATE: _____

THE CITY APPROVES THESE PLANS IN CONCEPT ONLY. THE CITY ACCEPTS NO RESPONSIBILITY FOR ERRORS OR OMISSIONS.

RECORD DRAWING CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR _____ (SEAL)

REGISTRATION NO. _____ DATE: _____

GRADING PLANS COVER SHEET
WEST MARICOPA VILLAGE
MARICOPA, ARIZONA
PINAL COUNTY

050876-001-01
PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION
AC DESIGN	KM DMC
	DRAWN CHKD
SCALE	H: NONE
	V: NONE
JOB No.	050712-02-002

DATE : 11.17.20

GD01
SHEET 01 OF 07

LEGEND

	BRASS CAP FLUSH	R/W	RIGHT-OF-WAY
	BRASS CAP IN HAND HOLE	CL	CENTERLINE
	FIRE HYDRANT	P	PAVEMENT ELEVATION
	WATER VALVE	B/C	BACK OF CURB
	WATER METER	F/C	FACE OF CURB
	BACKFLOW PREVENTOR	TC	TOP OF CURB ELEVATION
	AIR RELEASE VALVE	S/W	SIDEWALK
	REDUCER	MH	MANHOLE
	SEWER MANHOLE	CO	CLEAN OUT
	SEWER CLEANOUT	FH	FIRE HYDRANT
	SEWER FLOW DIRECTION	VS	VALLEY GUTTER
	EXISTING CONTOUR	FL	FLOW LINE
	EXISTING PAVEMENT ELEVATION	EOP	EDGE OF PAVEMENT
	EXISTING AND PROPOSED ELEVATION	HWE	HIGH WATER ELEVATION
	FINISH CONTOUR ELEVATION	BOT	BOTTOM ELEVATION
	DIRECTION & SLOPE OF DRAINAGE	STA	STATION
	RIGHT-OF-WAY	INV	INVERT
	EASEMENT	LF	LINEAR FEET
	PROPERTY LINE	SF	SQUARE FEET
	GB	SY	SQUARE YARDS
	SWALE	EA	EACH
	WATER	RT	RIGHT
	SEWER	LT	LEFT
	FIRE LINE	EX	EXISTING
	GAS	GB	GRADE BREAK
	FIBER OPTIC	FG	FINISH GRADE
	LIGHT POLE	G	GUTTER ELEVATION
	STORM PIPE	FP	FINISHED PAD ELEVATION
	DRYWELL	FF	FINISHED FLOOR ELEVATION
	SCUPPER	PC	POINT OF CURVATURE
	MATCHLINE	PCC	POINT OF COMPOUND CURVATURE
	RETAINING WALL	PRC	POINT OF REVERSE CURVATURE
	EXISTING GAS MANHOLE	PT	POINT OF TANGENCY
	EXISTING SANITARY SEWER MANHOLE	UGE	UNDERGROUND ELECTRIC
	EXISTING SIGN	OHE	OVER HEAD ELECTRIC
	EXISTING ELECTRICAL PULL BOX	TW	TOP OF WALL
	EXISTING TELEPHONE PEDISTAL	TF	TOP OF FOOTING
	EXISTING GUY WIRE	TRW	TOP OF RETAINING WALL
	EXISTING POWER POLE	CI	CURVE TABLE NUMBER
	EXISTING WATER	LI	LINE TABLE NUMBER
	EXISTING SEWER	PUE	PUBLIC UTILITY EASEMENT
	EXISTING GAS	VNAE	VEHICULAR NON-ACCESS EASEMENT
	STREET SIGN POST	VTE	VISIBILITY TRIANGLE EASEMENT
	SECTION NUMBER AND ORIENTATION		

NOTE:

THE EXISTING OR PROPOSED TEMPORARY RETENTION AND/OR DRAINAGE FACILITIES LOCATED WITHIN THE AREA OF THIS DEVELOPMENT WILL NOT BE REMOVED FROM SERVICE UNTIL THE PERMANENT RETENTION AND DRAINAGE FACILITIES ARE FUNCTIONAL.

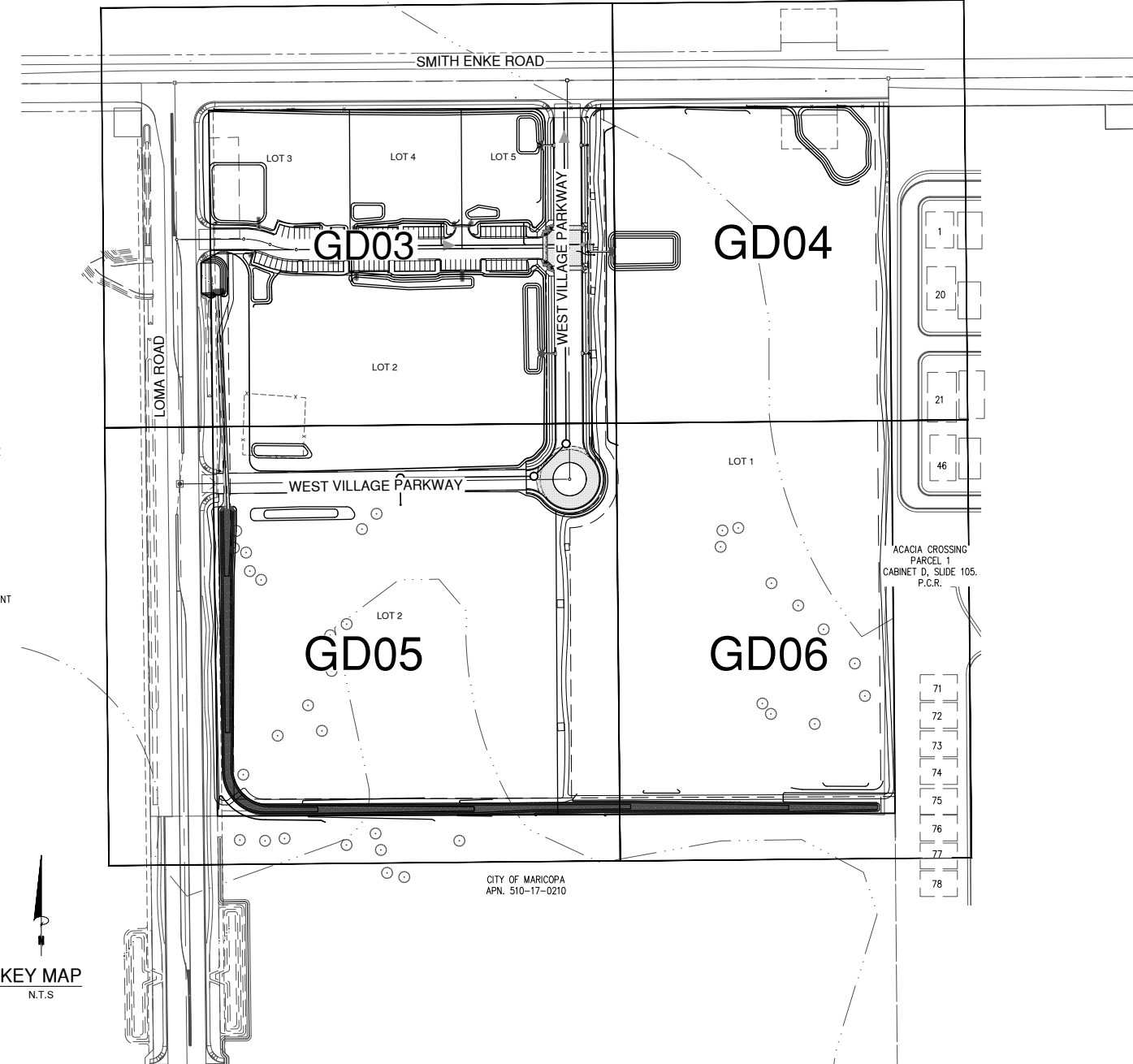
THE EXISTING RETENTION AND DRAINAGE FACILITIES ON THIS SITE WILL NOT BE REMOVED FROM SERVICE UNTIL THE PERMANENT RETENTION AND DRAINAGE FACILITIES ARE FUNCTIONAL.

THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING AND/OR 69KV POLE RELOCATION REQUIREMENT HAS BEEN SATISFIED.

A RETAINING WALL WILL BE REQUIRED IF, AT THE COMPLETION OF GRADING, THERE EXISTS TWELVE (12) INCHES OR MORE OF DIFFERENCE IN ELEVATION BETWEEN THE SITE AND ADJACENT PROPERTIES. A 3:1 SLOPE MAY BE GRADED AS APPROVED BY THE CITY

UTILITY COMPANY	COMPANY CONTACT	DATE SUBMITTED
ORBITER COMMUNICATIONS, LLC.	RICK ANDERSON	
ELECTRICAL DISTRICT NO. 3	SCOTT KELLY	
GLOBAL WATER	EMILY CAMPBELL	
SOUTHWEST GAS	THOMAS BROWN III	
CENTURYLINK	MARILY LUTTENBERGER	
ADOT (STORM DRAIN)	DALE DROST	

KEY MAP
N.T.S.



EARTHWORK

CUT XXX CY FILL XXX CY TOTAL XXX CY - EXPORT

NOTE:
EARTHWORK QUANTITIES ARE ESTIMATED RAW VOLUMES NUMBERS WITH NO SHRINKAGE OR PRECOMPACTION LOSSES TAKEN INTO CONSIDERATION. THE CONTRACTOR SHALL PREPARE HIS OWN EARTHWORK ANALYSIS FOR BIDDING PURPOSES.

SHEET INDEX

01	GRADING PLANS COVER SHEET
02	GRADING PLANS NOTES SHEET
03	GRADING PLAN
04	GRADING PLAN
05	GRADING PLAN
06	GRADING PLAN
07	GRADING PLANS DETAILS SHEET

THE PROMPT PAY LAW WILL BE ALTERED FOR THIS CONTRACT NOTICE OF EXTENDED PAYMENT PROVISION THE CONSTRUCTION CONTRACT WILL ALLOW THE OWNER TO MAKE PAYMENT WITHIN THIRTY (30) DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS

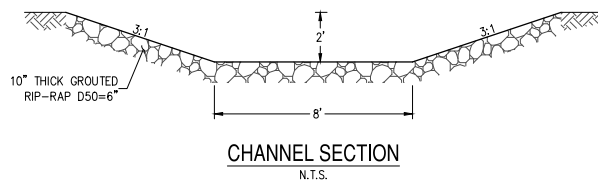
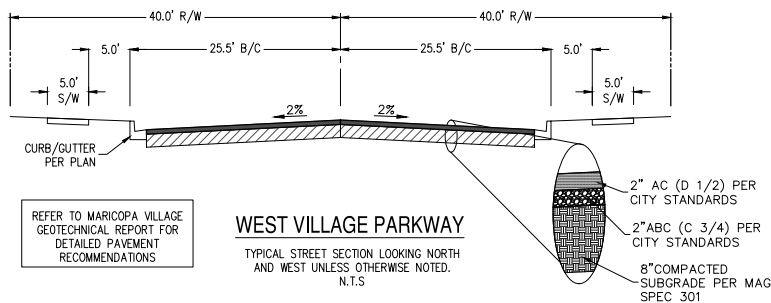


3. THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON THEMSELVES THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
2. THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES, AND SITE VISITATION.
3. ALL EARTHWORK CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAILS AND/OR SPECIFICATIONS INCLUDING ANY SUPPLEMENTS THERETO, AND ALL ADDENDA. THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATION OF THE PROJECT SOIL INVESTIGATION REPORT AND LETTER.
4. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY THEMSELVES AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, POWER POLES, ETC.
7. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
8. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND SHOULD BE CONSIDERED APPROXIMATE. CALL ARIZONA BLUE STAKE FOR FIELD LOCATION AT 8-1-1 or 1-800-STAKE-IT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE NOT NOTED FOR RELOCATION OR REMOVAL. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE REPLACED IN KIND IF DISTURBED.
9. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
10. ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
11. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UNDERGROUND FACILITIES FROM DAMAGE DURING CONSTRUCTION. THE DEPTH OF COVER IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE SUCH AS BERMING OVER PIPES, FLAGGING OR SIGNAGE SHOULD BE USED DURING CONSTRUCTION TO MAINTAIN COVER OR PROTECT THE UNDERGROUND FACILITIES.
12. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER. EARTHWORK QUANTITIES SHOWN ARE RAW, AND DO NOT ACCOUNT FOR SOIL SHRINK, SWELL OR GROUND SCARIFICATION.
13. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING PIPE AT PROPOSED CONNECTIONS PRIOR TO NEW PIPE INSTALLATION. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR DISCREPANCIES FROM THE PLANS.
14. CONTRACTOR TO COMPLY WITH ALL ADA REQUIREMENTS RELATING TO CONSTRUCTION.

1. ALL PUBLIC IMPROVEMENT CONSTRUCTION WITHIN THE PUBLIC ROW AND ONSITE SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY ENGINEER, AND CONFORM TO, THE LATEST EDITION OF THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, BOTH AS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG).
2. INSPECTION OF WORK PER MAG 105.10: THE ENGINEER SHALL BE PERMITTED TO INSPECT ALL MATERIALS, AND EACH PART OR DETAIL OF THE WORK AT ANY TIME FOR THE PURPOSE OF EXPEDITING AND FACILITATING THE PROGRESS OF WORK. HE SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR, AS IS REQUIRED TO MAKE A COMPLETE AND DETAILED INSPECTION. THE CITY ENGINEER REQUIRES THAT THE ACTUAL TEST RESULTS DATA SHEET ACCOMPANY ALL COMPACTION TEST RESULTS SUBMITTED TO THE CITY ENGINEER. PASS/FAIL STATUS IS NOT ACCEPTABLE WITHOUT THE ATTACHED DATA SHEET. FAILURE TO SUBMIT THE TEST RESULT DATA SHEETS WILL RESULT IN AN INCOMPLETE SUBMITTAL AND THE TEST WILL BE REJECTED.
3. IN THE EVENT OF CONFLICT BETWEEN MAG STANDARD SPECIFICATIONS AND DETAILS AND THESE PLANS, THESE PLANS SHALL PREVAIL.
4. THE OFFICE OF THE CITY ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN THE CITY OF MARICOPA ROW.
5. CONTRACTOR IS TO NOTIFY ALL PUBLIC UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, FOR FIELD LOCATIONS OF THEIR RESPECTIVE FACILITIES, BY CONTACTING THE FOLLOWING BLUE STAKE: 1-800-782-5348.
6. CONTRACTOR SHALL COORDINATE AND MAKE ARRANGEMENTS FOR RELOCATION OF ANY UTILITIES CONFLICTING WITH THE PROPOSED CONSTRUCTION OF THESE PLANS, WITH THE APPROPRIATE UTILITY.
7. REMOVAL AND REPLACEMENT OF ALL TREES, SHRUBS, VEGETATION, MISCELLANEOUS STRUCTURES, DEBRIS, RUBBLE AND OTHER DELETERIOUS MATERIALS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE.
8. ALL CONCRETE SIDEWALKS, DRIVEWAYS, APRONS, CROSS-PANS, VALLEY GUTTER, CURBS AND GUTTERS, LANDSCAPING AND IRRIGATION THAT MAY BE DAMAGED DURING THE COURSE OF CONSTRUCTIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. SHORING IS TO BE INSTALLED OR A TRENCH BOX IS TO BE USED, IN ALL TRENCHES IN EXCESS OF FIVE (5) FEET IN DEPTH. A REGISTERED CIVIL ENGINEER OR SOILS ENGINEER SHALL CERTIFY SHORING INSTALLATION PLANS, DETAILS AND SPECIFICATIONS. SHORING MUST CONFORM TO OSHA 29 CFR, PART 1926, AND SUBPART D.
9. COMPACTION TESTING IS REQUIRED AND MUST BE PERFORMED IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY ENGINEER.
 - I. BACKFILL: BACKFILL WITHIN THE PUBLIC UTILITY EASEMENTS AND WITHIN PUBLIC STREET ROW. COMPACT TO 95% OF MAXIMUM THEORETICAL DENSITY PER ASTM D698. ALL MATERIALS OUTSIDE THE MOISTURE LIMIT SHALL BE CONSIDERED UNSUITABLE, AND SUBJECT TO REMOVAL. NO HYDRAULIC COMPACTION OR WATER JET COMPACTION WILL BE ALLOWED. ALL COMPACTION MUST BE DONE BY MECHANICAL MEANS. MOISTURE LIMIT SPEC' 2.0 PERCENT BELOW OPTIMUM MOISTURE. MATERIAL SHALL BE UNIFORM.
 - II. SUB-GRADE: SUB-GRADE PREPARATION FOR ALL NEW STREETS AND ROADWAYS SHALL CONSIST OF SCARIFYING AND LOOSENING SUB-GRADE TO A DEPTH OF SIX (6") INCHES. SUB-GRADE SHALL BE CONSTRUCTED TO ACHIEVE UNIFORM MOISTURE CONTENT BY THE ADDITION OF WATER AND COMPACTED TO 95% OF MAXIMUM DENSITY. MOISTURE SHALL BE MAINTAINED BETWEEN OPTIMUM AND 2% BELOW OPTIMUM. SUB-GRADE SHALL BE COMPACTED TO 95% ON MAXIMUM THEORETICAL DENSITY, AS DETERMINED BY ASTM D698. ALL MATERIALS OUTSIDE THE MOISTURE LIMIT AT THE TIME OF PLACEMENT AND COMPACTION SHALL BE CONSIDERED UNSUITABLE AND SUBJECT TO REMOVAL. THE FINISHED SURFACE OF THE SUB-GRADE SHALL NOT VARY FROM THE GRADES ESTABLISHED BY THE CITY ENGINEER BY MORE THAN .04 OF A FOOT ABOVE OR BELOW SPECIFIED GRADE.
10. GRADING OF AGGREGATE BASES AND AGGREGATE SUB-BASE SHALL BE AS FOLLOWS: AGGREGATE MATERIALS SHALL HAVE WATER ADDED TO THEM AND SHALL BE MIXED AND PROCESSED TO PRODUCE A UNIFORM BLEND OF MATERIAL. BEFORE PLACEMENT, AFTER PROCESSING, THE MATERIAL SHALL BE PLACED AND SPREAD ON THE PREPARED SUB-GRADE AND SHALL BE PLACED IN A UNIFORM LAYER OR LAYERS NOT EXCEEDING SIX (6") INCHES IN COMPACTED DEPTH, UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER. EACH LAYER OF AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 100% OF THE MAXIMUM DENSITY. THE FINISHED SURFACE OF THE SUB-GRADE SHALL NOT VARY FROM THE GRADES ESTABLISHED BY THE CITY ENGINEER BY MORE THAN .04 OF A FOOT ABOVE OR BELOW SPECIFIED GRADE.
11. COMPACTION TESTING FOR SUB-GRADE WILL BE DONE AFTER THE SUB-GRADE HAS BEEN STRIKE LINED AND IS WITHIN TOLERANCE AND ACCEPTED BY THE CITY ENGINEER. THE CITY ENGINEER OR HIS REPRESENTATIVE WILL DETERMINE THE NUMBER AND LOCATION OF DENSITY TESTS. SUB-GRADE SHALL HAVE A BLUE-TOP ELEVATION SET TO FINISHED GRADE AND LEFT AND RIGHT EDGES OF PAVEMENT, AND CENTERLINE OF ROADWAY.
12. ONE (1) SAND CONE TEST SHALL BE REQUIRED FOR EVERY TEN (10) NUCLEAR DENSITY TESTS PERFORMED, OR WHEN REQUESTED BY THE CITY ENGINEER OR HIS REPRESENTATIVE. THE CITY ENGINEER OR ENGINEER'S REPRESENTATIVE SHALL DETERMINE THE LOCATIONS OF THESE SAND CONE TESTS.
13. ALL MATERIALS, INCLUDING BUT NOT LIMITED TO AGGREGATE BASE COURSE, BORROW MATERIAL AND NATIVE MATERIAL, WILL BE ACCEPTED IN PLACE ONLY. TESTING REQUIRED FOR ACCEPTANCE WILL INCLUDE A SIEVE ANALYSIS AND PLASTICITY INDEX, (P.I.). ACHIEVING A DENSITY OF MAXIMUM THEORETICAL DENSITY WILL BE IN ACCORDANCE WITH ASTM D698. ONLY A FOUR-POINT PROCTOR TEST WILL BE ACCEPTED.
14. THE BASE COURSE SHALL NOT BE PLACED ON SUB-GRADE UNTIL THE CITY ENGINEER HAS ACCEPTED THE SUB-GRADE. ALL MATERIALS WILL BE ACCEPTED IN PLACE ONLY.
15. COMPACTION DENSITIES: MAG TYPE I BACKFILL MATERIAL (SECTION 601.4.4) IS MODIFIED TO INCLUDE AREAS UNDER THE PAVEMENT, ROW, AND EASEMENTS FOR ALL TRENCHES INCLUDING SEWER, WATER, ELECTRIC, AND GAS, TELEPHONE, AND STORM DRAINS. MOISTURE PERCENT BELOW OPTIMUM MOISTURE COMPACT TO 95% MAXIMUM THEORETICAL DENSITY. ALL MATERIALS OUTSIDE THE MOISTURE SPEC-LIMIT SHALL BE CONSIDERED UNSUITABLE, SUBJECT TO REMOVAL AND MATERIAL SHALL BE UNIFORM.
16. THE LOCATION OF ALL SEWER SUB-OUTS SHALL BE STAMPED ON THE TOP OF VERTICAL CURB, AND FACE OF ROLLED CURBS, WITH A FOUR (4") INCH HIGH LETTERS (IE: "S").
17. ALL CURB, GUTTER AND SIDEWALK EXPANSION JOINT FILLER WILL BE IF BITUMINOUS PRE-MOLDED STRIPS. ALL EXPANSION JOINT SPACING SHALL NOT EXCEED A MAXIMUM OF (50') FEET OR AS DIRECTED BY THE CITY ENGINEER. CONCRETE CURTING COMPOUND MATERIAL SHALL BE A WHITE PIGMENT MEMBRANE USED ON ALL CONCRETE STRUCTURES INCLUDING CURB & GUTTER, SIDEWALK, HEADWALL, CATCH BASINS AND SIDEWALK RAMPS.
18. PAYING WILL NOT COMMENCE UNTIL AGGREGATE BASE COURSE COMPACTION AND GRADATION TESTS ARE COMPLETED AND THE CITY ENGINEER ACCEPTS THE RESULTS.
19. USPS CLUSTER MAIL BOX LOCATIONS MUST BE PRE-DETERMINED AND NOTED ON THE CIVIL PLANS FOR GRADING AND PAVING. ADDITIONAL CLUSTER BOXES TO THE LEGEND AND IN CONSTRUCTION NOTES. CLUSTER BOX LOCATIONS SHOULD BE SHOWN ON THE "OVERALL SEWER/WATER/HYDRANT/STREETLIGHT PLAN."
20. MEDIUM CURB & GUTTER BOLL SHALL BE PAINTED YELLOW, WITH REFLECTIVE GLASS BEADS, PER M.A.G. DTL-223, AND HAVE YELLOW PAVEMENT REFLECTORS INSTALLED AFTER THE PLANTING IS COMPLETE.

① INSTALL GROUTED RIP-RAP CHANNEL
D50=6", 10" MIN THICKNESS, SEE DETAIL
ON SHEET GD02

NOTE:
ESTIMATED CONSTRUCTION QUANTITIES ARE
NOT FOR BIDDING PURPOSES. CONTRACTOR
SHALL BASE THEIR BID ON THEIR OWN
QUANTITY TAKEOFFS



THE PROMPT PAY LAW WILL BE ALTERED FOR THIS CONTRACT
NOTICE OF EXTENDED PAYMENT PROVISION THE CONSTRUCTION
CONTRACT WILL ALLOW THE OWNER TO MAKE PAYMENT WITHIN
THIRTY (30) DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS



GRADING PLANS NOTES SHEET
WEST MARICOPA VILLAGE
MARICOPA, ARIZONA
PINAL COUNTY

050876-001-01
PROJECT NUMBER

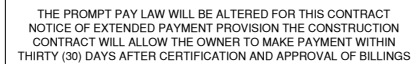


PLAN STATUS
PLAN STATUS

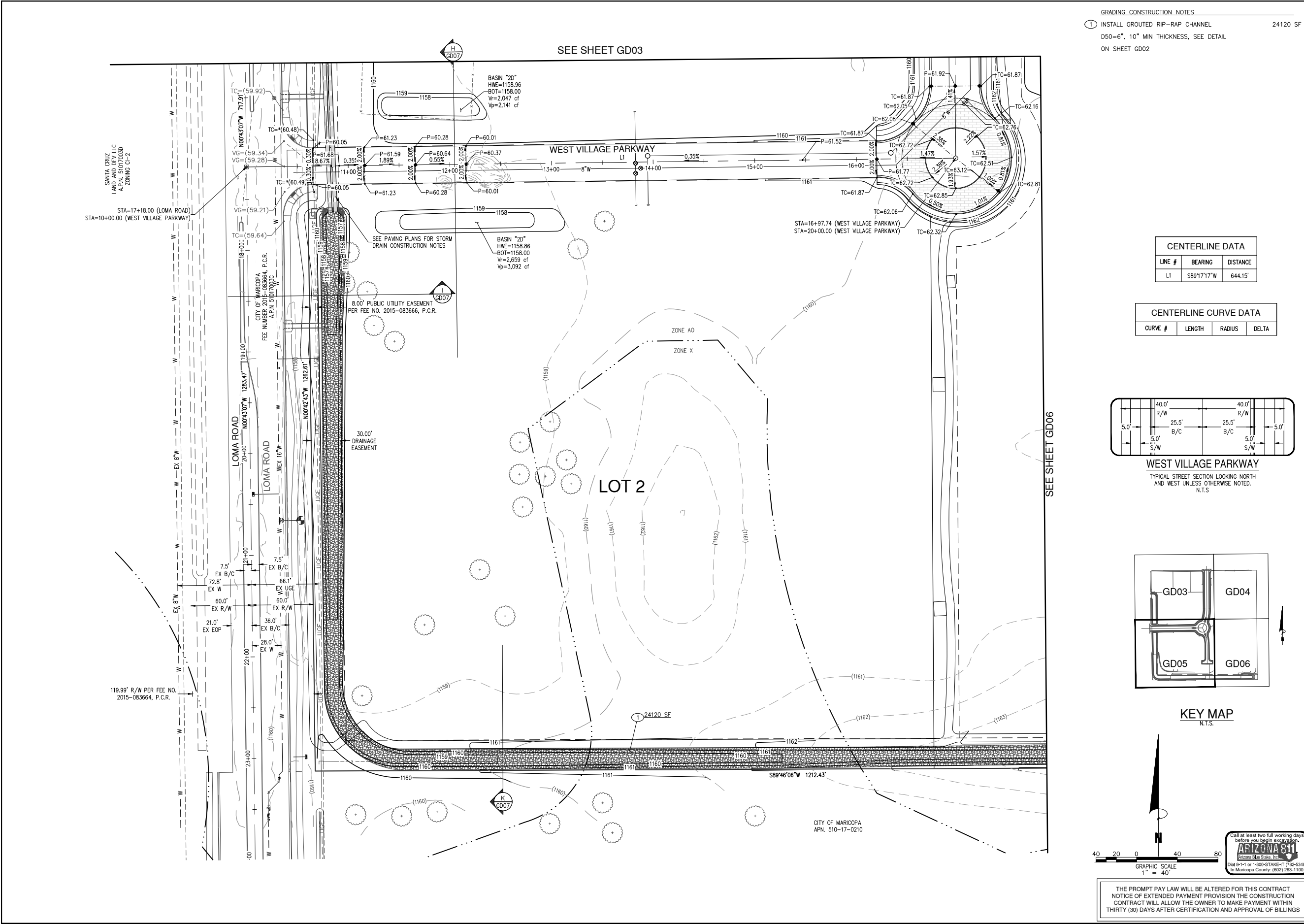
DATE	DESCRIPTION	
AC DESIGN	KM DRAWN	JSR CHKD
SCALE	H: NONE V: NONE	
JOB No. 050712-02-002		
DATE : 11.17.20		

DATE : 11.17.20

GD02
SHEET 02 OF 07



GD03
SHEET 03 OF 07



GRADING CONSTRUCTION NOTES

1 INSTALL GROUTED RIP-RAP CHANNEL
D50=6", 10" MIN THICKNESS, SEE DETAIL
ON SHEET GD02

24120 SF

CENTERLINE DATA		
LINE #	BEARING	DISTANCE
L1	S89°17'17"W	644.15'

CENTERLINE CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
1	110.00'	1160.00'	90.00°

THE PROMPT PAY LAW WILL BE ALTERED FOR THIS CONTRACT
NOTICE OF EXTENDED PAYMENT PROVISION THE CONSTRUCTION
CONTRACT WILL ALLOW THE OWNER TO MAKE PAYMENT WITHIN
THIRTY (30) DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS

GRADING PLAN

WEST MARICOPA VILLAGE

PINAL COUNTY

MARICOPA, ARIZONA

050876-001-01
PROJECT NUMBER

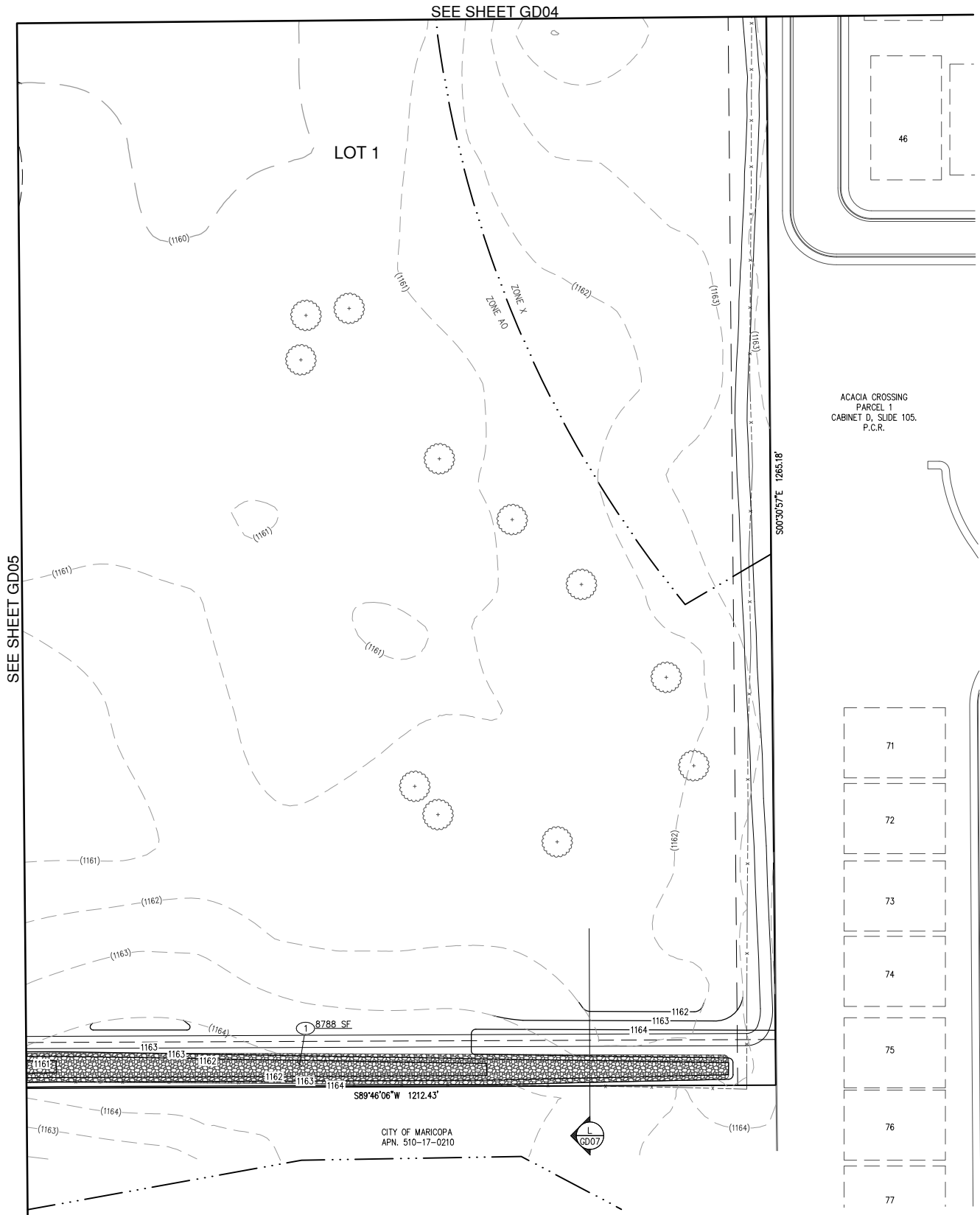
PLAN STATUS

DATE	DESCRIPTION
AC DESIGN	KM JSR
SCALE	H: 1"=40'
	V: NONE
JOB No.	050712-02-002
DATE	11.17.20

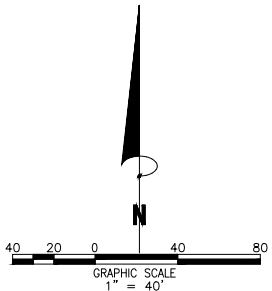
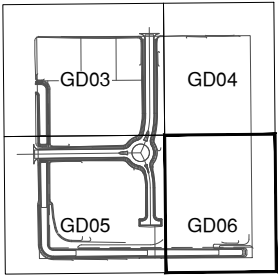
GD05

SHEET 05 OF 07

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- GRADING CONSTRUCTION NOTES
- 1 INSTALL GROUTED RIP-RAP CHANNEL 8788 SF
- D50=6", 10" MIN THICKNESS, SEE DETAIL
- ON SHEET GD02



THE PROMPT PAY LAW WILL BE ALTERED FOR THIS CONTRACT
NOTICE OF EXTENDED PAYMENT PROVISION THE CONSTRUCTION
CONTRACT WILL ALLOW THE OWNER TO MAKE PAYMENT WITHIN
THIRTY (30) DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS

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GRADING PLAN
WEST MARICOPA VILLAGE
MARICOPA, ARIZONA
PINAL COUNTY

050876-001-01
PROJECT NUMBER

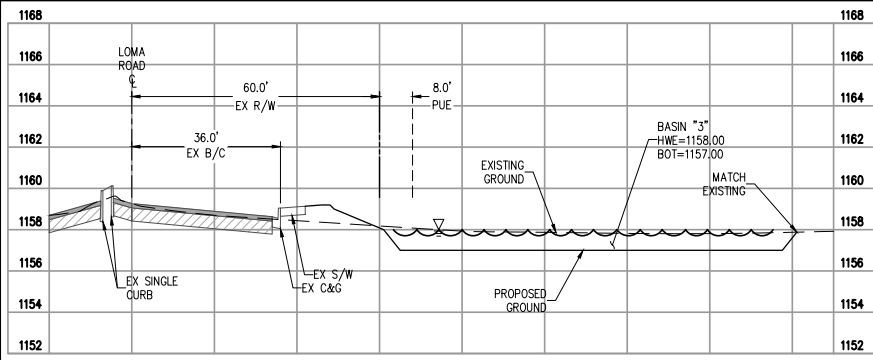


PLAN STATUS

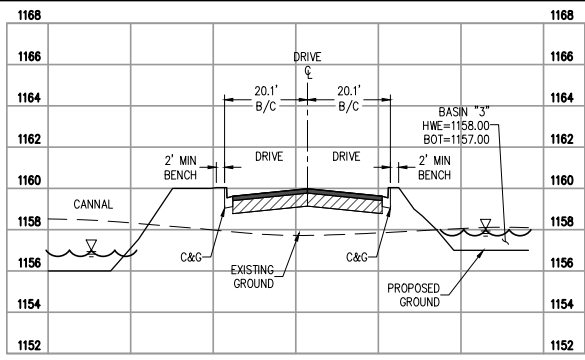
DATE	DESCRIPTION

DATE	DESCRIPTION
AC DESIGN	KM JSR
SCALE	H: 1"-40'
	V: NONE
JOB No.	050712-02-002
DATE :	11.17.20

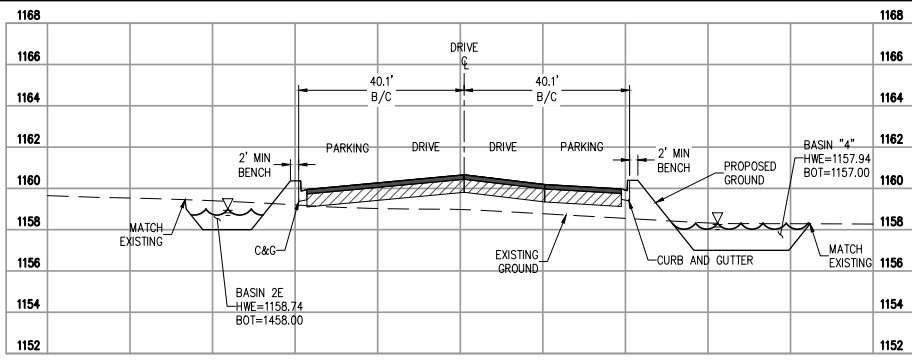
GD06
SHEET 06 OF 07



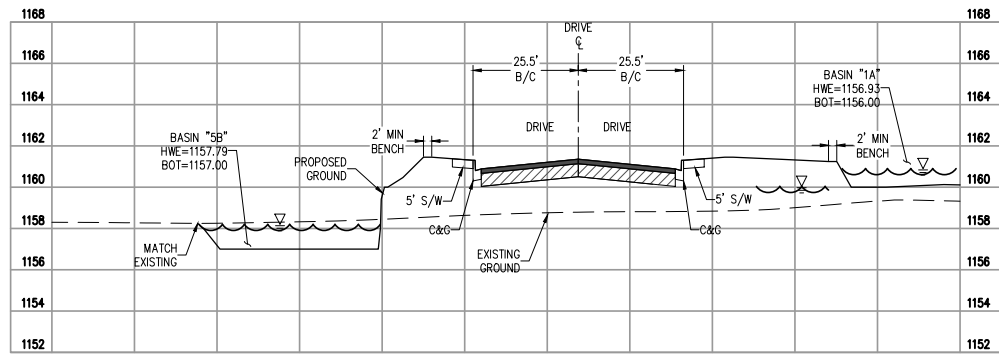
SECTION A
1"=20' HORIZ
1"=4' VERT



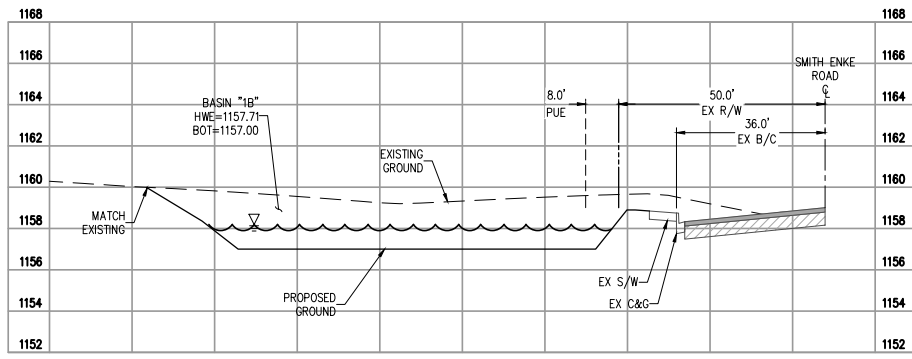
SECTION B
1"=20' HORIZ
1"=4' VERT



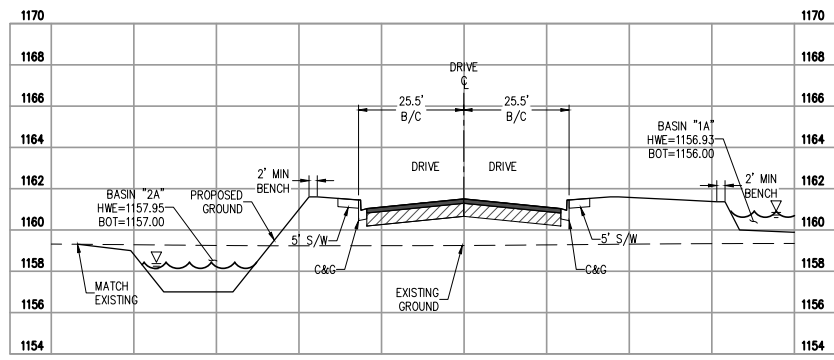
SECTION C
1"=20' HORIZ
1"=4' VERT



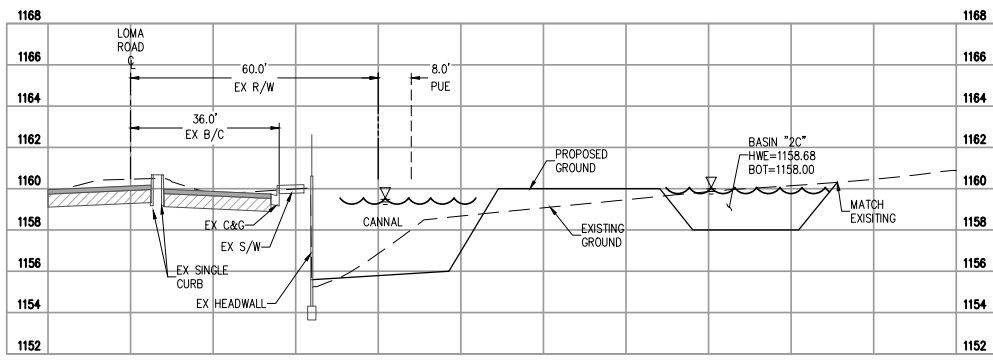
SECTION D
1"=20' HORIZ
1"=4' VERT



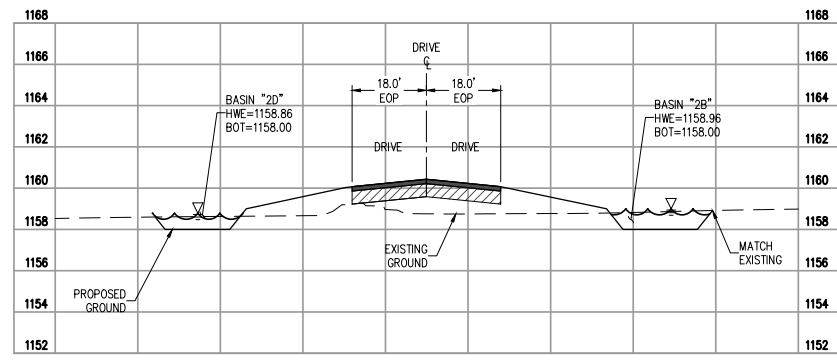
SECTION E
1"=20' HORIZ
1"=4' VERT



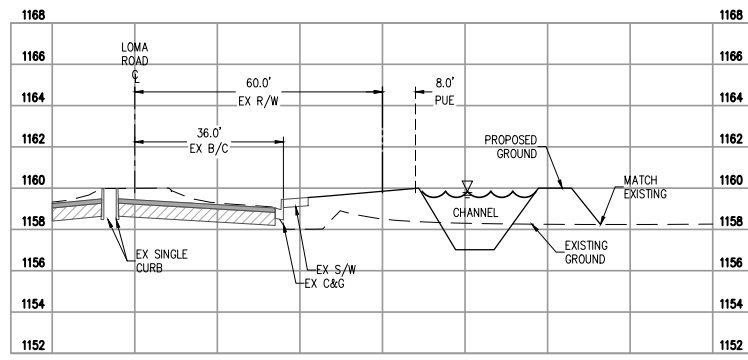
SECTION F
1"=20' HORIZ
1"=4' VERT



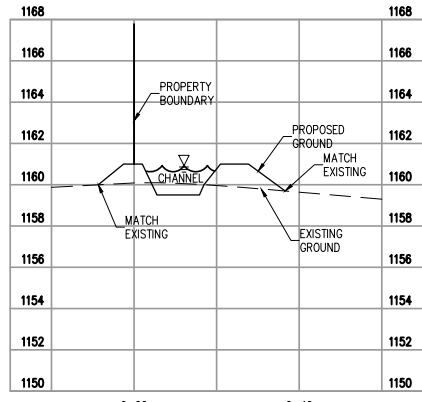
SECTION G
1"=20' HORIZ
1"=4' VERT



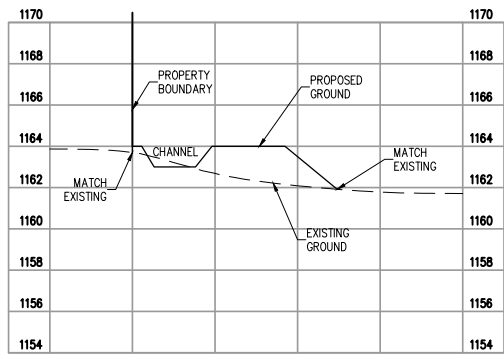
SECTION H
1"=20' HORIZ
1"=4' VERT



SECTION I
1"=20' HORIZ
1"=4' VERT



SECTION K
1"=20' HORIZ
1"=4' VERT



SECTION L
1"=20' HORIZ
1"=4' VERT

THE PROMPT PAY LAW WILL BE ALTERED FOR THIS CONTRACT
NOTICE OF EXTENDED PAYMENT PROVISION THE CONSTRUCTION
CONTRACT WILL ALLOW THE OWNER TO MAKE PAYMENT WITHIN
THIRTY (30) DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS

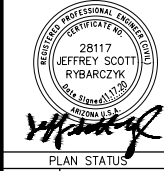


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GRADING SECTIONS SHEET
WEST MARICOPA VILLAGE
MARICOPA, ARIZONA
PINAL COUNTY

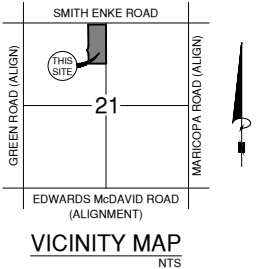
050876-001-01
PROJECT NUMBER



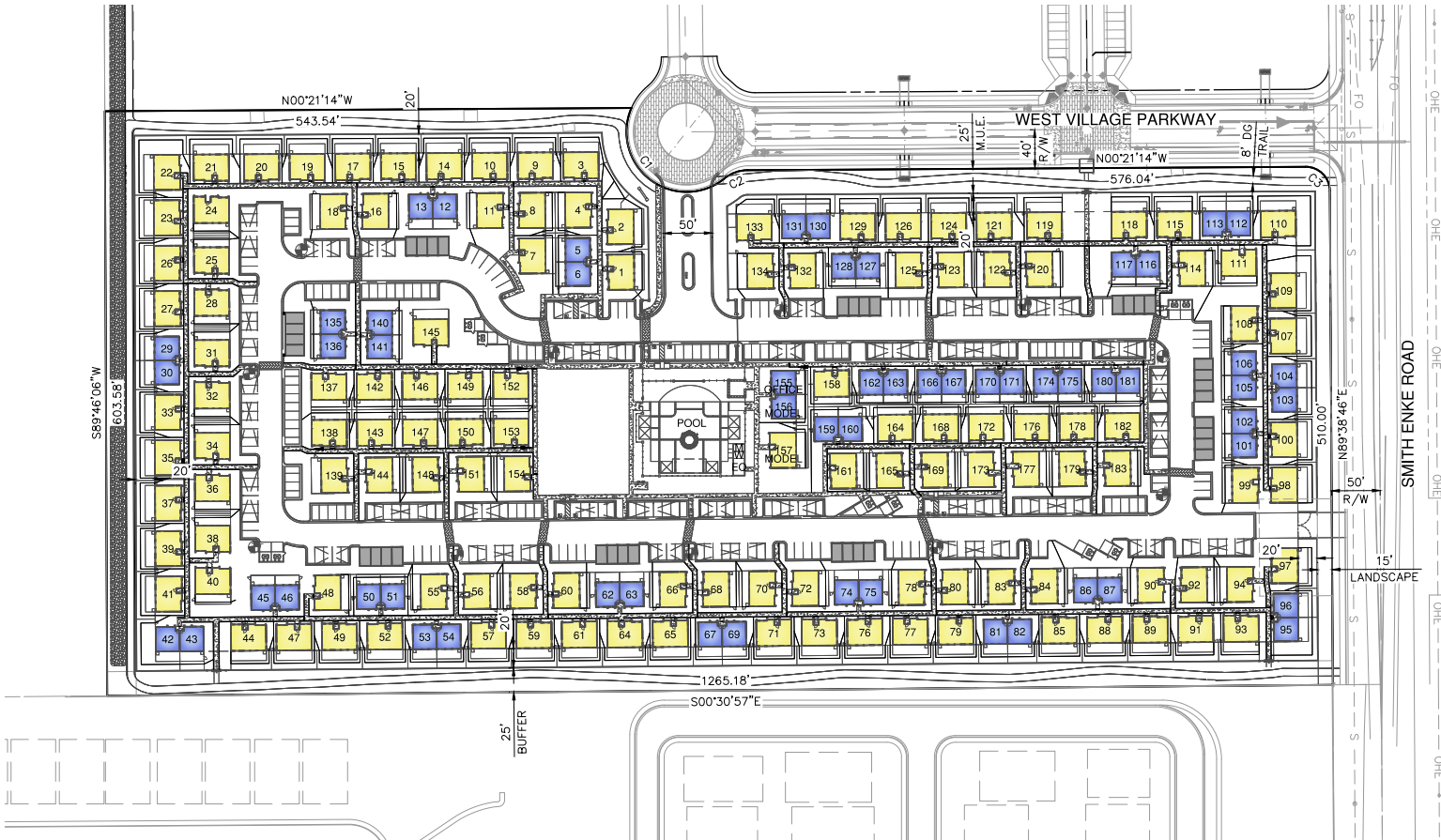
PLAN STATUS

DATE	DESCRIPTION
AC	LGR JSF
DESIGN	DRAWN CHKD
SCALE	H: V:
JOB No.	050712-02-002
DATE :	11.17.20

GD07
SHEET 07 OF 07



CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	165.04'	62.00'	152°31'10"
C2	25.69'	38.00'	38°44'22"
C3	39.27'	25.00'	90°00'00"



SITE PLAN YIELD

GROSS AREA	±772,426 SF / ±17.732 AC
NET AREA	±712,435 SF / ±16.355 AC
DENSITY PROVIDED	10.27
DENSITY ALLOWED	-

PROJECT DESCRIPTION

CASITA 2-BEDROOM AND DUPLEX 1-BEDROOM SINGLE STORY RENTAL PROPERTY

PROJECT DATA

YIELD DATA

UNIT TYPE	YIELD	TOTAL # BEDS	UNIT SQUARE FEET	TOTAL SQUARE FEET	MIX %
1 BEDROOM	57	57	640.84	36,528	31
2 BEDROOM	125	250	997.37	249,343	69
UNITS PROVIDED	182	307		285,870	100
PARKING CANOPYS				32,736	
GARAGES				8,100	
ENTRY PORTICO				-	
TOTAL LOT COVERAGE				-	

LOT COVERAGE INCLUDING ALL STRUCTURES AND BUILDINGS	23%
LOT COVERAGE ALLOWED	38%

APN NUMBER	510-17-003E 510-170-210
------------	----------------------------

ALLOWED HEIGHT	2 STORY/30'
PROPOSED HEIGHT	1 STORY/17'8"

CURRENT ZONING	02RL
----------------	------

PROPOSED ZONING	02RI
CURRENT USE	VACANT LAND
PROPOSED USE	MULTI-FAMILY

PARKING SPACES REQUIRED	
SPACES/UNIT=57x1.5	86 SPACES
SPACES/UNIT=125x2.0	250 SPACES
UNRESERVED (0.2/UNIT - AS PART OF TOTAL REQ)	36 SPACES
TOTAL SPACES REQUIRED	372 SPACES

TOTAL SPACES PROVIDED	
COVERED PARKING PROVIDED	190 SPACES
GARAGE PARKING	36 SPACES
UNCOVERED PARKING	149 SPACES
TOTAL SPACES PROVIDED	375 SPACES

ACCESSIBLE SPACES REQUIRED (6 COVERED) =	6 SPACES
ACCESSIBLE SPACES PROVIDED (4 COVERED) =	4 SPACES

COMMON AREA OPEN SPACE PROVIDED (271,417 SQ FT/405,124 SQ FT)	67%
COMMON AREA REQUIRED	MINIMUM 5% OF GROSS AREA 20,256 SQ FT

OPEN RECREATIONAL SPACE SUMMARY:	
COMMON OPEN SPACE CALCULATION:	
POOL	1,646 SF
AMENITY OPEN SPACE	37,031 SF
AMENITY OPEN SPACE (SUM)	38,677 SF
OPEN SPACE WALKING AREA	232,740 SF
TOTAL PROVIDED COMMON OPEN SPACE (SUM)	271,417 SF
55% OF OPEN SPACE, 1,200 SF/UNIT	

PARKING LOT LANDSCAPE PROVIDED	12%
PARKING LOT LANDSCAPE REQUIRED	MIN 5%

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COVER SHEET
WEST MARICOPA VILLAGE
SEC SMITH ENKE ROAD & WEST VILLAGE PARKWAY
MARICOPA, ARIZONA
PINAL COUNTY

PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION
AJS	HY
DESIGN	DRAWN
	CHKD

SCALE	H: 1"=80'
	V: NONE
JOB No.	050712-03-001
DATE	11/09/2020

SP01
SHEET 01 OF 05

LEGEND

HANDICAP PARKING	SECTION LINE
PROPOSED FIRE HYDRANT	STREET CENTERLINE
BRASS CAP IN HAND HOLE	RIGHT OF WAY LINE
PROPERTY CORNER	EASEMENT LINE
ELECTRIC VAULT	SUBJECT PROPERTY
STREET LIGHT JUNCTION BOX	CHAIN LINK FENCE
STREET LIGHT	IRON FENCE
WATER VALVE	SANITARY SEWER LINE
FIRE HYDRANT	UNDERGROUND CATV LINE
WATER MANHOLE	UNDERGROUND ELECTRIC LINE
SEWER MANHOLE	UNDERGROUND TELCO LINE
GATE	WATERLINE
MAILBOX	BACK OF CURB
GARAGE PARKING	RIGHT OF WAY
COVERED PARKING	PUBLIC UTILITY EASEMENT
TRASH ENCLOSURE	EASEMENT
	MULTI-USE TRAIL EASEMENT
	LANDSCAPE
	EDGE OF PAVEMENT

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
01	COVER SHEET
02	NOTES SHEET
03	SITE PLAN
04	SITE PLAN
05	DETAILS SHEET

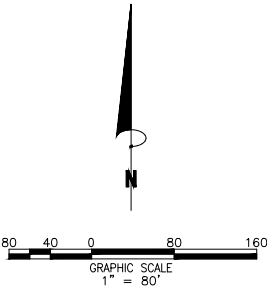
PROJECT CONSULTANT TEAM

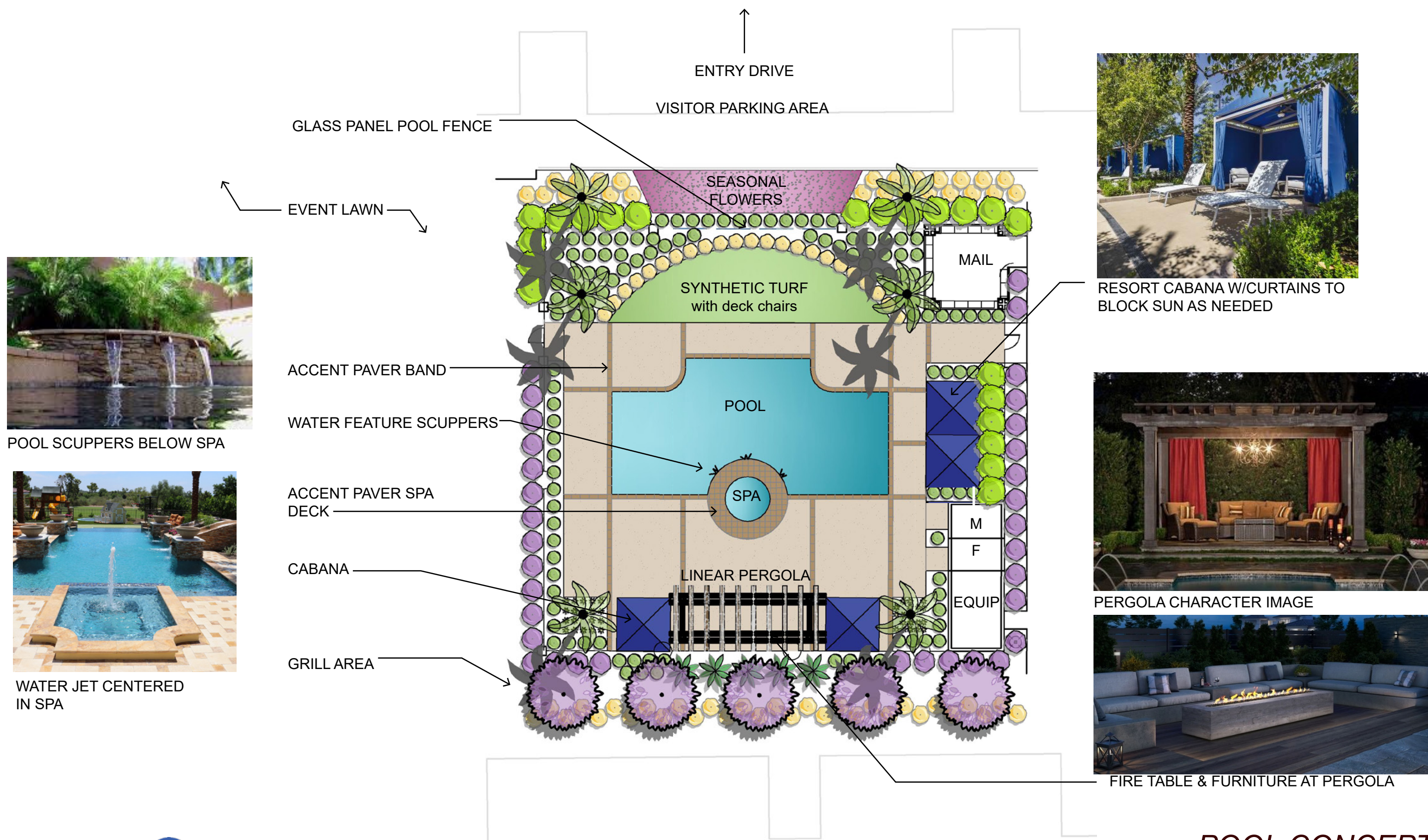
OWNER/DEVELOPER

INNOVATION VILLAS AT WEST MARICOPA, LLC
C/O MATRIX EQUITIES
10446 N. 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
PHONE: (480) 945-9292
CONTACT: RONALD SMITH, P.E.
EMAIL: RSM@MATRIX-EQUITIES.COM

CIVIL/APPLICANT

BOWMAN CONSULTING GROUP
CONTACT: JHON GRAY, P.E.
1295 W WASHINGTON STREET
SUITE: 108
TEMPE, AZ 85281
EMAIL: JGRAY@BOWMANCONSULTING.COM
PHONE: (480) 559-8351





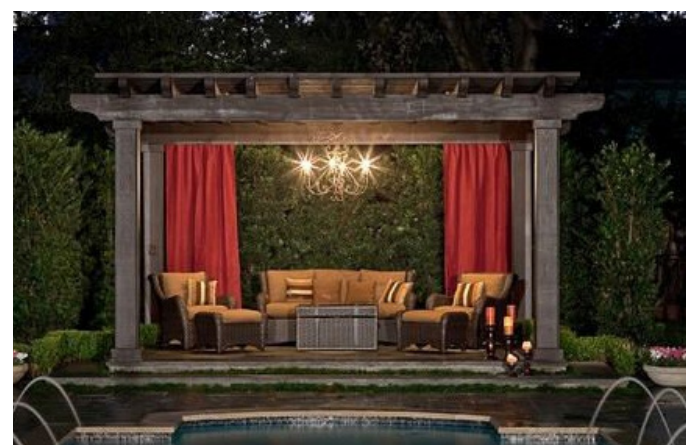
POOL SCUPPERS BELOW SPA



WATER JET CENTERED IN SPA



RESORT CABANA W/CURTAINS TO BLOCK SUN AS NEEDED



PERGOLA CHARACTER IMAGE



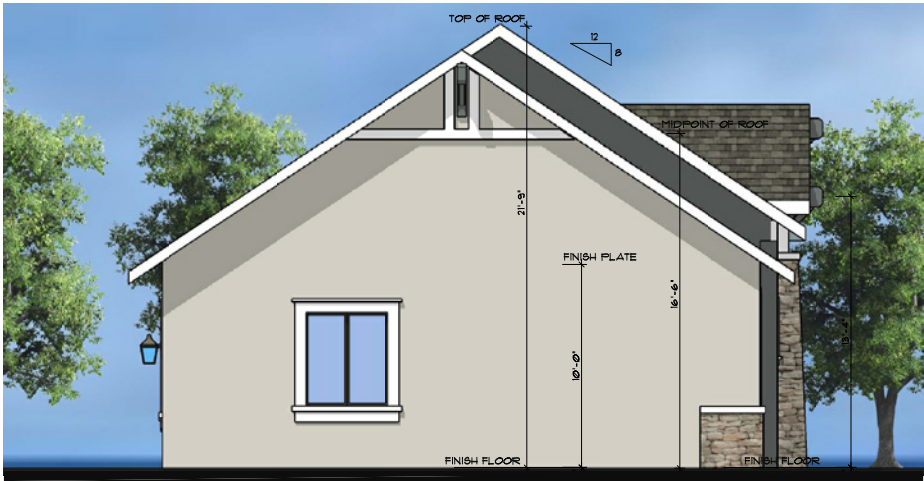
FIRE TABLE & FURNITURE AT PERGOLA

CHALET
COLOR
SCHEME #1

UNIT 1






FRONT

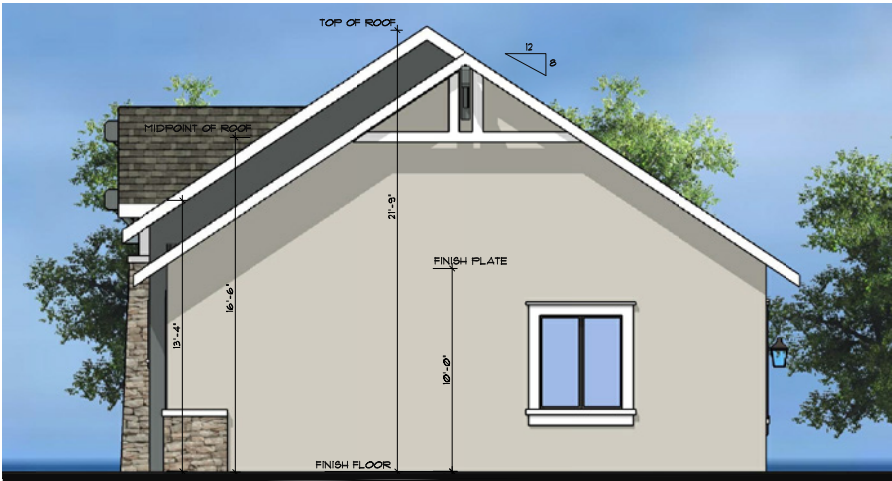


LEFT

SEE FRONT ELEVATION FOR ALL MATERIAL DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

White Tank Place - Chalet Elevations		
		
Edge Woodgrain: 804 Pinecone Edge Canyon Blend	Edge Woodgrain: 804 Pinecone Edge Canyon Blend	Edge Woodgrain: 804 Pinecone Edge Canyon Blend
Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14
Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14
Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14
Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14
Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14
Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14
Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14	Roofs: 804 Pinecone Dove Gray Only LVT 14

COLOR SCHEMES



RIGHT

SEE FRONT ELEVATION FOR ALL MATERIAL DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



REAR

SEE FRONT ELEVATION FOR ALL MATERIAL DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

revisions
1
2
3

MATRIX

INNOVATION
VILLAS AT
WEST
MARICOPA
VILLAGE
MARICOPA COUNTY

UNIT 1

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date: 12/18/2020
project no:

DR2

UNIT 1 ALL SIDES - CHALET



ARTISAN
COLOR
SCHEME #5

UNIT 1

LOT 1 ELEVATIONS



FRONT



LEFT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



COLOR SCHEMES



RIGHT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



REAR
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

revisions

1	
2	
3	

MATRIX

INNOVATION
VILLAS AT
WEST
MARICOPA
VILLAGE
MARICOPA COUNTY

UNIT 1

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UNIT 1 ALL SIDES - ARTISAN

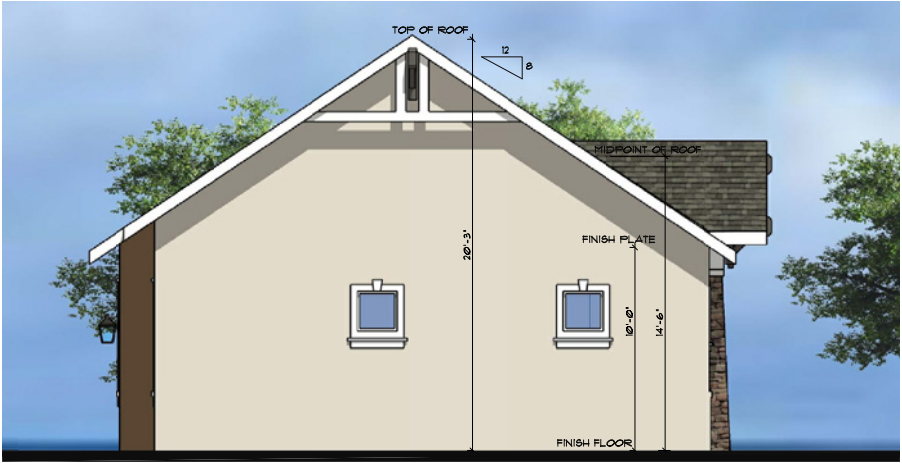
CHALET
COLOR
SCHEME #2

UNIT 2

LOT 1 ELEVATIONS



FRONT

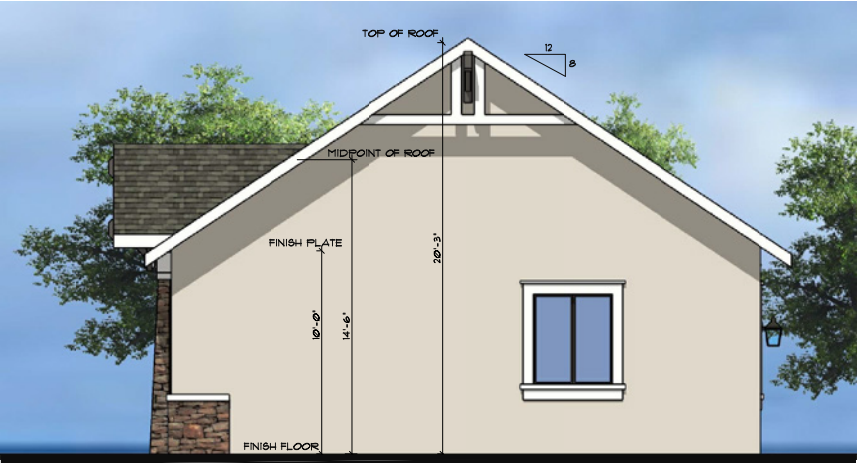


LEFT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

White Tank Place - Chalet Elevations

Scheme 1	Scheme 2	Scheme 3
Exterior: Adobe Terracotta Kings Canyon Blend	Exterior: Adobe Terracotta Kings Canyon Blend	Exterior: Adobe Terracotta Kings Canyon Blend
Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.	Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.	Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.
Exterior: Adobe Terracotta Kings Canyon Blend	Exterior: Adobe Terracotta Kings Canyon Blend	Exterior: Adobe Terracotta Kings Canyon Blend
Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.	Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.	Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.
Exterior: Adobe Terracotta Kings Canyon Blend	Exterior: Adobe Terracotta Kings Canyon Blend	Exterior: Adobe Terracotta Kings Canyon Blend
Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.	Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.	Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.
Exterior: Adobe Terracotta Kings Canyon Blend	Exterior: Adobe Terracotta Kings Canyon Blend	Exterior: Adobe Terracotta Kings Canyon Blend
Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.	Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.	Roof: Asphalt Shingles: Red Clay \$1.15 / sq. ft.

COLOR SCHEMES



RIGHT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



REAR
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

revisions

1	
2	
3	

MATRIX

INNOVATION
VILLAS AT
WEST
MARICOPA
VILLAGE
MARICOPA COUNTY

UNIT 2

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DR6

UNIT 2 ALL SIDES - CHALET

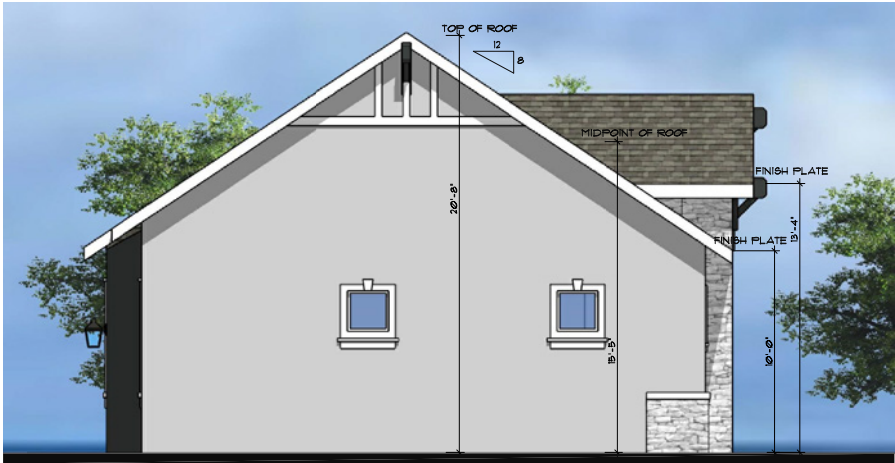
ARTISAN
COLOR
SCHEME #4

UNIT 2

LOT 1 ELEVATIONS



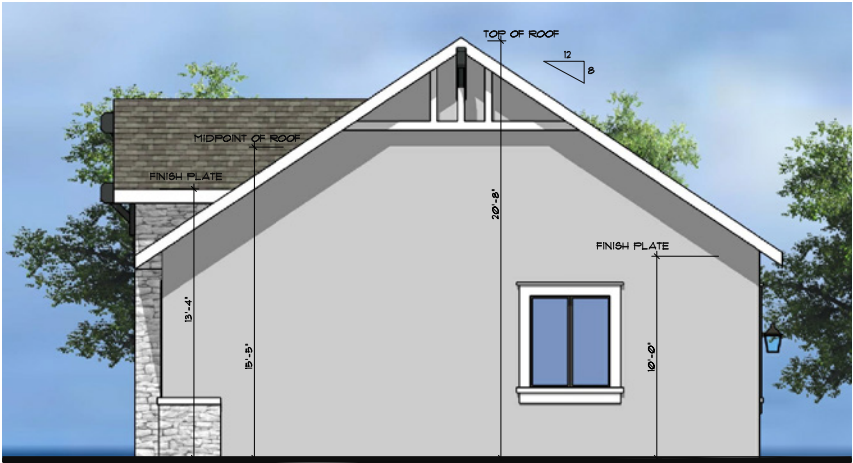
FRONT



LEFT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

White Tank Place - Artisan Elevations		

COLOR SCHEMES



RIGHT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



REAR
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

revisions
1
2
3

MATRIX

INNOVATION
VILLAS AT
WEST
MARICOPA
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MARICOPA COUNTY

UNIT 2

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UNIT 2 ALL SIDES - ARTISAN

CHALET
COLOR
SCHEME #6

GARAGE















FRONT



LEFT

SEE FRONT ELEVATION FOR ALL MATERIAL DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

White Tank Place - Artisan Elevations		
		
		
		
		

COLOR SCHEMES



RIGHT

SEE FRONT ELEVATION FOR ALL MATERIAL DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



REAR

SEE FRONT ELEVATION FOR ALL MATERIAL DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

revisions
1
2
3

MATRIX

INNOVATION
VILLAS AT
WEST
MARICOPA
VILLAGE
MARICOPA COUNTY

GARAGE

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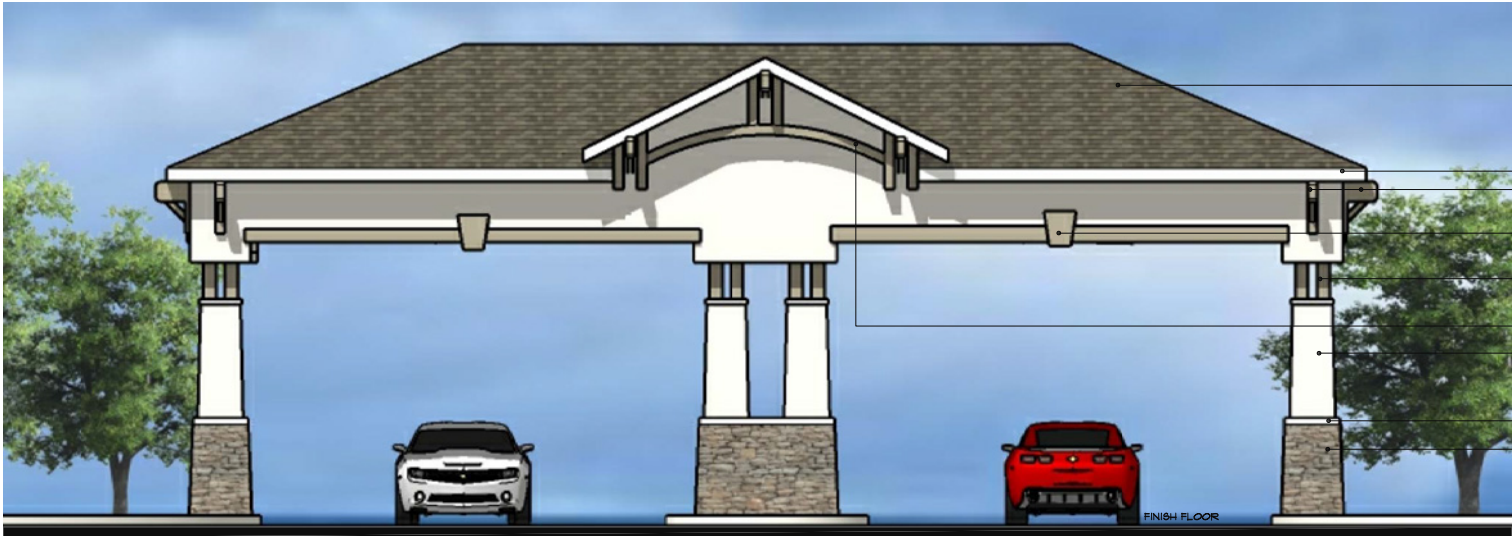
date: 12/18/2020
project no:

DR10

GARAGE ALL SIDES - CHALET


CHALET
COLOR
SCHEME #6

PORTICO

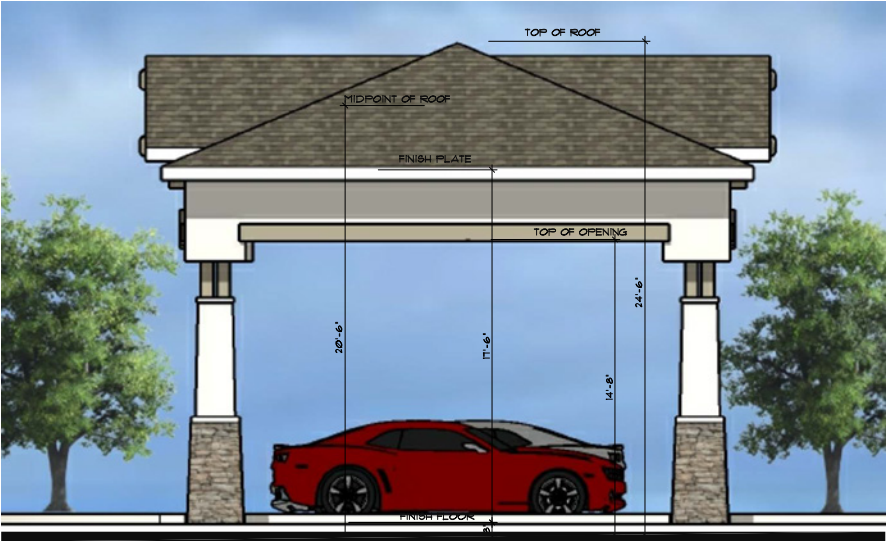


FRONT

White Tank Place - Artisan Elevations

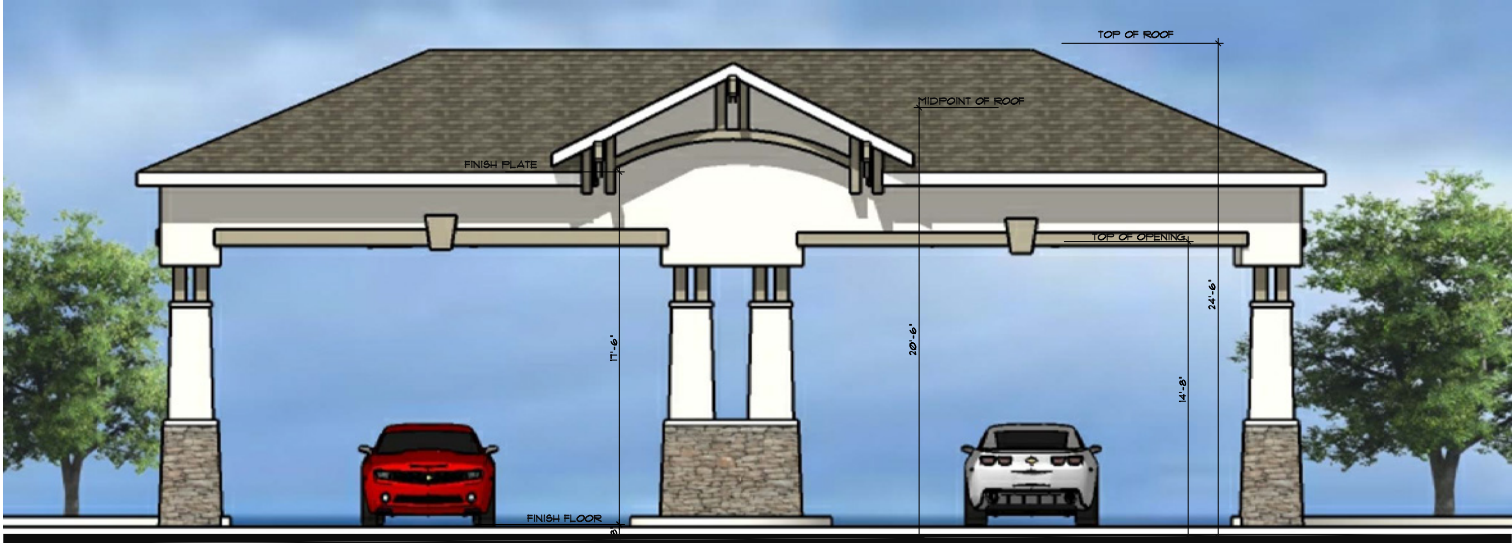
		
Roof: Ridge Roofing with the A1 Concrete floor WV 10	Roof: Ridge Roofing with the A1 Concrete floor WV 10	Roof: Ridge Roofing with the A1 Concrete floor WV 10
Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10
Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10
Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10
Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10
Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10
Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10
Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10
Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10	Walls: Stucco with the A1 Concrete floor WV 10

COLOR SCHEMES



RIGHT

SEE FRONT ELEVATION FOR ALL MATERIAL DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



REAR

SEE FRONT ELEVATION FOR ALL MATERIAL DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

revisions

1
2
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MATRIX

INNOVATION
VILLAS AT
WEST
MARICOPA
VILLAGE
MARICOPA COUNTY

PORTICO

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date: 12/18/2020
project no:

DR12

PORTICO ALL SIDES - CHALET

LOT 1 ELEVATIONS

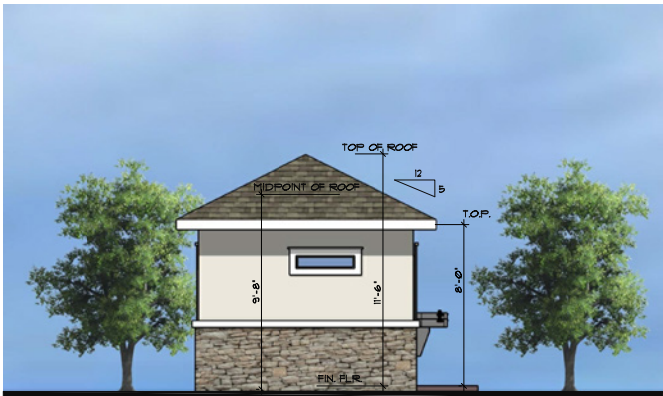
CHALET
COLOR
SCHEME #6

RESTROOM

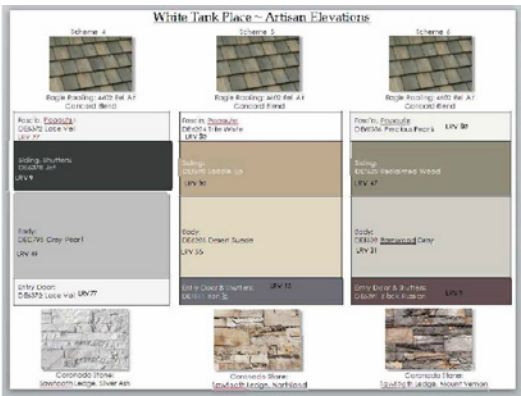


- FLAT CONC. TILE
- FASCIA
- STUCCO
- POPOUTS
- DOOR
- DRINKING FOUNTAINS
- STONE VENEER

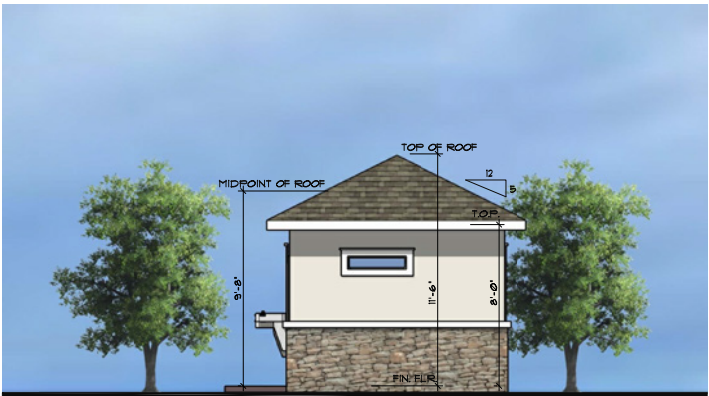
FRONT



LEFT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



COLOR SCHEMES



RIGHT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



REAR
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

revisions
1
2
3

MATRIX

INNOVATION
VILLAS AT
WEST
MARICOPA
VILLAGE
MARICOPA COUNTY

RESTROOM

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DR 14

RESTROOM ALL SIDES - CHALET

CHALET
COLOR
SCHEME #6



FRONT

OFFICE

NOTE:
OFFICE IS TYPICALLY THE
RIGHT SIDE UNIT OF THE
UNIT 1 DUPLEX

- FLAT CONC. TILE
- CORBELS
- FASCIA
- STUCCO
- SHUTTERS
- ENTRY DOOR
- POPOUTS
- STONE VENEER

revisions

1	
2	
3	

MATRIX

INNOVATION
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OFFICE

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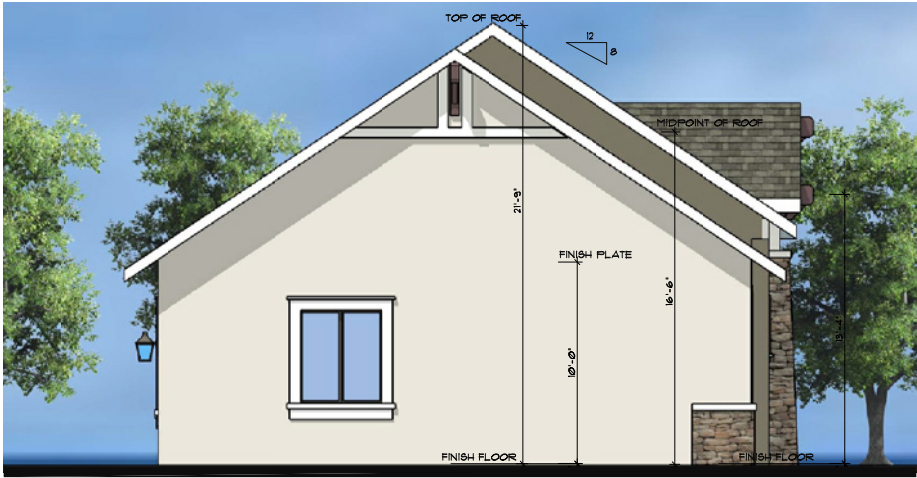
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OFFICE ALL SIDES - CHALET



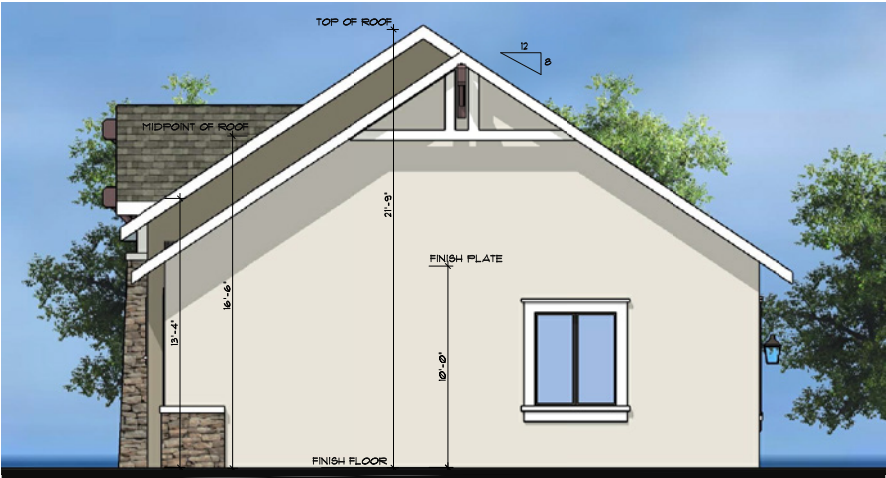
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SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

White Tank Place - Chalet Elevations

Scheme 1	Scheme 2	Scheme 3
Exterior: Stucco Color: White EIFS: 10	Exterior: Stucco Color: White EIFS: 10	Exterior: Stucco Color: White EIFS: 10
Roof: Asphalt/Flt Color: Dark Grey EIFS: 11	Roof: Asphalt/Flt Color: Dark Grey EIFS: 11	Roof: Asphalt/Flt Color: Dark Grey EIFS: 11
Trim: White Color: White EIFS: 12	Trim: White Color: White EIFS: 12	Trim: White Color: White EIFS: 12
Stone Veneer: Stone Color: Stone EIFS: 13	Stone Veneer: Stone Color: Stone EIFS: 13	Stone Veneer: Stone Color: Stone EIFS: 13

COLOR SCHEMES



RIGHT

SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



REAR

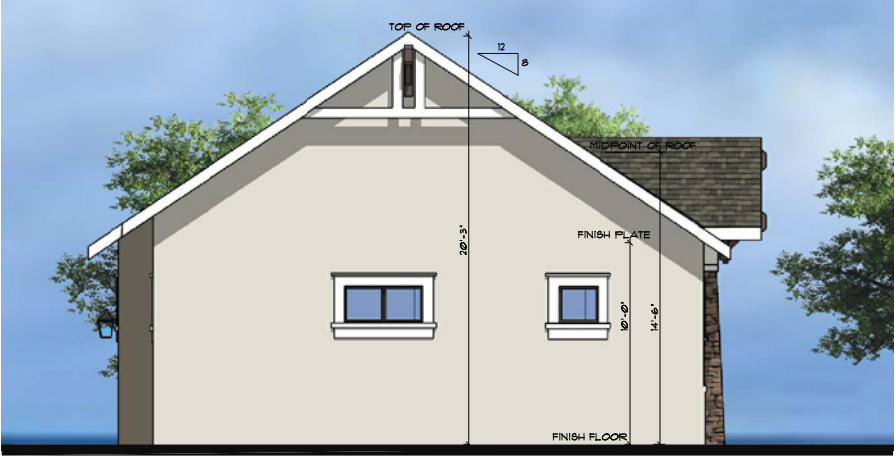
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

CHALET
COLOR
SCHEME #6

FITNESS
STUDIO



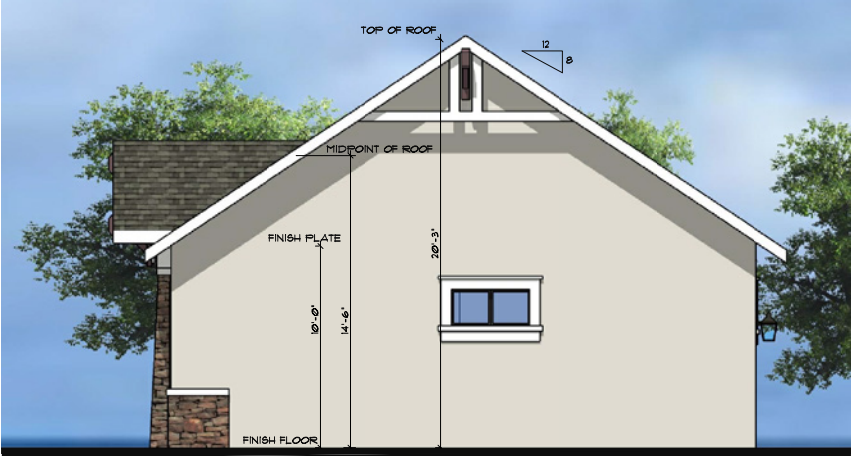
FRONT



LEFT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

White Tank Place - Chalet Elevations		
 Scheme 1 Ridge Roofing: Ash/Pine/Red Kings Canyon Blend Fascia: Dark Gray Shutters: Medium Gray Entry Door: Dark Gray Stone Veneer: Quartzite Blend, Copper Cast Gray	 Scheme 2 Ridge Roofing: Ash/Pine/Red Kings Canyon Blend Fascia: Dark Gray Shutters: Medium Gray Entry Door: Dark Gray Stone Veneer: Quartzite Blend, Copper Cast Gray	 Scheme 3 Ridge Roofing: Ash/Pine/Red Kings Canyon Blend Fascia: Dark Gray Shutters: Medium Gray Entry Door: Dark Gray Stone Veneer: Quartzite Blend, Copper Cast Gray

COLOR SCHEMES



RIGHT
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS



REAR
SEE FRONT ELEVATION FOR ALL MATERIAL
DESIGNATIONS FOR COLOR SCHEME ASSIGNMENTS

revisions
1
2
3

MATRIX

INNOVATION
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FITNESS
STUDIO

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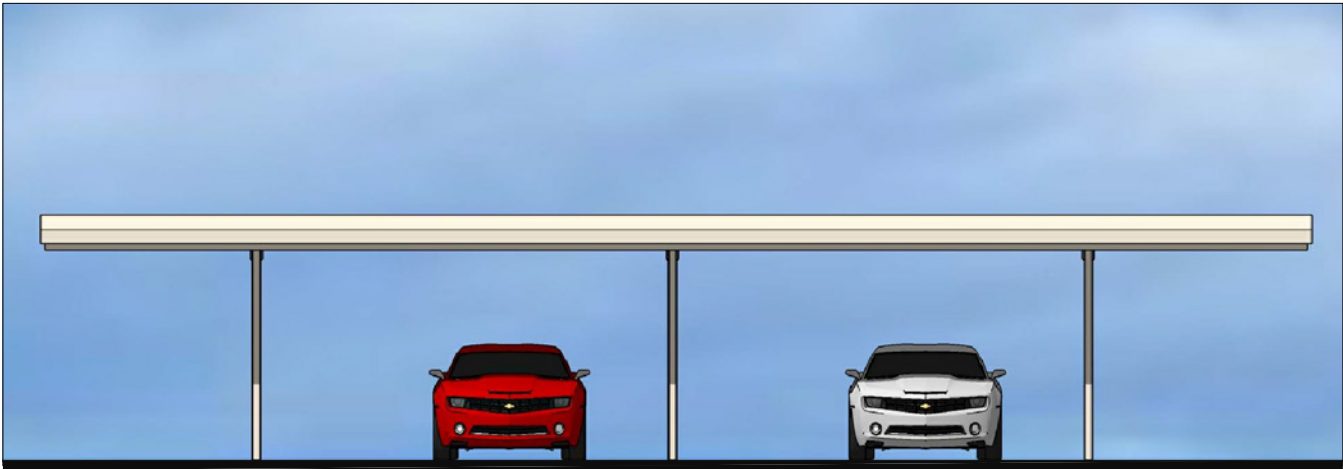
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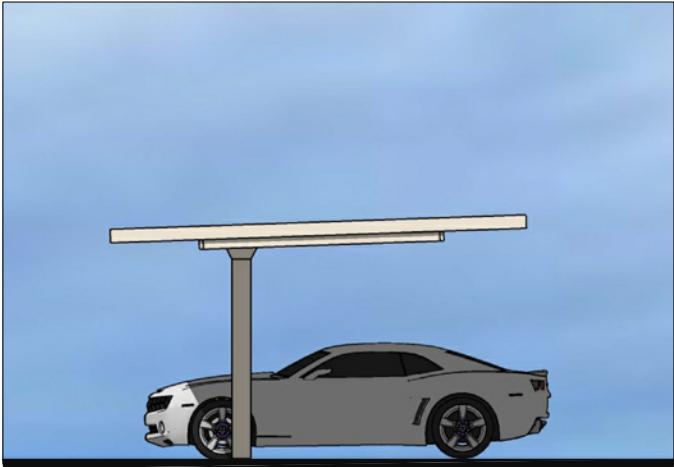
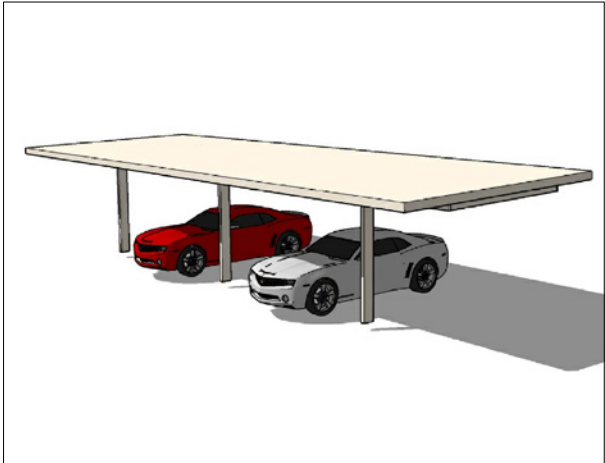
DR18

FITNESS ALL SIDES - CHALET

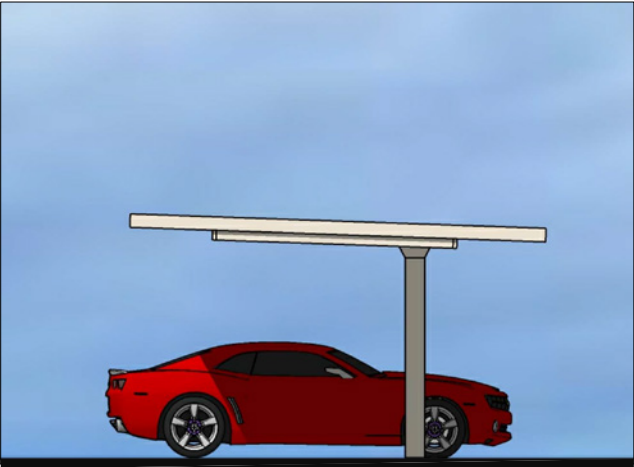
SHADED
PARKING
STRUCTURE



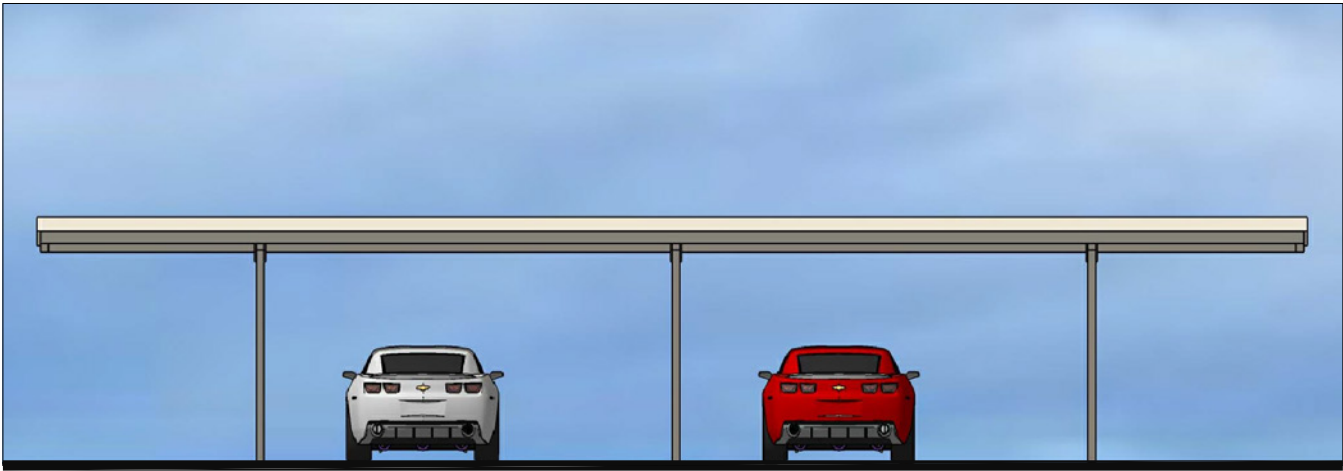
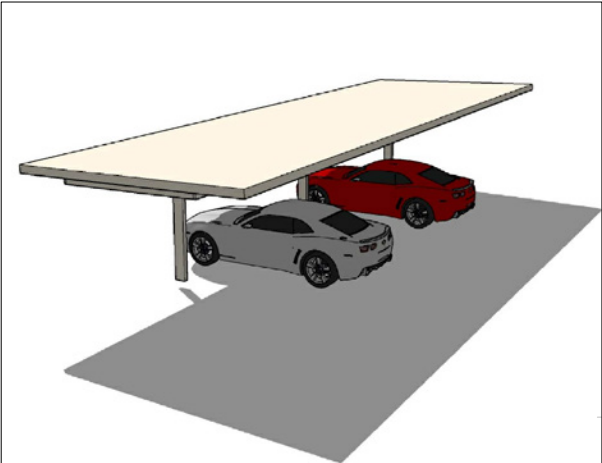
FRONT



LEFT



RIGHT



REAR

revisions	
1	
2	
3	

MATRIX

INNOVATION
VILLAS AT
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SHADED
PARKING

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SHADE PARKING STRUCTURE

LOT 1 ELEVATIONS



EXHIBIT I: MULTI-FAMILY CHARACTER IMAGES





EXHIBIT J: OFFICE CHARACTER IMAGES





EXHIBIT K: COMMERCIAL / RETAIL CHARACTER IMAGES



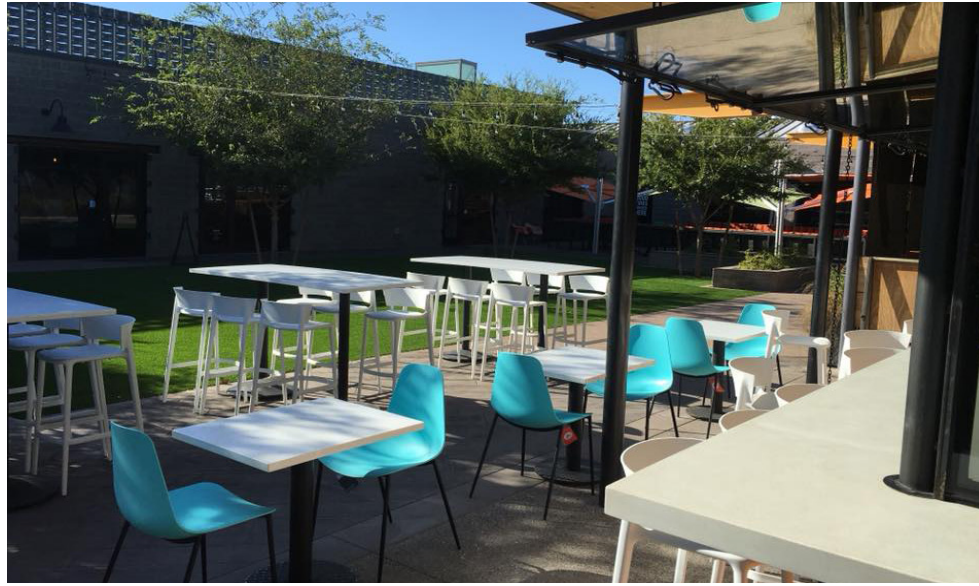
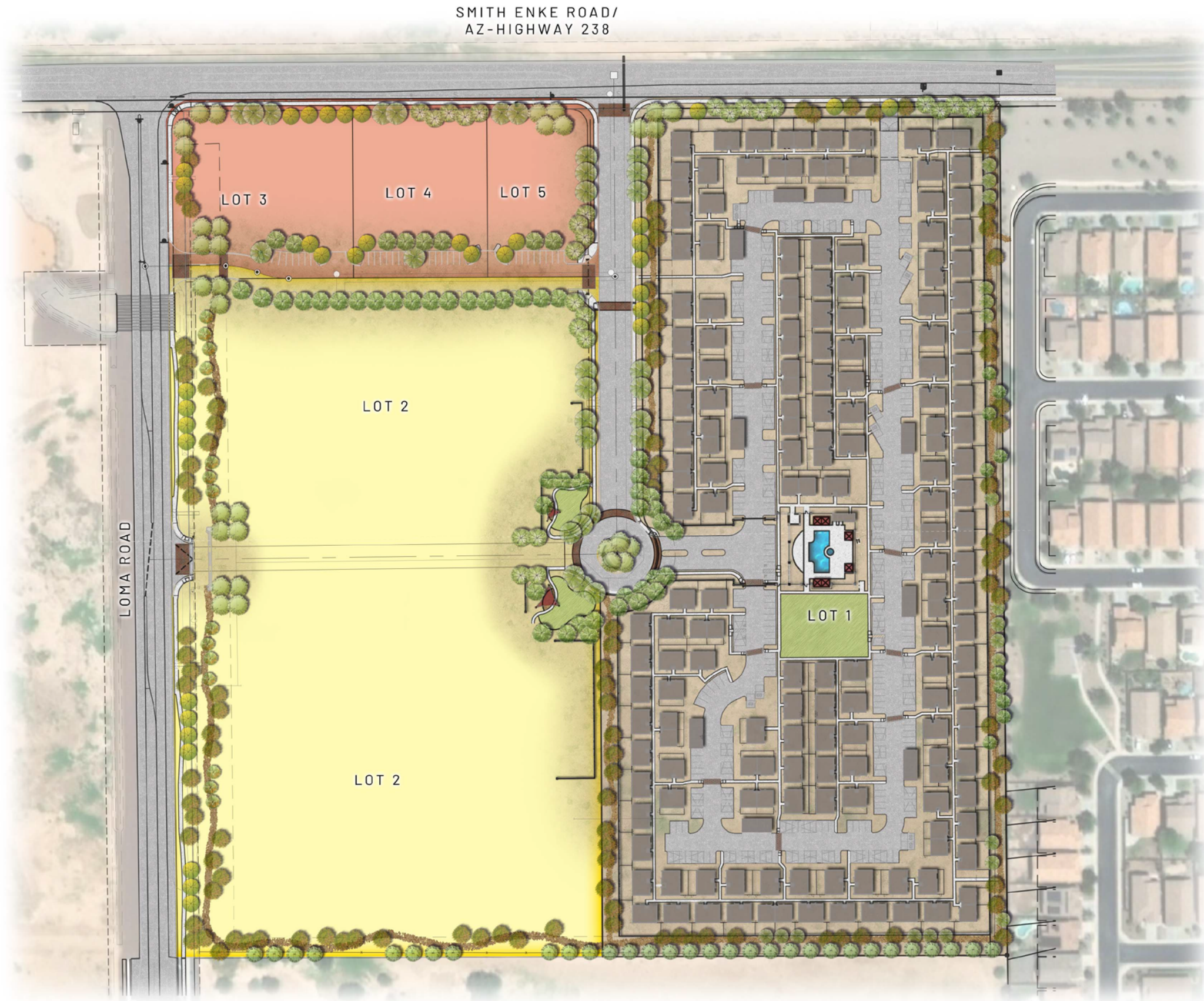












































































EXHIBIT L: SIGN CHARACTER IMAGES





PLANT MATERIALS LEGEND		
Trees		Size
	Acacia aneura	24" Box
	Mugo Acacia	24" Box
	Acacia willardiana	24" Box
	Palo Blanco	24" Box
	Chilopsis tashkentensis	24" Box
	Chilopsis	24" Box
	Olea europaea	24" Box
	Wilson Olive	24" Box
	Parkinsonia hyb.	24" Box
	Desert Museum Palo Verde	24" Box
	Pistacia chinensis	24" Box
	Chinese Pistache	24" Box
	Pinus eldarica	24" Box
	Mondel Pine	24" Box
	Prosopis hybrid	24" Box
	Thornless Mesquite	24" Box
	Quercus virginiana	24" Box
	Southern Live Oak	24" Box
	Ulmus parvifolia	24" Box
	Bosque Elm	24" Box
Extra Large Shrubs		Size
	Ceanothus pulcherrimus	5 gal.
	Red Bird of Paradise	5 gal.
	Cordia parvifolia	5 gal.
	Little Leaf Cordia	5 gal.
	Dodonea viscosa	5 gal.
	Hogbush	5 gal.
	Tecoma x 'Bells of Fire'	5 gal.
	Bells of Fire	5 gal.
Large Shrubs		Size
	Calliandra californica	5 gal.
	Red Fairy Duster	5 gal.
	Cassia nemoralis	5 gal.
	Desert Cassia	5 gal.
	Larrea tridentata	5 gal.
	Creosote	5 gal.
	Leucophyllum frutescens	5 gal.
	Texas Sage	5 gal.
	Simmondsia chinensis	15 gal.
	Jobba	15 gal.
	Viguiera deltoidea	1 gal.
	Goldeneye	1 gal.
Medium Shrubs		Size
	Eremophila glabra ssp. comosa	5 gal.
	Winter Blaze	5 gal.
	Eremophila hygrophana	5 gal.
	Blue Bells	5 gal.
	Ruellia peninsularis	5 gal.
	Desert Ruellia	5 gal.
Small Shrubs		Size
	Callispermum viminalis	5 gal.
	Little John Bottle Brush	5 gal.
	Russelia equisetiformis	5 gal.
	Coral Fountain	5 gal.
Groundcovers		Size
	Acacia reddens	1 gal.
	Prostrate Acacia	1 gal.
	Eremophila prostrata	1 gal.
	Outback Sunrise Eremophila	1 gal.
	Hymenocallis acutis	1 gal.
	Angelita Daisy	1 gal.
Cacti/ Accents		Size
	Asclepias subulata	5 gal.
	Desert Milkweed	5 gal.
	Bouteloua gracilis	1 gal.
	Blond Ambition	1 gal.
	Dasyliroa wheeleri	5 gal.
	Desert Spoon	5 gal.
	Hesperaloe parviflora	3 gal.
	Brake Light Red Yucca	3 gal.
	Nolina bigelovii	5 gal.
	Beargrass	5 gal.
	Opuntia santa rita	5 gal.
	Purple Prickly Pear	5 gal.
	Opuntia sp. Kelly's Choice	5 gal.
	Kelly's Choice Prickly Pear	5 gal.
LANDSCAPE MATERIALS		
	2" Deep Decomposed Granite	
	Mountain Vista Brown	1" Screened





1 SCREEN WALL
SCALE: 1/2"=1'-0"



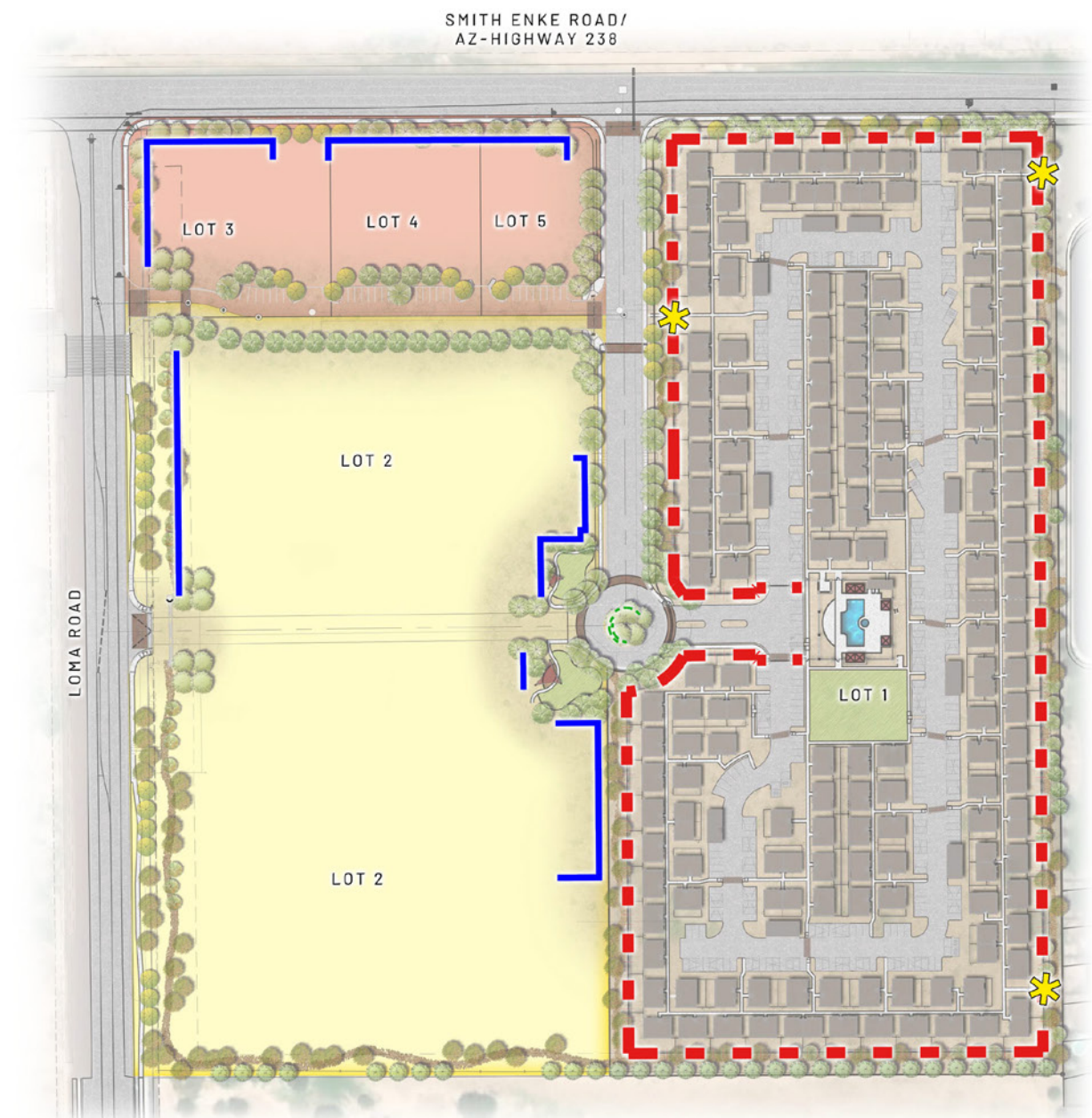
2 ROUNDABOUT DIRECTIONAL SIGNAGE WALL
SCALE: 1/2"=1'-0"

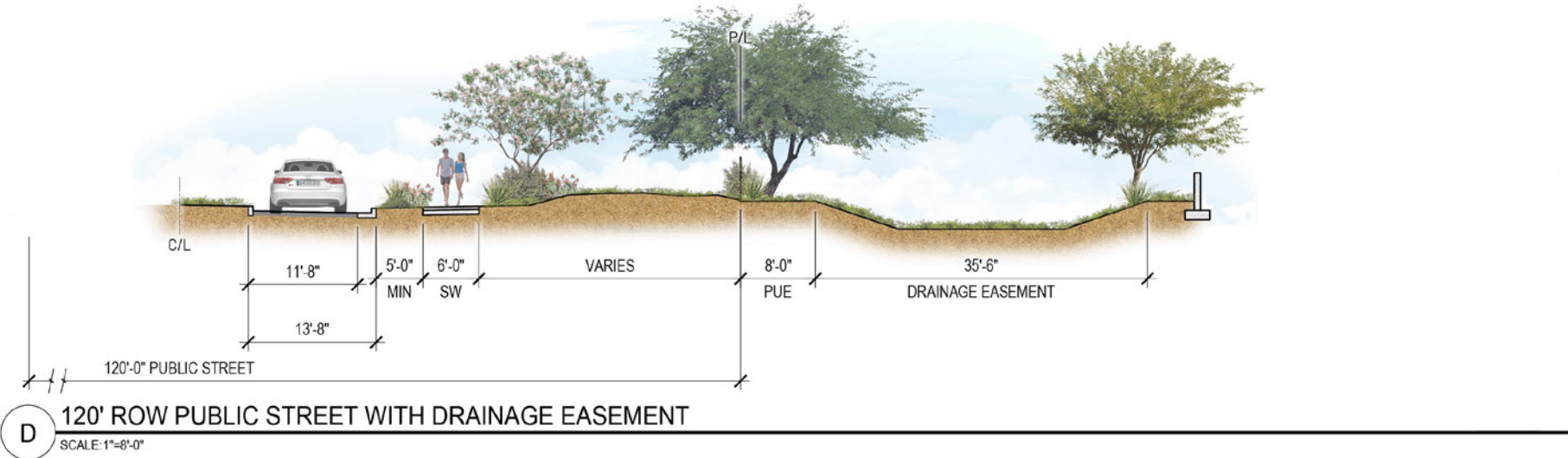
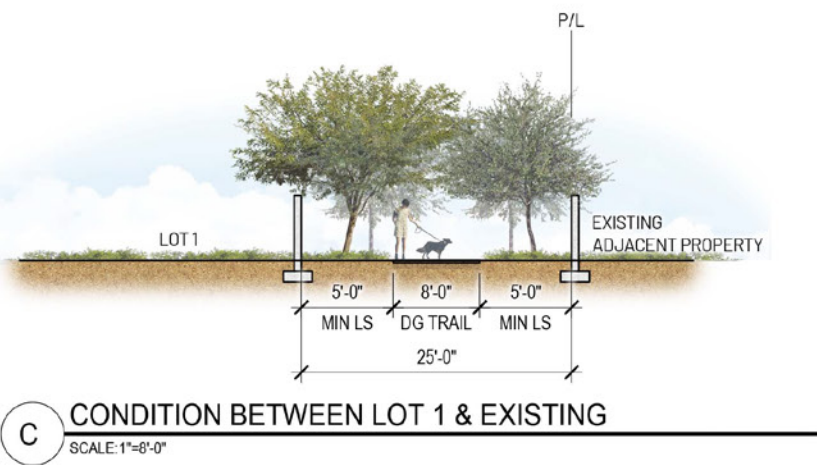
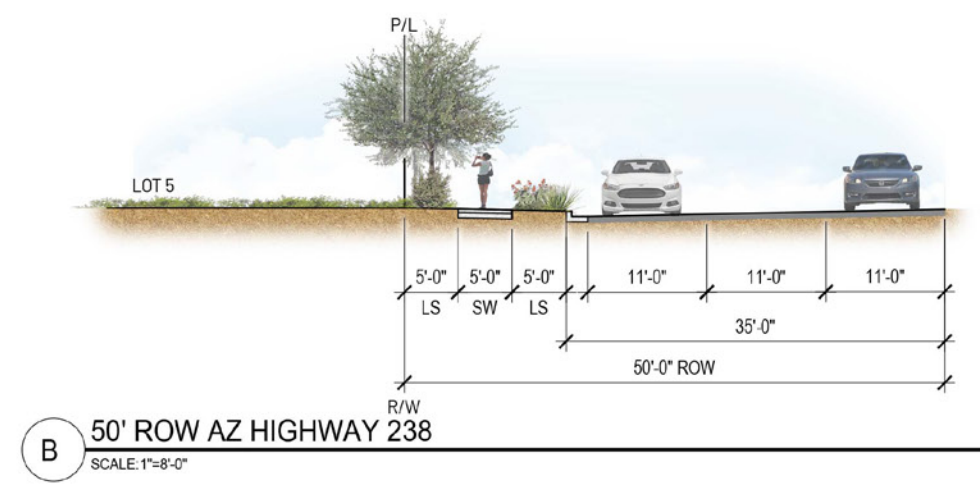
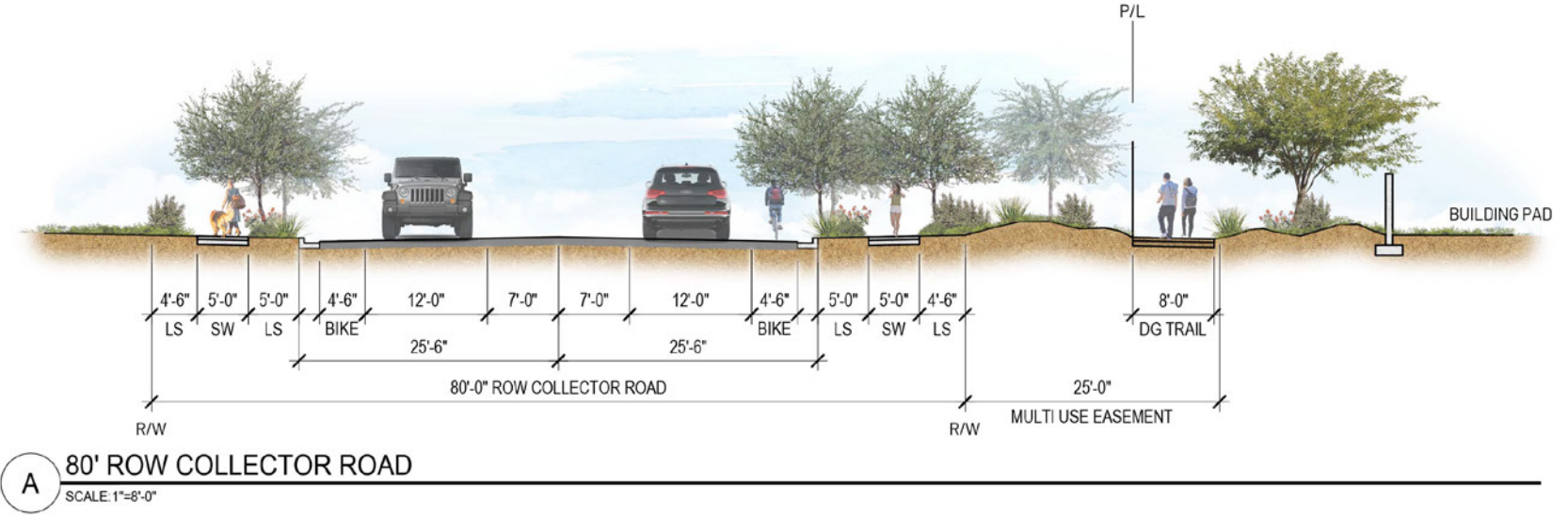


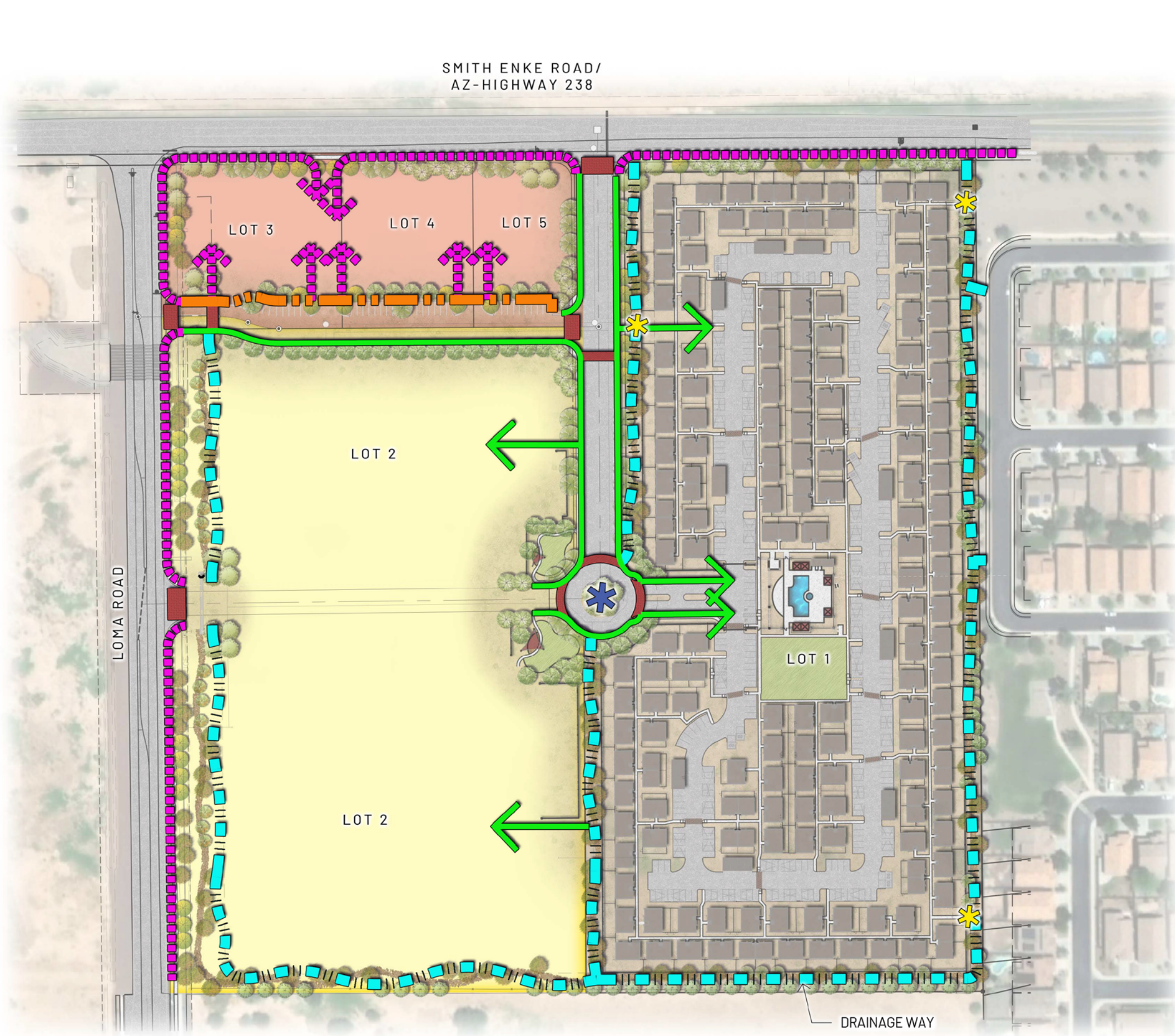
3 THEME WALL
SCALE: 1/2"=1'-0"

GENERAL NOTE:
CONCEPTUAL COLORS AND MATERIALS. FINAL COLORS AND MATERIALS TO BE SELECTED AND SPECIFIED PRIOR TO CONSTRUCTION.

SYMBOL	DESCRIPTION	QTY.
	5'-8" THEME WALL	3,703 L.F.
	ROUNDABOUT DIRECTIONAL SIGNAGE WALL	110 L.F.
	SCREEN WALL	1,685 L.F.
	PEDESTRIAN ACCESS	3







CIRCULATION PLAN LEGEND	
SYMBOL	DESCRIPTION
	8' WIDE STABILIZED DG TRAIL
	6' WIDE CONCRETE SIDEWALK
	5' WIDE CONCRETE SIDEWALK
	8' WIDE CONCRETE SIDEWALK
	PEDESTRIAN CROSSING - DECORATIVE PAVEMENT
	PEDESTRIAN ACCESS
	DIRECTIONAL SIGNAGE

